

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 18, 2025

Jackie McDowell, P.E.  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: Ramsey, Janel – Garage Addition**  
**6009 Mesquite Dr NE – (ABQ-PLAN Address: 6009 Camino Placido NE)**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 9/2/25**  
**Hydrology File: E19D035**  
**Case # HYDR-2025-00318**

Dear Ms. McDowell:

Based upon the information provided in your submittal received 9/2/2025, the Grading & Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov) .

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Ramsey, Janel - Garage Addition **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT A, BLOCK 6, BEAR CANYON VILLAGE, UNIT 2

**City Address:** 6009 Mesquite Dr NE, Albuquerque, NM 87109

**Applicant:** MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL

**Address:** 7820 BEVERLY HILLS AVE. NE

**Phone#:** 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net

**Other Contact:** Janel Ramsey **Contact:** Janel Ramsey

**Address:** 5917 CAMINO PLACIDO NE ALBUQUERQUE NM 87109

**Phone#:** 575.520.1253 **Fax#:** \_\_\_\_\_ **E-mail:** janelram1103@gmail.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots)  RESIDENCE \_\_\_\_\_ DRB SITE  ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes  No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION  HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

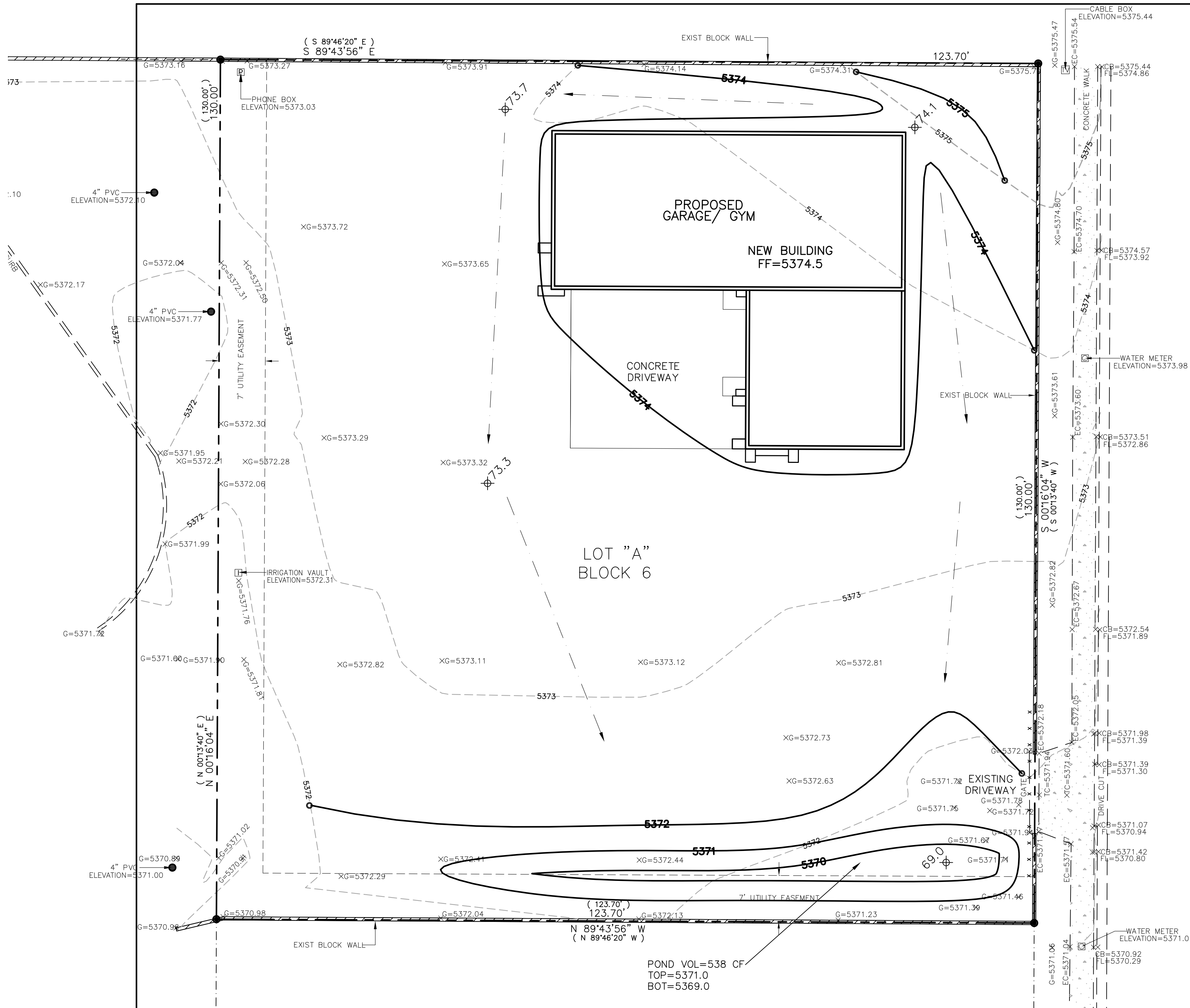
- BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 9-2-25 **By:** JACKIE MCDOWELL

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



M E S Q U I T E D R I V E N E

**SURVEY GENERAL NOTES:**

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "12-F19", HAVING AN ELEVATION OF 5386.837, NAVD 1988.
3. UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.

**SURVEY LEGEND**

CB = CURB  
 EC = EDGE OF ASPHALT  
 G = GROUND  
 TC = TOP OF CONCRETE

**DRAINAGE PLAN**

**SCOPE:**  
 Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown herein outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One new building is proposed for the site with associated access.

**EXISTING CONDITIONS:**

Presently, the 0.40 acre site is undeveloped. The site is located along the west side of Mesquite Dr. and La Madera Rd. The site slopes from the north to the south. As shown on FEMA Panel #0139G, dated September 26, 2008, the site is not located in a 100 year flood plain.

**PROPOSED CONDITIONS:**

As shown by the plan, the building is located at the northeasterly side of the lot. The site will drain to a pond designed for the first flush volume. No off-site flows enter the site. On site flows will drain around the structure via swales/slopes, and flow to the southeast pond. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

**CALCULATIONS:**

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions.

**PROPERTY ADDRESS:**

6009 Mesquite Dr NE, Albuquerque, NM 87109

**TOPOGRAPHY:**

Topographic information provided by Anthony Harris dated August, 2025.

**CALCULATIONS:**  
 Precipitation Zone = 3  
 Land Treatments:

Areas (acres)	Existing	Proposed
Treatment A	0.40	0.00
Treatment B	0.00	0.00
Treatment C	0.00	0.34
Treatment D	0.00	0.06
<b>Total (acres) =</b>	<b>0.40</b>	<b>0.40</b>

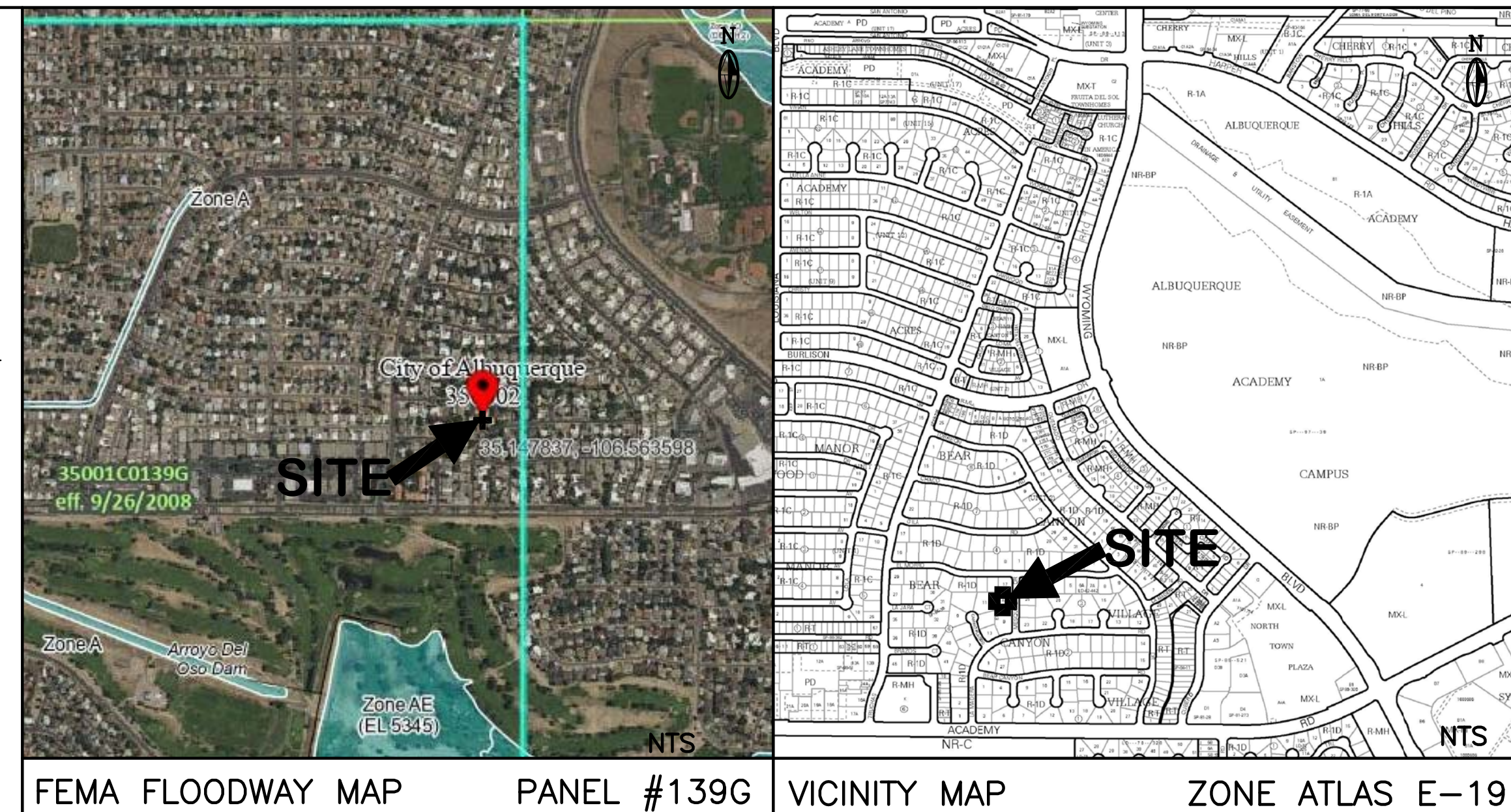
SOUTH POND VOLUME CALCS:						
ELEV (FT)	AREA (SF)	VOL (CF)				
5371	695	443				
5370	191					
5369	0	95.5				
		SUBTOTAL	538.5			

Volume	100 year		10 year		2 year	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
Volume (acre-feet) =	0.02	0.05	0.01	0.03	0.00	0.01
Volume (cubic feet) =	958	2,108	276	1,092	0	441

FIRST FLUSH REQUIRED POND VOL = 0.34"/(12"/FT)\*(0.40 AC \* 43560 SF/AC) = 494 CF

Total Q(p), cfs	100 year		10 year		2 year	
	Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.75	0.00	0.23	0.00	0.00	0.00
Treatment B	0.00	0.00	0.00	0.00	0.00	0.00
Treatment C	0.00	1.17	0.00	0.68	0.00	0.27
Treatment D	0.00	0.30	0.00	0.20	0.00	0.12
<b>Total Q (cfs) =</b>	<b>0.75</b>	<b>1.47</b>	<b>0.23</b>	<b>0.88</b>	<b>0.00</b>	<b>0.39</b>



**LEGEND**

	EXISTING	PROPOSED
CONTOUR	- - - - - 5243	————— 6045
PROPERTY LINE	- - - - -	—————
ROAD	—————	—————
SETBACK	- - - - -	—————
WALL/FENCE	—————	—————
SPOT ELEVATION	XG=5373.57	XXXX

**City of Albuquerque  
 Planning Department  
 Development Review Services  
 HYDROLOGY SECTION  
 APPROVED**

DATE: 9/18/2025  
 BY: *Jackie S. McDowell*  
 HydroTrans #: E19D035

THE APPROVAL OF THESE PLANS REPORTS SHALL NOT BE CONSIDERED TO PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCEMENT OF ANY CITY ORDINANCES OR STATE LAWS, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIVE ACTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

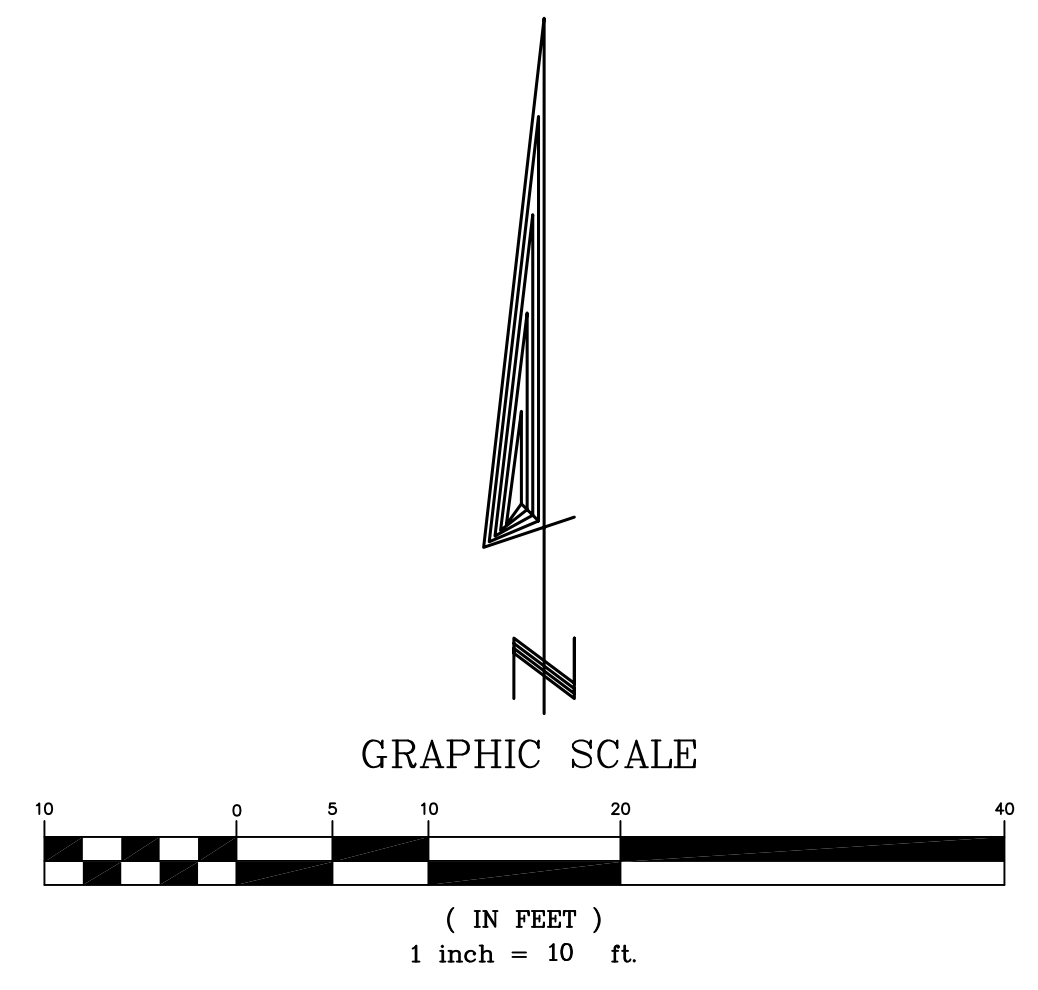
*Jackie S. McDowell*  
 REGISTERED PROFESSIONAL ENGINEER  
 9-2-25

**STANDARD EROSION CONTROL NOTES:**

1. Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work, if required.
2. Contractor is responsible for maintaining runoff on site during construction.
3. Contractor is responsible for cleaning all sediment that gets into the right-of-way.
4. Repair of damaged facilities and cleanup of sediment accumulations on adjacent properties and in public facilities is the responsibility of the contractor.
5. All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.

**GENERAL DRAINAGE PLAN NOTES:**

1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
4. This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
8. All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
10. Contactor shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.



**STANDARD GRADING NOTE:**  
 THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEEDDED.

GRADING  
 8-20-25  
 1=10  
 RAM0125L

**ENGINEER'S CERTIFICATION:**

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on July 18, 2025 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

6009 Mesquite Dr NE, Albuquerque, NM 87109  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

**LOT A, BLOCK 6, UNIT 2  
 BEAR CANYON VILLAGE**

RAMSEY GARAGE ADDITION – GRADING & DRAINAGE PLAN

**McDowell Engineering, Inc.**  
 7820 BEVERLY HILLS AVE. NE | ALBUQUERQUE, NM 87122  
 TELE: 505-828-2430

Designed JSM	Drawn STAFF	Checked JSM	Sheet	of
File RAM0125L	Date AUGUST, 2025		1	1