



Timothy M. Keller, Mayor

December 14, 2017

Jeffery Wooten, P.E.
Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, NM 87124

RE: North Town Plaza Tract A-1 – 5901 Wyoming Blvd. NE
Request for Certificate of Occupancy
Hydrology Final Inspection- Disapproved
Engineer's Stamp Date: 12/09/2017 (E19D033)
Certification Dated: 12/12/17

Dear Mr. Wooten:

Based upon the information provided in the submittal received on 11/27/17 the above-referenced plan cannot be approved for release of Certificate of Occupancy by Hydrology. The changes made to the approved grading and drainage plan are too extensive to be made on the Engineer's Certification. A revised Grading and Drainage Plan (showing the storm drain on the north side of the building instead of the south side) must be submitted and approved first, and then the Engineer's Certification can be made on the newly approved G&D Plan. All sheets of the plan should be resubmitted and the changed pipe locations should be shown on all sheets. For revised G&D Plan approval the following will need to be addressed.

1. The HGL should be shown on the new pipe profiles with elevations, flow rates, and velocities ladled. Provide sufficient details of the "snorkel" pond outlet structure to demonstrate that it has capacity to discharge the peak flow rate. All engineering calculations must be bound into a report and stamped by a registered professional engineer
2. Include engineering calculations in the report to demonstrate adequate downstream capacity to justify increasing the existing allowable pond discharge from 9.6 cfs to 26 cfs from the new pond. Digital copies of all models should also be included with the revised G&D submittal.

PO Box 1293

Albuquerque

NM 87103

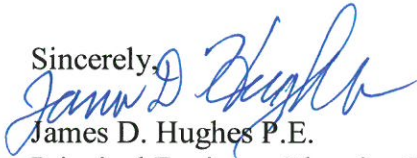
www.cabq.gov

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Prior to Hydrology approval of the release of CO the following need to be addressed:

1. After the revised G&D Plan has been approved, the Engineer's Certification should be added along with as-built elevations at all drainage structures, inlets, water blocks, and the ponds
2. A new Drainage Covenant for the new pipes and pond must be recorded and the old drainage covenant should be released. Two Drainage Covenants may be required, one for each of the separate parcels. The parcels and easements should show up on the G&D Plan and on the exhibits included with the covenants.
3. Provide proof that the existing private drainage easement has been removed from where the building is located, and a new easement has been granted on all of the new storm drain locations.
4. Provide proof that the retaining wall/piling around the pond has been permitted for construction and accepted by the City, and note the change from wall to piles on the plans.

If you have any questions, you can contact me at 924-3986 or e-mail at jhughes@cabq.gov.

Sincerely,

James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

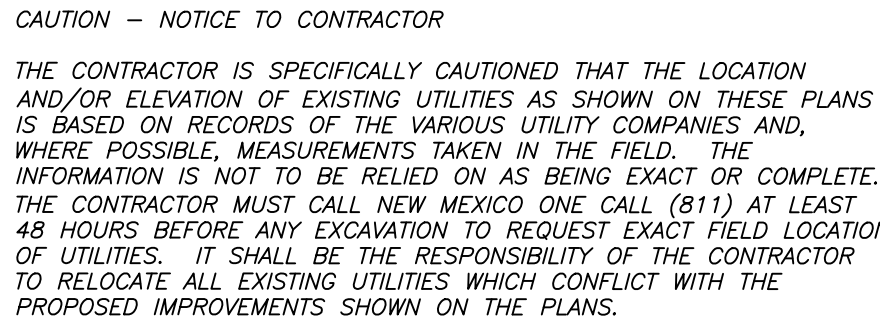
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

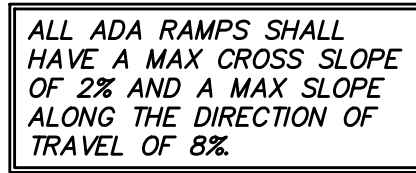
DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

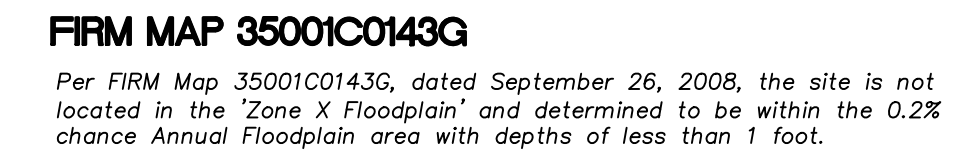
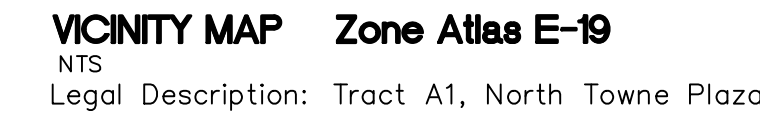


CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



	FLOW ARROW
	PROPOSED TOP OF GRADE/PVMT ELEVATIONS
	PROPOSED FLOW LINE/GUTTER ELEVATIONS
	PROPOSED TOP OF CURB ELEVATIONS
	PROPOSED GRADE AT TOP OF WALL
	PROPOSED GRADE AT BOTTOM OF WALL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM DRAIN
	FLOW LINE
	RIDGE LINE



1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, FIRST SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY. EROSION CONTROL MEASURES SHALL BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- .005' FROM PLAN ELEVATIONS. PAD ELEVATIONS SHALL BE +/- .005' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT SURFACE. ELEVATIONS IN THE PARKING AREA MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH RELATE TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/9/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS D. JOHNSON, NMPS 14269. I FURTHER CERTIFY THAT I PERSONALLY SUPERVISED THE PROJECT FROM 11/30/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SUBMITTAL PROVIDED IS AN ACCURATE REPRESENTATION OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRESPOND TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY (FINAL C.O.).

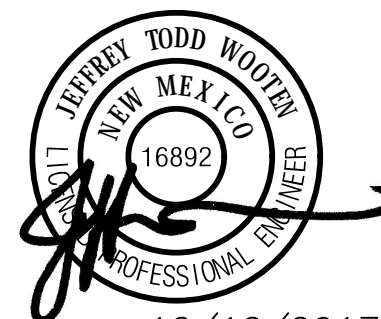
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

PROPOSED SITE CONDITIONS
PERVIOUS AREA: 7,572 SF
IMPERVIOUS AREA: 22,169 SF
TOTAL PROJECT AREA: 29,741 SF
% IMPERVIOUS = 74.5%

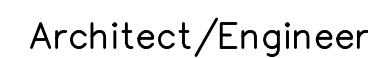
TOTAL IMPERVIOUS AREA = 22,169 SF
FIRST FLUSH = $22,169 \times 0.34" / 12 = \underline{628 \text{ CF}}$

	CONTOUR	ELEVATION	AREA (SF)	VOLUME (CF)
POND 'A'		5412.00	514 SF	375.0 CF
		5411.00	236 SF	
		5410.00	68 SF	152.0 CF
		TOTAL		527.0 CF
POND 'B'		5407.00	574 SF	416.0 CF
		5406.00	258 SF	
		5405.00	84 SF	171.0 CF
		TOTAL		587.0 CF
GRAND TOTAL				1,114.0 CF

JEFFREY T. WOOTEN, NMPE 16892



**NORTH TOWNE
PLAZA TRACT A-1,
NEW BUILDING**
5901 WYOMING, NE
ALBUQUERQUE, NM 87109

[illegible]

SITE GRADING PLAN

C201