

ENGINEERS CERTIFICATION (TCL) FOR PERMANENT CERTIFICATE OF OCCUPANCY
I, Steven K. Morrow NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout prepared by Rick Bennett Architects stamp dated 11-7-08. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy. The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



KEYED NOTES

- 2'-0" RADIUS TYPICAL
- 15'-0" RADIUS TYPICAL
- 8" RAISED CONCRETE CURB, SEE DET. 1/C-2.
- CONCRETE SIDEWALK, PER CITY STANDARD.
- DUMPSTER ENCLOSURE SEE DET. 8/C-2.
- H.C. ACCESSIBLE ASLE W/ PAINTED STRIPES SEE DET. 8/C-2.
- H.C. PARKING SIGNAGE, TYP. (2) PLACES, SEE DET. 8/C-2.
- PAINTED HANDICAP SYMBOL, TYPICAL SEE DET. 8/C-2.
- BUILDING ROOF OVERHANG
- PAINTED PARKING STRIPE, SEE DET. 8/C-2.
- H.C. ACCESSIBLE CURB RAMP-
- INSTALL TRUNCATED DOWNS PER C.O.A. STANDARDS
- NEW 3" ASPHALT PAVING OVER 4" BASE COURSE.
- LANDSCAPE AREA
- HANDICAPPED ACCESSIBLE RAMP IN DIRECTION OF SIDEWALK
- EXISTING TRANSFORMER TO REMAIN
- EXISTING BUILDING ADJACENT TO SITE
- EXISTING PARKING LOT ADJACENT TO SITE
- BICYCLE RACK
- SITE LIGHT AND BASE- RE: ELECTRICAL PLANS, NIGHT SKY COMPLIANT
- "NO PARKING" STRIPING- PAINT COLOR TO MATCH ADJACENT STRIPING
- BLOCK RETAINING WALL- STUCCO TO MATCH BLDG. RE: CIVIL G&D PLAN
- FOLLOW RADIUS OF DRAINAGE EASEMENT
- CONCRETE DRIVE PAD ENTRANCE PER C.O.A. STANDARDS, RE: CIVIL
- EDGE OF SIDEWALK
- SIDEWALK CULVERT PER COA STANDARDS- REFER TO CIVIL
- EXISTING RAMP HYDRANT TO REMAIN
- 10 DEGREE DOWNSIDE TURNDOWN SIDEWALK

GENERAL NOTES

- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, REFER TO GEOTECHNICAL REPORT FOR PAVING REQUIREMENTS.
- LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- IRRIGATION: SEE LANDSCAPE PLAN
- PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

PARKING REQUIREMENTS

5 SPACES PER DOCTOR, PER REQUIREMENTS FOR DENTAL OFFICE/CLINIC PER COA 14-16-3-1 PART (18)

REQUIRED:
POTENTIAL OF UP TO 4 DOCTORS, SO 20 REQUIRED
1 H.C. SPACE
1 MOTORCYCLE SPACES

PROVIDED:
20 REGULAR SPACES PROVIDED
2 H.C. SPACES (1 VAN ACCESSIBLE) = 22 TOTAL +
2 MOTORCYCLE SPACES

LANDSCAPING REQUIREMENTS

BLDG AREA 7,280 S.F.
LOT AREA 22,365 S.F.

REQUIRED:
REFER TO LANDSCAPING PLAN

PROVIDED:
REFER TO LANDSCAPING PLAN

PER APPROVED SITE DEVELOPMENT PLAN
EPC # Z-95-25
DRB # 95153
CURRENT COMBINED TRACTS A-2 AND A-3, F.A.R. NOT TO EXCEED 0.16

PROPOSED: COMBINED TRACTS F.A.R. NOT TO EXCEED 0.25

TRACT A-2: 3865 SF BLDG/ 26,848 SF LOT SIZE = 0.14 F.A.R.
TRACT A-3: 7280 SF BLDG/ 22,365 SF LOT SIZE = 0.32 F.A.R.

COMBINED AVERAGE OF F.A.R. FOR BOTH TRACTS:
 $0.14 + 0.32 / 2 = 0.23$, SO OK

APPROVAL SIGNATURE BLOCK:

EPC CASE NUMBER Z-95-25 /

DRB CASE NUMBER 95153 /

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

ABCWUA

PARKS AND RECREATION DEPARTMENT

CITY ENGINEER

ENVIRONMENTAL HEALTH DEPARTMENT

SOLID WASTE MANAGEMENT

DRB CHAIRMAN

SITE PLAN
1/16"=1'-0"

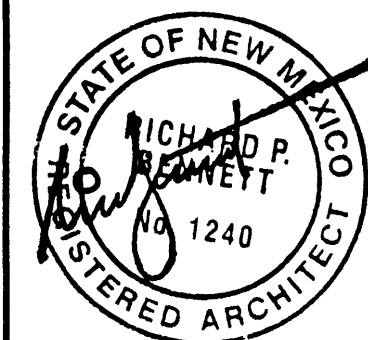
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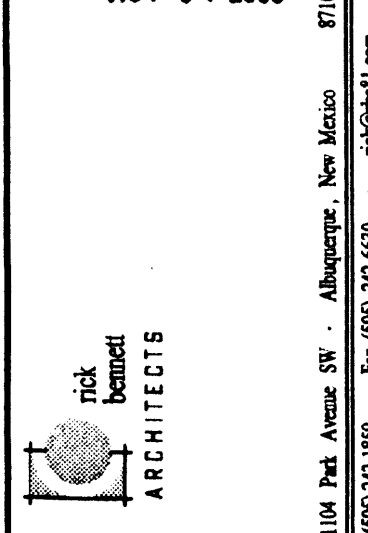
HYDROLOGY
SECTION

CUBERO PROFESSIONAL OFFICES
SITE PLAN- SITE DEVELOPMENT PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #0822

REVISION DATE



NOV 07 2008



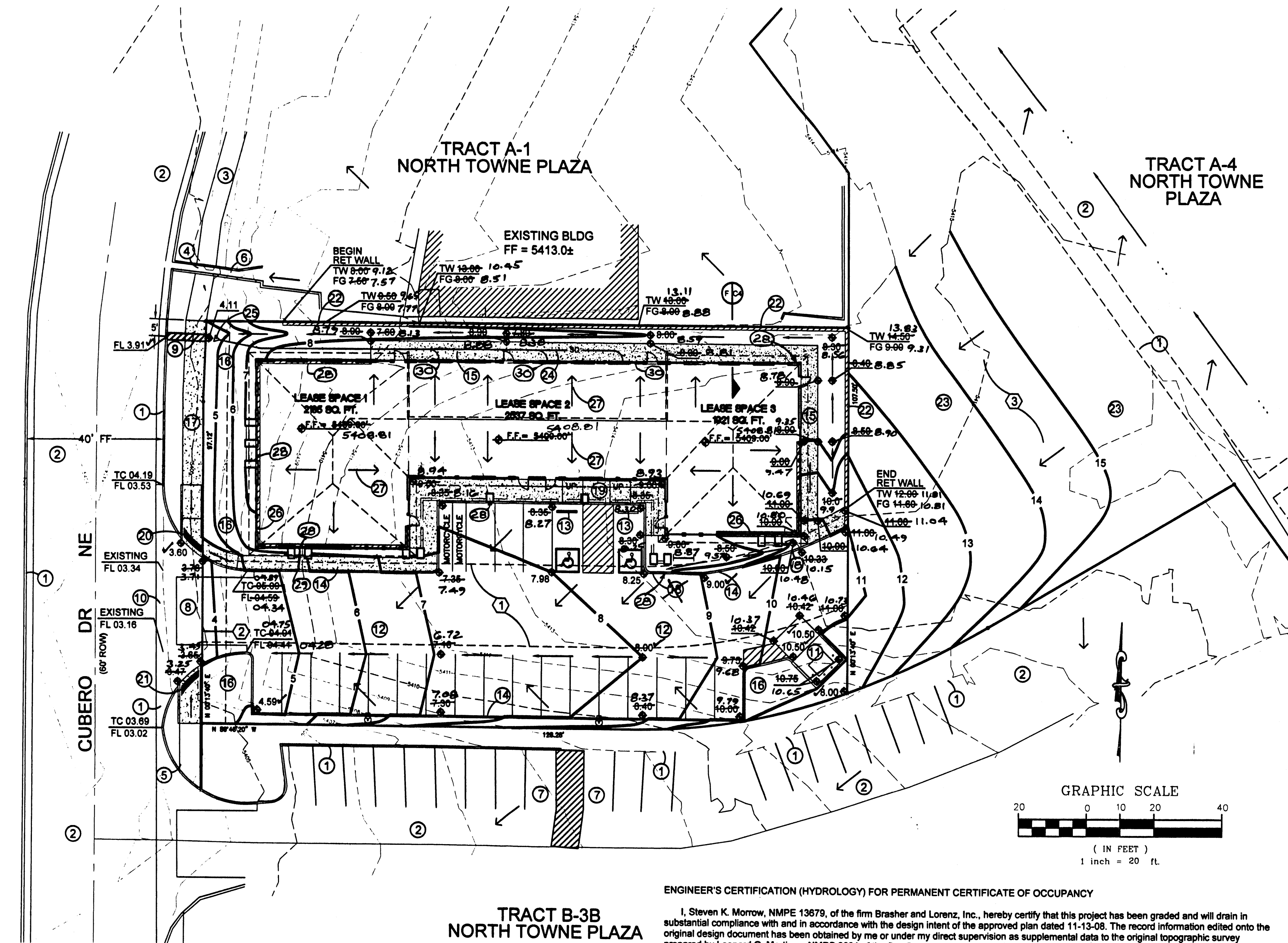
DATE
10-07-2008

SHEET NUMBER

C-1

CUBERO DRIVE NE

SITE DEVELOPMENT PLAN FOR 5910 CUBERO DRIVE



TRACT B-3B NORTH TOWNE PLAZA

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11-13-08. The record information edited onto the original design document has been obtained by me or under my direct supervision as supplemental data to the original topographic survey prepared by Leonard G. Martinez, NMPS 9801 of the firm Brasher and Lorenz, Inc., and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow
Steven K. Morrow, NMPE 13679
8-18-09
Date



KEYED NOTES

- EXISTING STANDARD CONCRETE CURB AND GUTTER.
- EXISTING ASPHALT PAVEMENT.
- EXISTING 6" SIDEWALK.
- EXISTING SIDEWALK CULVERT.
- EXISTING H/C RAMP.
- EXISTING FLUME.
- EXISTING H/C PARKING AND STRIPING.
- EXISTING UTILITIES TO BE RELOCATED BY USER.
- CONSTRUCT 24" SIDEWALK CULVERT PER COA DWG 2238.
- CONSTRUCT NEW VALLEY GUTTER PER COA DWG 2420.
- NEW REFUSE ENCLOSURE WITH STUCCO FINISH. SEE SITE PLAN.
- NEW ASPHALT PAVEMENT.
- NEW TIRE STOPS.
- NEW 6" CONCRETE CURB & GUTTER.
- NEW 5" WIDE SIDEWALK.
- NEW LANDSCAPING.
- CONSTRUCT 6" SIDEWALK PER DWG 2430.
- PROVIDE 6" CURB BLOCKOUT FOR DRAINAGE FLOWS.
- CONSTRUCT H/C PER DETAILS D/C-4 AND E/C-4.
- CONSTRUCT H/C A PER DETAIL H/C-4.
- CONSTRUCT H/C B PER DETAIL G/C-4.
- CONSTRUCT RETAINING WALL PER DETAIL J/C-4.
- GRAVEL SURFACING.
- CONSTRUCT 6" PVC SD. SEE PLUMBING PLAN.
- PROVIDE END SECTION AT SD OUTLET INV +04.50.
- STEM FOUNDATION WALL. SEE FOUNDATION PLAN.
- DIRECTION OF ROOF DRAINAGE - TYPICAL.
- ROOF DRAIN.
- SLOTTED DRAIN ACROSS SIDEWALK.
- ROOF DRAIN DRAINS TO 1" DIA DRAIN THAT DRAINS TO 6" PVC STORM DRAIN.

DRAINAGE PLAN NOTES

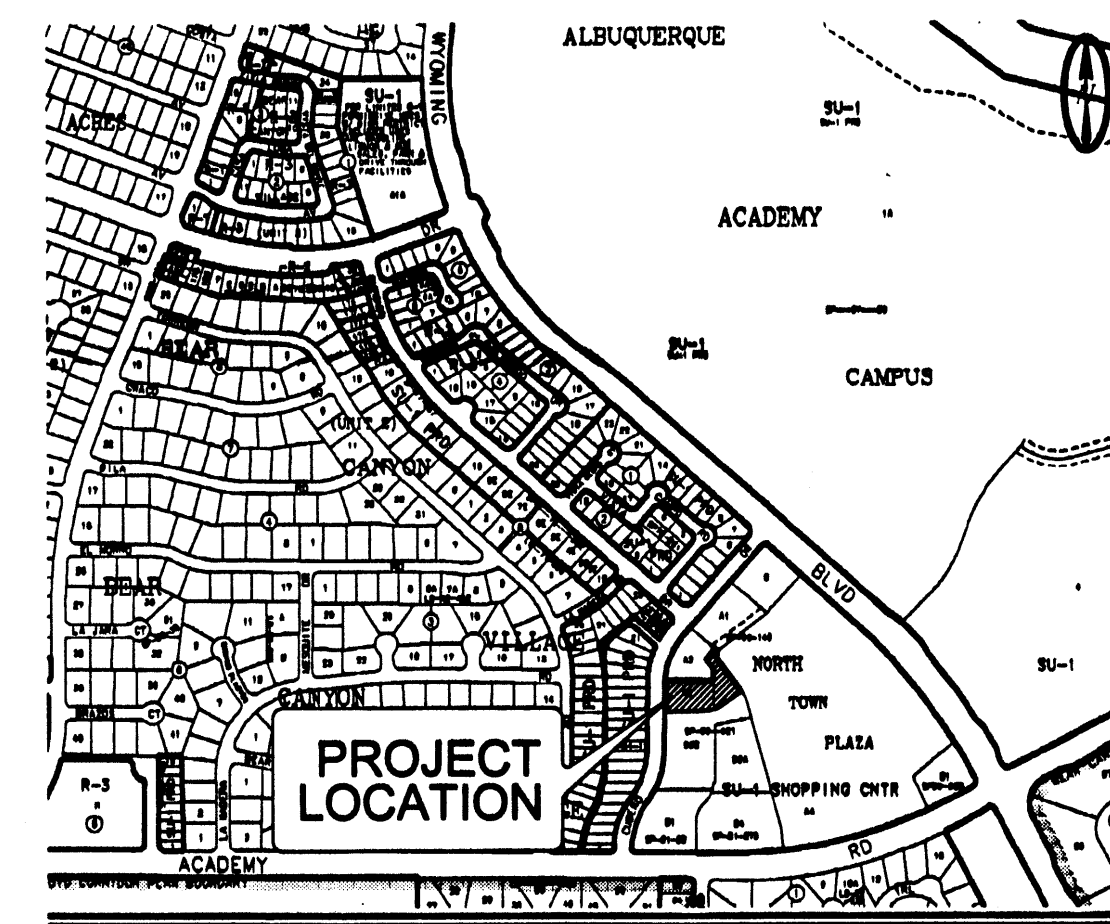
- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

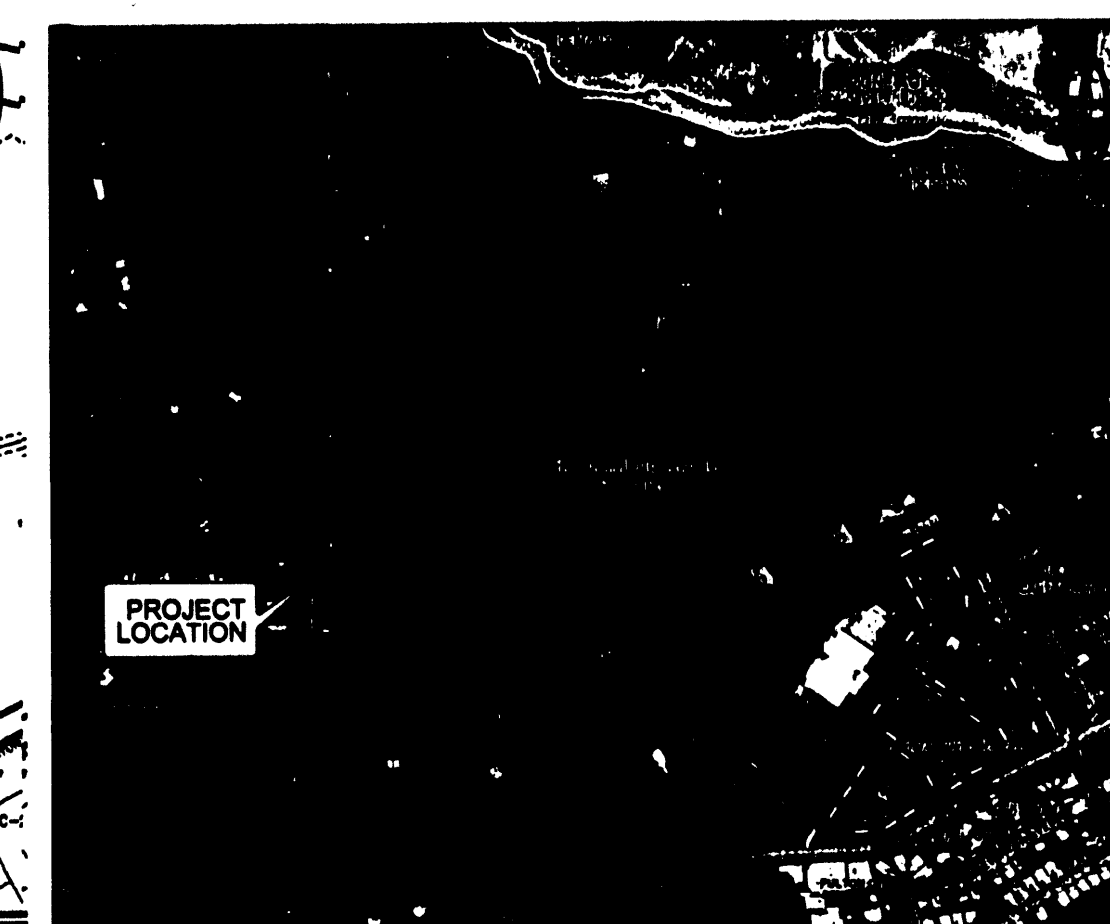
EASEMENT SCHEDULE

- EXISTING 24" PRIVATE ACCESS AND DRAINAGE EASEMENT 95C-234 (7-27-95).
- EXISTING 7" PUBLIC UTILITY EASEMENT C18-28 (12-19-79).
- PRIVATE DRAINAGE EASEMENT 95C-284 (7-27-95).

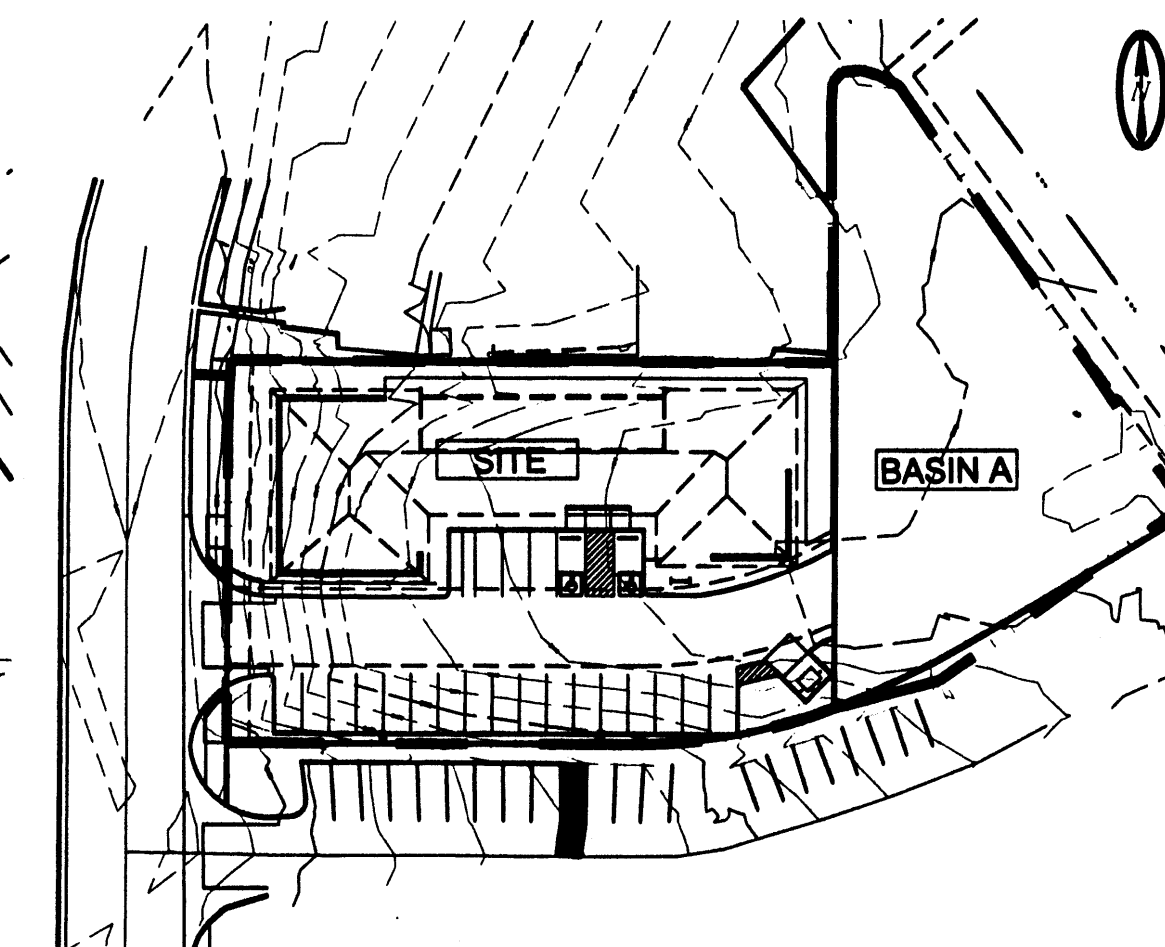
PROJECT HYDROLOGY									
AHYMO									
ZONE:	3								
P 1 HOUR	2.60"								
P 10 DAY	4.90"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.48	0.00	0.00	0.48	0.00	1.29	1.7	0.052	
A	0.27	0.00	0.00	0.27	0.00	1.29	0.9	0.029	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
1	0.13	0.00	0.00	0.050	0.080	1.95	0.5	0.021	
2	0.35	0.00	0.00	0.050	0.300	2.21	1.7	0.065	
A	0.27	0.00	0.00	0.270	0.000	1.29	0.9	0.029	



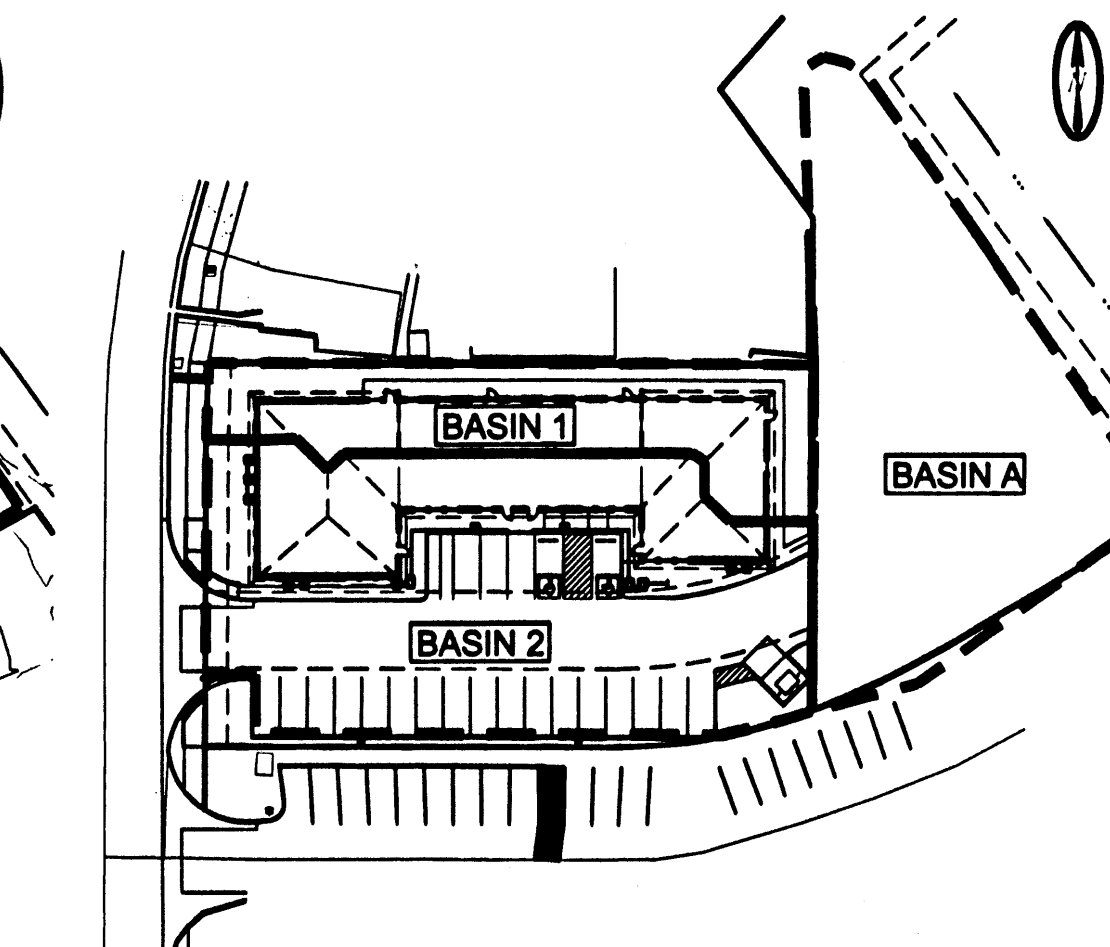
VICINITY MAP ZAP E-19-Z NTS



FIRM PANEL 35001C0354E NTS



EXISTING BASIN MAP NTS



PROPOSED BASIN MAP NTS

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER	—	—
LIGHT POLE	☆	☆
OVERHEAD ELEC WITH POWER POLE	— OHE —	— OHE —
OVERHEAD UTILITY LINE	— OHU —	— OHU —
SPOT ELEV.	G=16.7	16.7
RIGHT OF WAY	—	—
CENTERLINE	—	—
TOP OF ASPHALT ELEV.	EX TA 16.2	TA 16.2
TOP OF CURB ELEV.	EX TC 16.2	TC 16.2
CONTOUR W/ ELEVATION	4992	92
BASIN BOUNDARY	—	—
ASPHALT PAVING	—	—
DRAINAGE SWALE	—	—
DIRECTION OF FLOW	—	—
BUILDING	—	—
RETAINING WALL	—	—
SIDEWALK	—	—
FOUNDATION STEM WALL	—	—

GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE PROPERTY BY CONSTRUCTING A DENTAL CLINIC. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, AND GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

THE PROJECT SITE CONTAINS APPROXIMATELY 0.48 ACRES AND IS LOCATED AT 5900 CUBERO DRIVE NE. THE SITE IS UNDEVELOPED. THE SITE IS BOUNDED TO THE NORTH BY DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY, TO THE WEST BY CUBERO DRIVE NE AND TO THE EAST BY DEVELOPED COMMERCIAL PROPERTY. CURRENTLY, ON-SITE RUNOFF DRAINS WEST ONTO CUBERO DRIVE NE, AND SOUTH ONTO THE ADJOINING COMMERCIAL SITE PARKING LOT. OFFSITE RUNOFF, FROM THE EAST DRAINS WEST TO CUBERO DRIVE NE. OFFSITE FLOWS IMPACT THE SITE FROM UNDEVELOPED BASIN 'A' LOCATED EAST OF THE SITE. BASIN 'A' IS A PORTION OF TRACT A-4, NORTH TOWNE PLAZA SHOPPING CENTER THAT WAS RESERVED FOR A DETENTION POND. A DETENTION POND WAS CONSTRUCTED NORTH OF THE SHOPPING CENTER ON TRACT A-1 LEAVING THE SUBJECT PARCEL UNDEVELOPED AND UNUSED FOR DRAINAGE PURPOSES. IT IS PRESENTLY USED AS OVERFLOW PARKING. NO OFFSITE FLOWS ENTER THE ABANDONED POND SITE FROM THE SHOPPING CENTER. ALL SHOPPING CENTER FLOWS DRAIN TO THE TRACT A-1 POND. FLOWS FROM BASIN 'A' ENTER THE PROJECT SITE FROM THE EAST. NO FLOWS ENTER THE SITE FROM THE NORTH OR SOUTH. CUBERO DRIVE DRAINS SOUTH AWAY FROM THE SITE.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING A DENTAL CLINIC.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES AND SHEET FLOW, CONVEYING RUNOFF TO CUBERO DRIVE NE. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS.

BASIN 1 WILL DRAIN WEST TO CUBERO THRU A SIDEWALK CULVERT. BASIN 2 WILL DRAIN WEST TO CUBERO THRU THE PROPOSED DRIVEWAY. BASIN 3 REPRESENTS AN OUTPARCEL THAT WILL BE GRADED AND GRAVEL SURFACED FOR OVERFLOW PARKING. EASEMENTS EXIST TO ACCOMMODATE CROSS ACCESS AND DRAINAGE.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SILT FENCING IS RECOMMENDED ALONG THE DOWNSTREAM CONSTRUCTION BOUNDARIES. IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES AND MAINTAIN A SWPPP, IF REQUIRED, UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

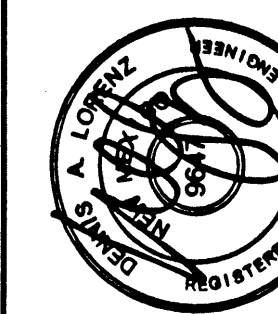
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CUBERO DENTAL OFFICE
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NEW MEXICO

REVISION DATE

10-07-08



DATE

10-07-08

SHEET NUMBER

10-07-08

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AUG 19 2008

HYDROLOGY

SECTION

08545