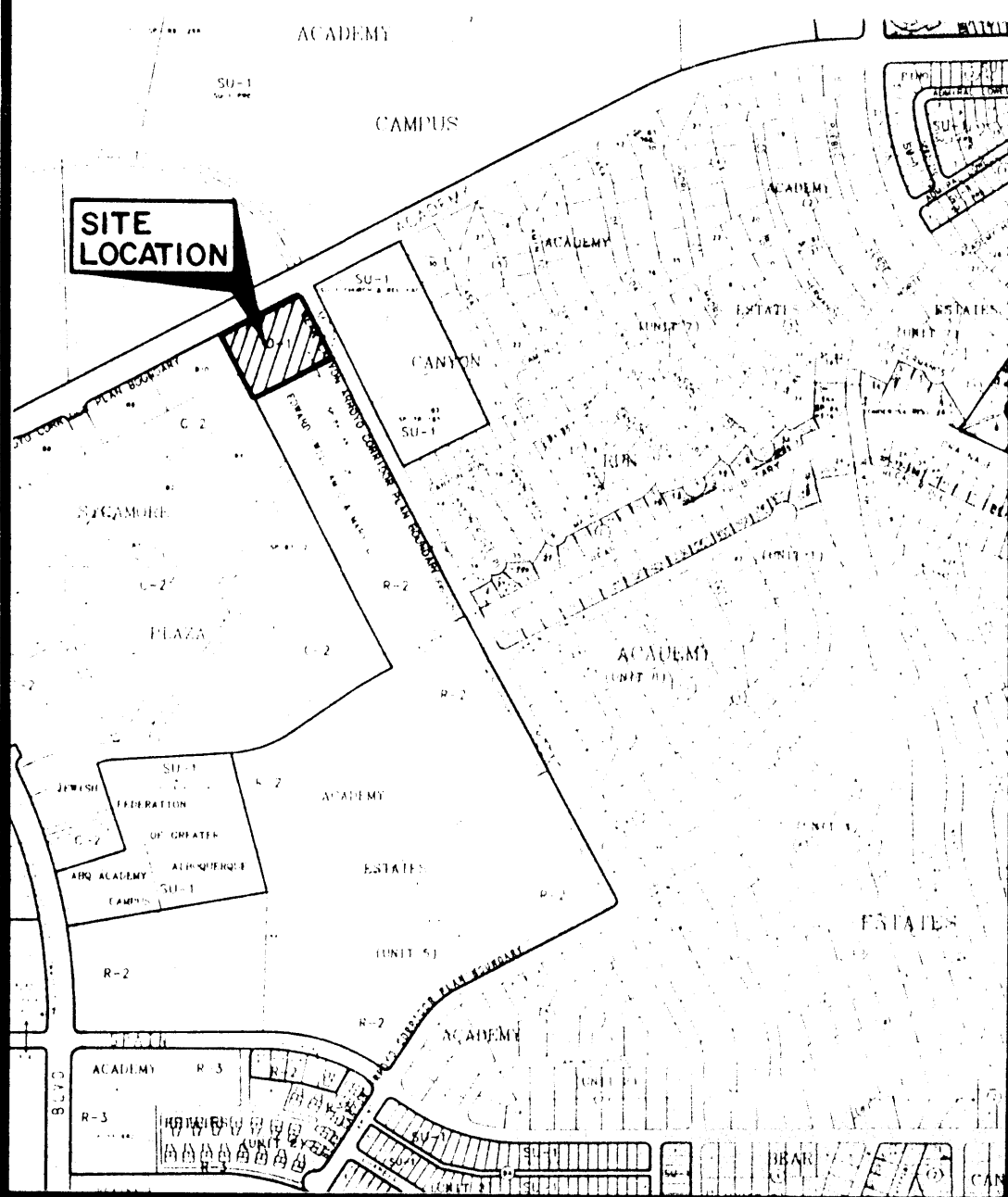


TALOS LOG # 95072008250067



VICINITY MAP
ZONE ATLAS: E-20-Z & F-20-Z

SUBDIVISION DATA

1. D.R.B. No. **95-343**
2. Zone Atlas Index No. E-20-Z & F-20-Z
3. Gross Subdivision Acreage 2.2999 Acres
4. Number of Tracts existing 1
5. Number of Tracts created 2
6. No streets were created or deleted by this Plat.
7. Date of Survey: June 9, 1995

EASEMENTS

1. This Plat shows all applicable easements noted in Commitment for Title Insurance File No. 34023 LH, dated May 11, 1995, prepared by Fidelity National Title Ins. Co.

NOTES

1. Bearings shown hereon are referenced to the Plat of Tracts 2A-1 & 2A-2, Land of William O. & Mary L. Edward, filed September 9, 1993, Map Book 93C, folio 258.
2. Maintenance for 30 Foot Private Ingress & Egress Easement to be the responsibility of the owners of Tracts 2A-1-A & 2A-1-B.
3. Bearings shown hereon are Grid Bearings and distances are Ground Distances.
4. 20 Foot Wide Private Drainage Easement for cross lot drainage from Tr. 2A-1-A to cross TR 2A-1-B is granted for the benefit of TR 2A-1-A and the maintenance of the 20 Foot Private Drainage Easement to be the responsibility of TR 2A-1-B.

FREE CONSENT, DEDICATION

The undersigned owners and proprietors of the property described on this plat, do hereby consent to the replatting of said property as shown on this plat, and do hereby dedicate the additional right-of-way at the intersection of Academy Road NE and Moon Street NE to the City of Albuquerque, New Mexico as shown on this plat, and do hereby grant the 30 Foot Private Ingress and Egress Easement and Drainage Easements as shown on this plat, and the same is with their free consent and in accordance with their desires.

EMG LTD, Co., a New Mexico Limited Liability Company,

BY William J. Bailey, Managing Member

SYCAMORE REALTY COMPANY, INC., a New Mexico Corporation

BY: John Sedberry

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

On this _____ day of _____, 1995, the foregoing instrument was

acknowledged before me by William J. Bailey, Managing Member for EMG LTD, Co.

My Commission expires _____
Notary Public

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

On this _____ day of _____, 1995, the foregoing instrument was

acknowledged before by me by _____

My Commission expires _____
Notary Public

NOTE:

PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO TRACTS 2A-1-A AND 2A-1-B MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.

95082618

PLAT OF
TRACTS 2A-1-A & 2A-1-B
LAND OF WILLIAM O. & MARY L. EDWARD
BEING A REPLAT OF TRACT 2A-1
ALBUQUERQUE, NEW MEXICO
JUNE, 1995

DISCLOSURE STATEMENT

The purpose of this Plat is to divide Tract 2A-1, Land of William O. & Mary L. Edward into 2 Tracts as shown on this Plat.

DESCRIPTION

Tract numbered 2A-1 of the Plat of Tracts 2A-1 and 2A-2 of LAND OF WILLIAM O. AND MARY L. EDWARD, Albuquerque, New Mexico, as the same is shown and designated on said Plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 9, 1993, in Map Book 93C, folio 258.

SP-95-12 APPROVED AND ACCEPTED BY:

Subdivision No.	
Planning Director	8-5-95
City Engineer	8-16-95
Traffic Engineer	8-16-95
A.M.P.C.A.	8-16-95
City Surveyor	8-1-95
Utilities Development Dept.	8-1-95
Parks & General Services	8-1-95

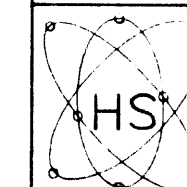
SURVEYOR'S CERTIFICATION

I, Preston E. Hall, New Mexico Registered Professional Land Surveyor No. 10,042, do hereby certify that this plat was prepared by me or under my supervision, shows all easements noted in Commitment for Title Insurance prepared by Fidelity National Title Co., dated May 11, 1995, meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and correct to the best of my belief and knowledge.

Preston E. Hall, N.M.P.S. No. 10,042

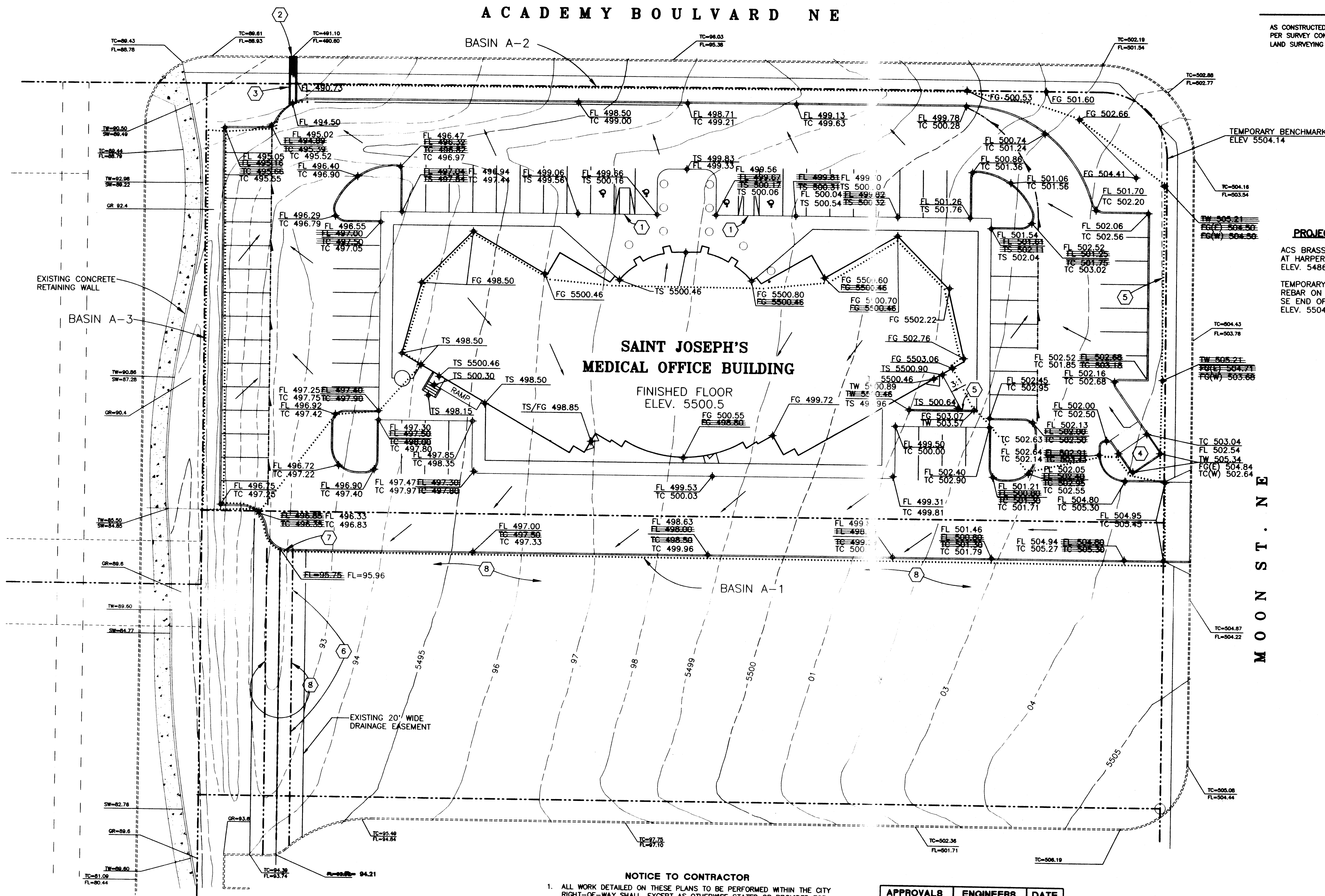
SHEET 1 OF 2

HALL SURVEYING CO.
12805 MENAUL BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87112
PHONE: 292-6727



CLIENT: AFC PARTNERS

FILE: DRAWINGS\5-6693\5-6693.DWG



LEGEND

AS CONSTRUCTED SPOT ELEVATION
PER SURVEY CONDUCTED BY ALDRICH
LAND SURVEYING ON 11-17-96

EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
PROPERTY LINE
CONSTRUCTED SWALE
DRAINAGE BASIN BOUNDARY
PROPOSED CURB AND GUTTER
EXISTING CURB AND GUTTER
EXISTING ELEVATION CONTOUR

GENERAL & CONSTRUCTION NOTES

- UNLESS OTHERWISE NOTED, ALL SIDEWALKS SHALL HAVE A CROSS SLOPE OF 2% AWAY FROM THE BUILDING.
- UNLESS OTHERWISE NOTED, ALL CROSS SLOPES WITHIN THE HANDICAP PARKING AREA AND BETWEEN THE PARKING AREA SHALL BE 2% MAX.
- THE FINISHED GRADE AT THE PROPERTY LINE SHALL BE A MINIMUM OF 0.87' ABOVE THE ADJACENT GUTTER FLOWLINE IN THE PUBLIC STREET.
- THE ENGINEER HAS NOT INVESTIGATED THE EXISTENCE OR LOCATION OF UNDERGROUND UTILITIES OR OTHER FACILITIES WITHIN THE PROJECT SITE. THE CONTRACTOR SHALL CONTACT BLUE STAKE PRIOR TO START OF CONSTRUCTION. IF ANY CONFLICT ARISES, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL UTILIZE BERMS, SILT FENCE, WATERING AND/OR OTHER MEANS TO ASSURE NO SOIL ERODES FROM THE PROJECT SITE INTO THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTIES. A TOP SOIL DISTURBANCE PERMIT WILL BE REQUIRED TO BE OBTAINED FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO START OF CONSTRUCTION. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEDED EITHER BY PERMANENT TREATMENT AS SHOWN ON THE PLANS OR IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- ALL CONCRETE FOR RETAINING WALLS AND RUNDOWNS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI. THE CONTRACTOR SHALL PLACE TOOLED CONTRACTION JOINTS AT 6' OC AND 1/2" EXPANSION JOINTS AT 36' OC.

KEYED NOTES

- BUILD HANDICAP RAMPS PER ARCHITECTURAL DETAILS
- BUILD 36" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STD. DETAIL 2236
- BUILD CONCRETE RUNDOWN PER DETAIL THIS SHEET
- DUMPSTER ENCLOSURE PER ARCHITECTURAL SITE
- BUILD CONCRETE RETAINING WALL PER DETAIL THIS SHEET. ALL RETAINING WALL SHALL HAVE HANDRAILS. SEE ARCHITECTURAL PLANS FOR HANDRAIL DETAILS AND WALL FINISHES
- BUILD RIPRAP CHANNEL WITHIN EXISTING DRAINAGE EASEMENT PER DETAIL THIS SHEET. ALIGN INVERT WITH EXISTING CURB CUT ON THE SOUTH.
- BUILD 10' WIDE CURB CUT TO MATCH CROSS-SECTION OF RIPRAP CHANNEL PER DETAIL THIS SHEET.
- GRADE FROM TOP OF CURB OR RUNDOWN TO NATURAL GRADE AT A SLOPE OF 4H:1V OR FLATTER.

PROJECT BENCHMARKS

ACS BRASS CAP STAMPED 13-E20
AT HARPER NE & ROSEWOOD NE
ELEV. 5486.223

TEMPORARY BENCHMARK SET ON
REBAR ON PROPERTY LINE @
SE END OF RETURN ON MOON ST. NE
ELEV. 5504.14

LARRY READ & ASSOCIATES

Civil Engineers

P. O. Box 90233
Albuquerque, New Mexico 87199-0233
(505) 858-3165

NORTH



GRADING PLAN

18 DECEMBER 1995

1"=20'-0"

NOTICE TO CONTRACTOR

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADING ENGINEER (765-2551) PRIOR TO OCCUPYING INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

APPROVALS ENGINEERS DATE

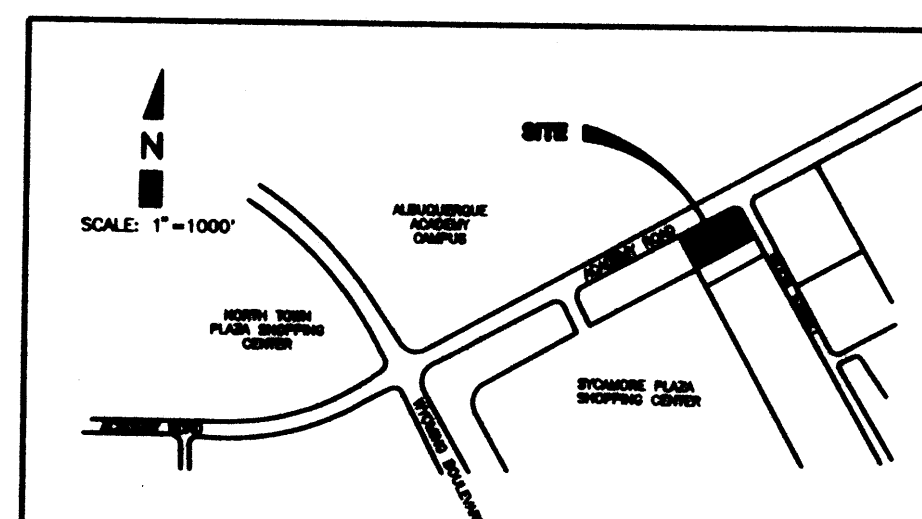
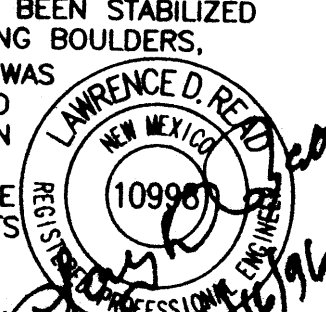
CITY ENGINEER	ENGINEERS	DATE
FIELD ENGINEER		
HYDROLOGY		

ENGINEER'S CERTIFICATION

CONSTRUCTION OF THE GRADING AND DRAINAGE ON THIS SITE HAS BEEN COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN DATED 1-12-96 EXCEPT AS FOLLOWS

- SIDEWALKS HAVE BEEN CONSTRUCTED ADJACENT TO ACADEMY AND MOON PER CITY ORDINANCES.
- THE RETAINING WALL BETWEEN THE EAST PARKING LOT AND MOON HAS BEEN ELIMINATED AND THE SLOPE STABILIZED WITH LANDSCAPING BOULDERS.
- THE SLOPE BETWEEN THE NORTH PARKING LOT AND ACADEMY HAS BEEN STABILIZED WITH LARGE LANDSCAPING BOULDERS.
- THE SIDEWALK CULVERT WAS BUILT 18" WIDE INSTEAD OF 24". THE RUNDOWN TAPERS FROM 24" AT THE TOP TO 18" AT THE BOTTOM WHERE IT MEETS THE CULVERT.

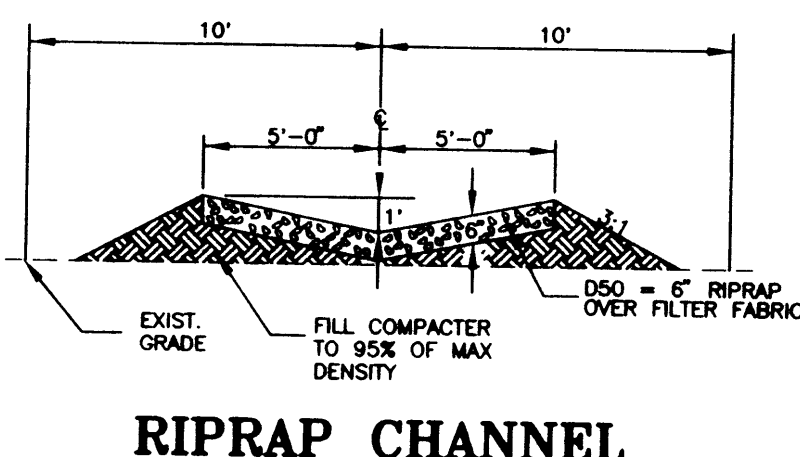
LARRY D. READ P.E.



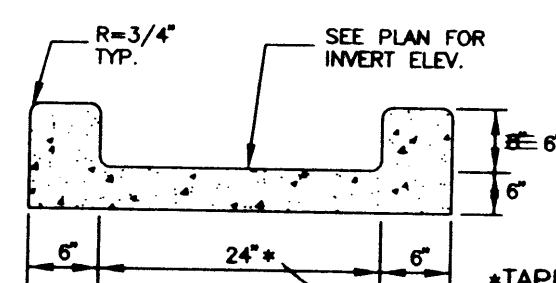
VICINITY MAP

ZONE ATLAS PAGE NO. E-20-Z

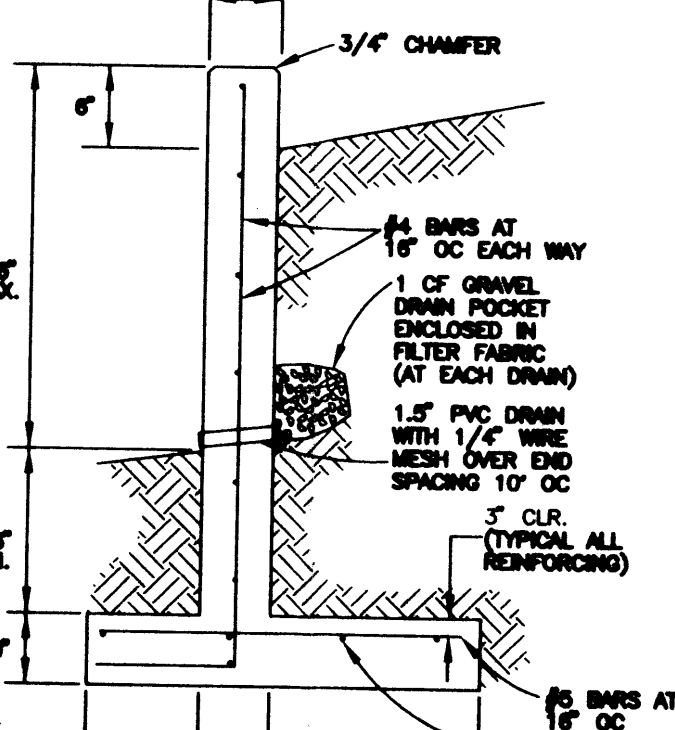
LEGAL DESCRIPTION: TRACT 2A-1-A
LAND OF WILLIAM O.
& MARY L. EDWARD
BERNALILLO CO.
ALBUQUERQUE, NEW MEXICO



RIPRAP CHANNEL



CONCRETE RUNDOWN



RETAINING WALL