

# CITY OF ALBUQUERQUE



October 6, 2016

Wooten Engineering  
Jeffrey Wooten  
1005 21<sup>st</sup> Street SE,  
Rio Rancho, NM 87124

**Re: North Towne Plaza Tract A-1  
5901 Wyoming  
Traffic Circulation Layout  
Engineer's Stamp 09-20-16 (E19-D033)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 09-20-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please provide more detail for the ADA Curb Ramp located on the north corner, the grades, cross slopes and running slopes may be too large.

PO Box 1293

Albuquerque

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact Logan Patz (505) 924-3630.

Sincerely,

New Mexico 87103

Logan Patz  
Traffic Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

**TYPE OF SUBMITTAL:**

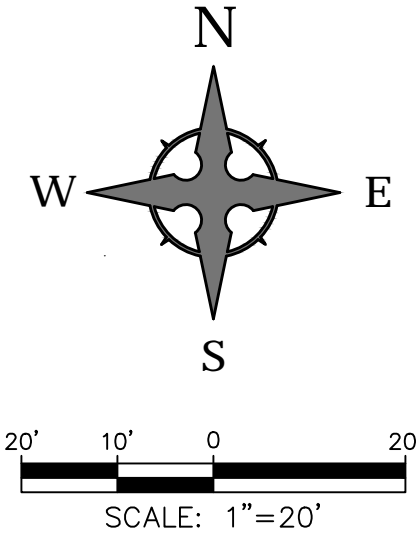
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

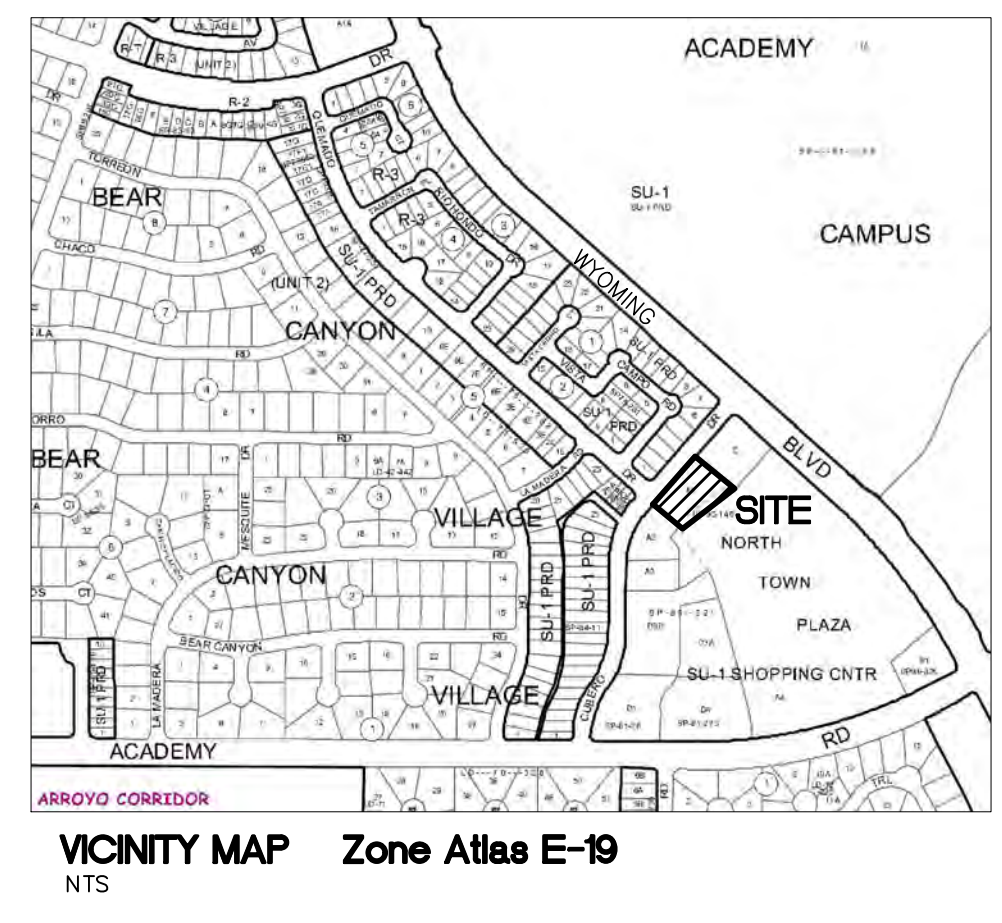
COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**SITE INFORMATION**  
 CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.  
**CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.**  
 TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

**CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

PARKING CALCULATIONS			
BUILDING AREA:	# SEATS	AREA (SQUARE FEET)	
RETAIL	N/A	6,120 SF	
PARKING REQUIREMENTS:			
RETAIL	RATIO	REQUIRED	PROVIDED
	1/200 SF	31 spaces	31 spaces
TOTAL		31 spaces	31 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING		2 spaces	2 spaces
MOTORCYCLE PARKING		2 spaces	2 spaces
BICYCLE PARKING		2 spaces	7 spaces



# ARIA

STUDIO CONSULTANTS, INC  
 PO BOX 1515  
 CEDAR CREST, NM 87008  
 DANIEL@ARIASCINC.COM  
 (505) 506-2314

**NORTH TOWNE  
 PLAZA TRACT A-1,  
 NEW BUILDING**  
 5901 WYOMING, NE  
 ALBUQUERQUE, NM 87109



**TODD WOOLLEN**  
 NEW MEXICO  
 16892  
 PROFESSIONAL ENGINEER  
 9/20/2016  
 Architect/Engineer

**KEYED NOTES**

- TRASH ENCLOSURE PER COA STDS. REF. ARCHITECTURAL DETAILS, SHEET AS401.
- INSTALL CURB/GUTTER (6" HIGH) PER ARCHITECTURAL DETAILS SHEET AS401.
- INSTALL CURB RAMP WITH TRUNCATED DOMES PER DETAIL ON SHEET C401. MIN 6' WIDE.
- NOT USED.
- INSTALL CONCRETE SIDEWALK PER DETAIL ON SHEET C401.
- ASPHALT PAVEMENT, SEE PAVING DETAILS ON SHEET C401.
- PROPOSED SITE LIGHTING, REFERENCE MEP PLANS.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- PAINTED WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
- INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
- PROPOSED RETAINING WALL PER STRUCTURAL PLANS. INSTALL RAILING PER ARCHITECTURAL DETAILS. STEP RAILING AS NEEDED.
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
- INSTALL BIKE RACK PER ARCHITECTURAL DETAILS SHEET AS401. FIVE (5) SPACES PER RACK.
- MOTORCYCLE PARKING. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER CITY OF ALBUQUERQUE CODE.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL SHEET C104.
- SAWCUT (FULL DEPTH), REMOVE, AND REPLACE EXISTING ASPHALT PAVEMENT TO MATCH EXISTING SECTION.
- PROPOSED RETAINING WALL WITH FALL PROTECTION RAILING TO BE DESIGNED AND PERMITTED BY OTHERS. REF SHEET C202 FOR POND GRADING PLAN.
- 6" PVC STORM DRAIN. REF SHEET C201 GRADING PLAN.
- INSTALL WOOD FENCE TO MATCH EXISTING. REFERENCE SHEET C202 FOR ADDITIONAL FENCING AND GATE.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO if yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

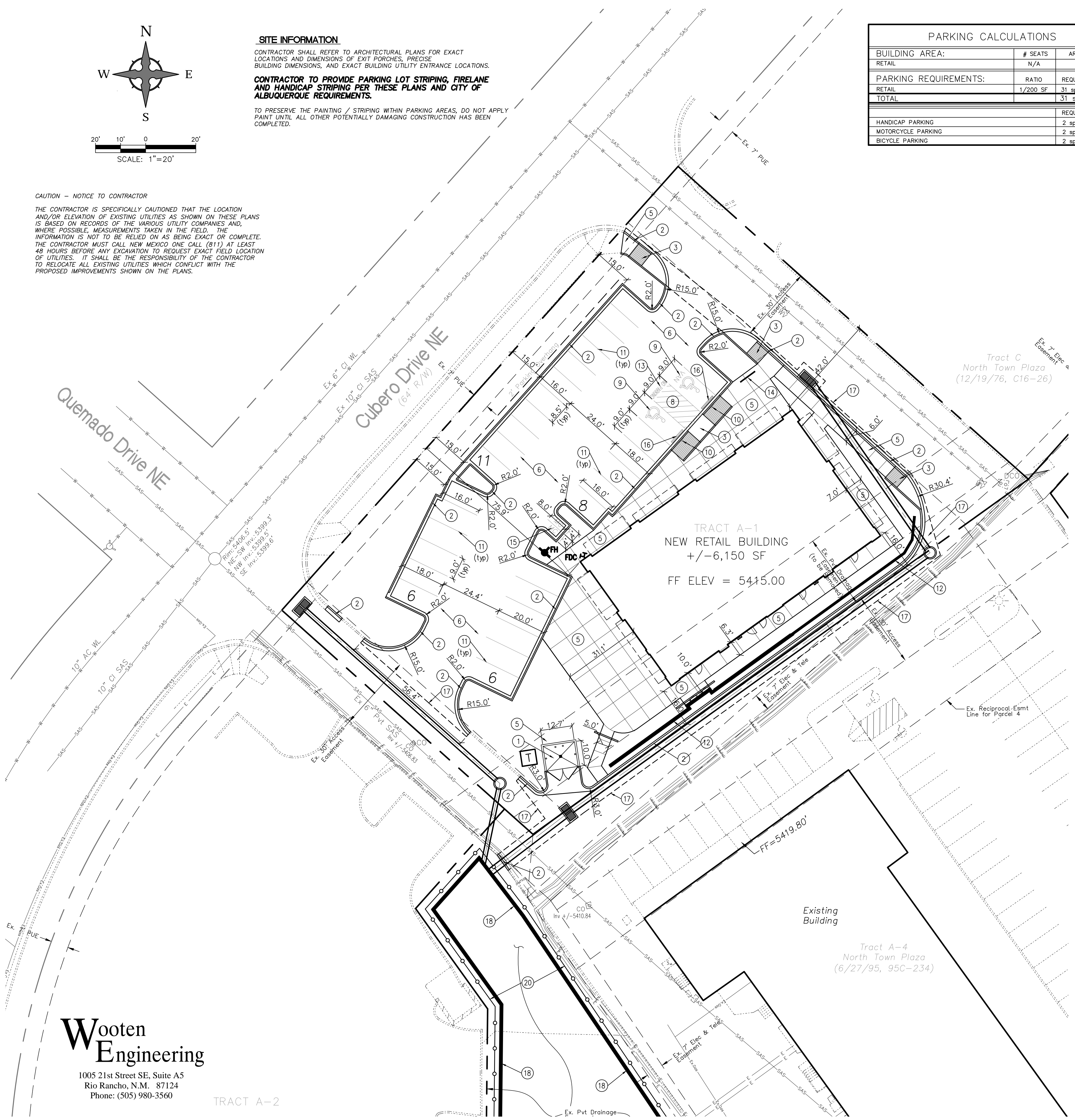
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
Environmental Health Department	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

\* Environmental Health, if necessary

MARK	DATE	DESCRIPTION
<b>REVISIONS</b>		
ISSUE		DRB
PROJECT NO		2014026
CAD DWG FILE		
DRAWN BY		JTW
CHECKED BY		JTW
DATE		07/22/2016

**SITE PLAN FOR  
 BUILDING PERMIT**



**Wooten Engineering**  
 1005 21st Street SE, Suite A5  
 Rio Rancho, N.M. 87124  
 Phone: (505) 980-3560

TRACT A-2