

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

June 13, 2025

Yolanda Padilla Moyer, PE  
Bohannon-Huston  
7500 Jefferson St NE Courtyard I  
Albuquerque, NM 87109

**RE: The Estates at Academy Subd.  
6745 Akademeia Loop NW  
Engineer's Certification Date: 6/9/2025  
Engineer's Stamp Date: 10/14/2022  
Hydrology File: E20D020B  
Case # HYDR-2025-00208**

PO Box 1293

Dear Ms. Moyer:

Albuquerque

Based on the Certification received 6/10/2025 and site visit on 6/13/2025, this certification is approved in support of ROFG/SIA by Hydrology.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** The Estates at Academy Subdivision **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E20D020B  
**DRB#:** PR-2021-004968 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TR A-2 PLAT OF TRACT A-2 HOFFMANTOWN BAPTIST CHURCHSITE  
**City Address:** HARPER DR NE ALBUQUERQUE NM 87111 UPC #102006208633520951

**Applicant:** Bohannon Huston Inc. **Contact:** Yolanda Moyer  
**Address:** 7500 Jefferson St NE CY2 Albuquerque, NM, 87109  
**Phone#:** 505-798-7945 **Fax#:** \_\_\_\_\_ **E-mail:** ypadilla@bhinc.com  
**Owner:** PULTE **Contact:** KEVIN PATTON  
**Address:** 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109  
**Phone#:** 505-341-8591 **Fax#:** \_\_\_\_\_ **E-mail:** kevin.patton@pultegroup.com

**TYPE OF SUBMITTAL:** ☒ PLAT ( 1 # OF LOTS ) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☒ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 06-09-2025 **By:** Yolanda Padilla Moyer, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

June 09, 2025

Mr. Tiequan Chen, P.E.  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Final Grading and Drainage Certification The Estates at Academy Subdivision; DRB Case  
No. PR- 2018-001560; Hydrology File (E20D020B)

Dear Tiequan,

We are submitting a final grading and drainage certification for The Estates at Academy Subdivision Financial Guaranty Release. Enclosed for your review is the approved grading and drainage plan dated 12/10/2021. These lots have been graded; retaining walls and curb and gutter have been constructed.

After reviewing these as-built elevations and visiting the site on 06-09-2025 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition. The LOMR has been approved through FEMA.

Your review and approval is requested for Financial Guaranty Release for the above project. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.  
Vice President  
Community Development & Planning

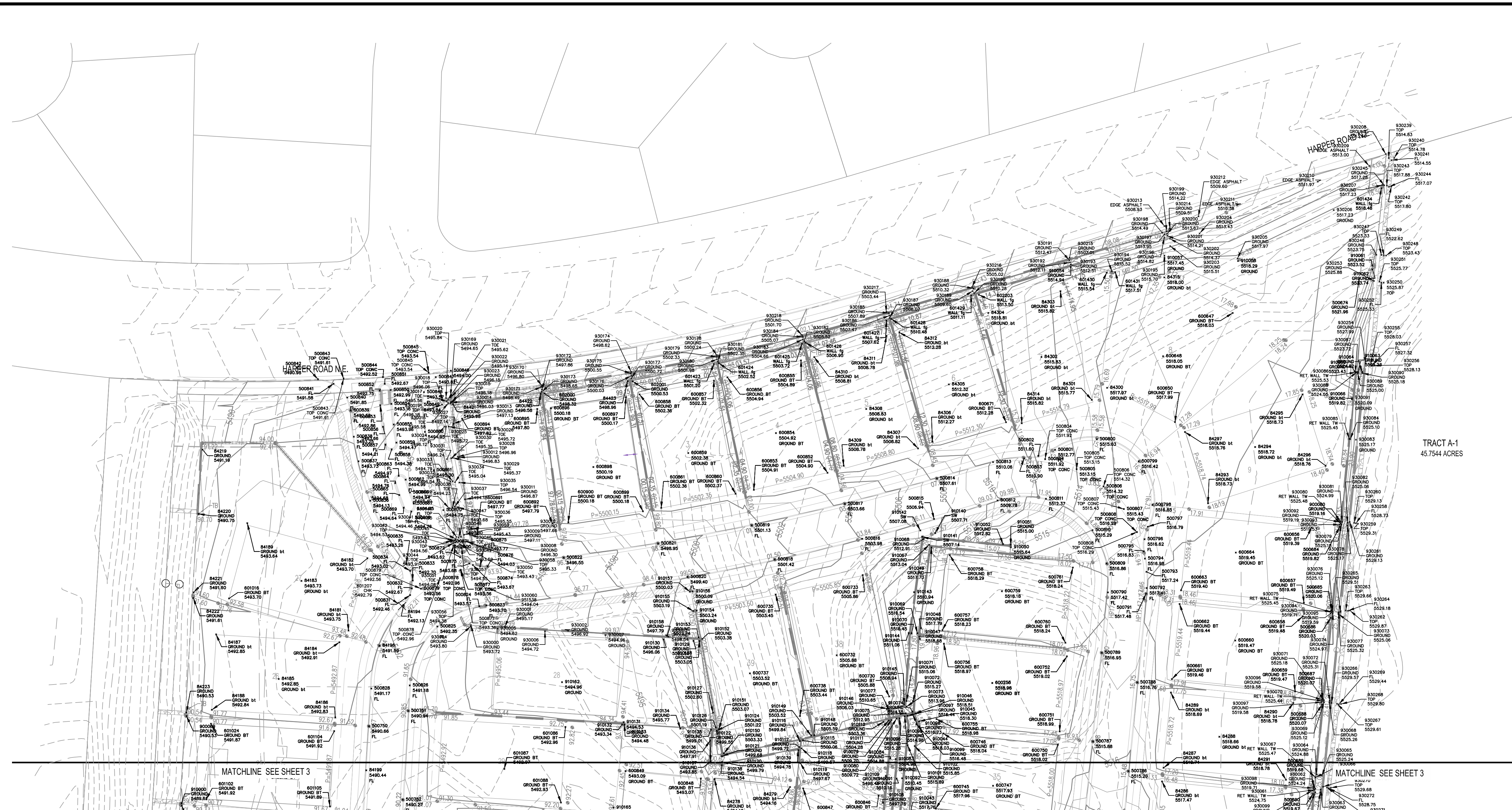
Enclosure

cc: Kevin Patton, Pulte Homes









GRADING AND DRAINAGE CERTIFICATION

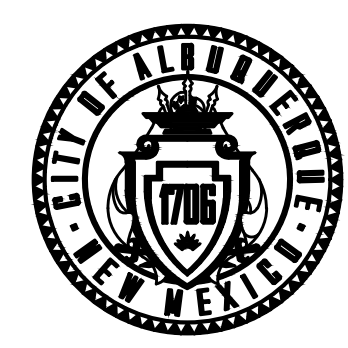
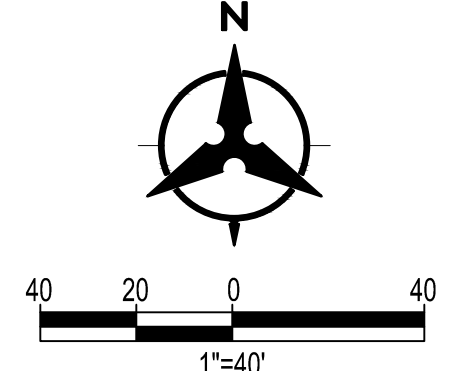
I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THE ESTATES AT ACADEMY SUBDIVISION, HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 12/10/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 06/09/2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Yolanda Padilla Moyer*  
YOLANDA PADILLA MOYER, NMPE 16035  
06/09/2025  
DATE

LEGEND

- PROPOSED SPOT ELEVATION • 5235.25
- EXISTING SPOT ELEVATION • EX 5235.25
- PROPOSED CONTOUR -5225-
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- PERIMETER WALL [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]
- DIRECTION OF FLOW [Symbol]



CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

HOFFMANTOWN ESTATES  
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 2 OF 3

Bohannon  
Huston  
www.bhnc.com  
800.877.5332

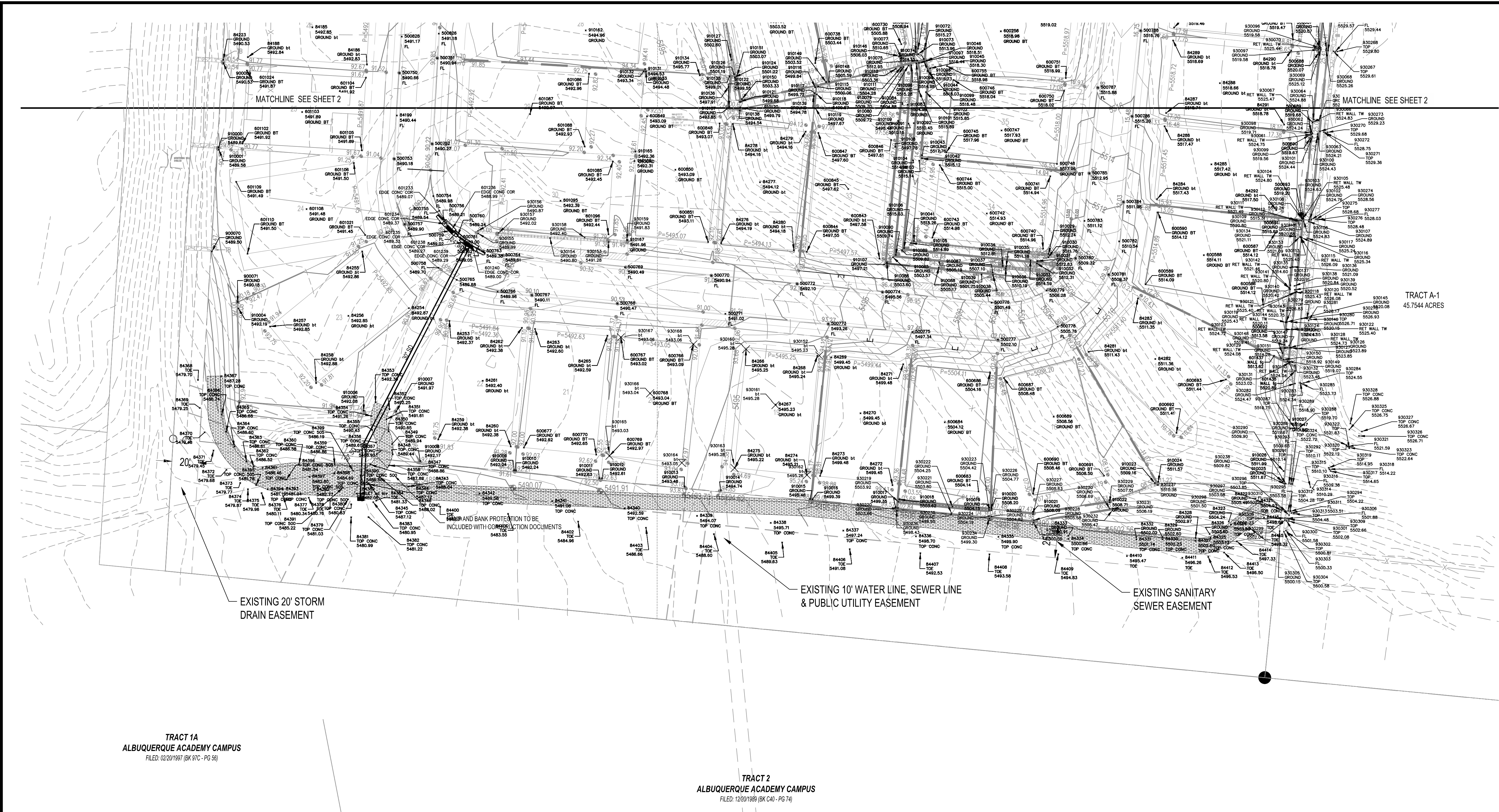
CONSULTANTS

AC S BRASS DISK STAMPED "13-E20"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
N = 1,511,612.288 (USFT), E = 1,550,588.401 (USFT)  
GROUND TO GRID FACTOR = 0.999850558  
DELTA ALPHA = -0°10'22.86"

NO.	DATE	DESCRIPTION	BY
		CONTRACTOR:	
		AS-BUILT INFORMATION	
		WORK STAKED BY:	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	
		DATE:	
		DATE:	
		DATE:	

DESIGNED BY: YPM  
DRAWN BY: AR  
CHECKED BY: YPM  
DATE 6/28/2022





TRACT 1A  
ALBUQUERQUE ACADEMY CAMPUS  
FILED: 02/01/1997 (BK 97C - PG 36)

TRACT 2  
ALBUQUERQUE ACADEMY CAMPUS  
FILED: 12/01/1995 (BK C40 - PG 74)

GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THE ESTATES AT ACADEMY SUBDIVISION, HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 12/02/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 06/09/2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

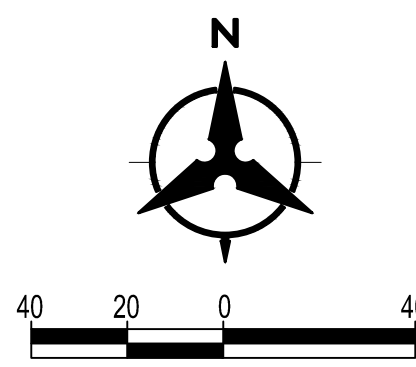
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*Yolanda Padilla Moyer*  
YOLANDA PADILLA MOYER, NMPE 16035  
06/09/2025  
DATE

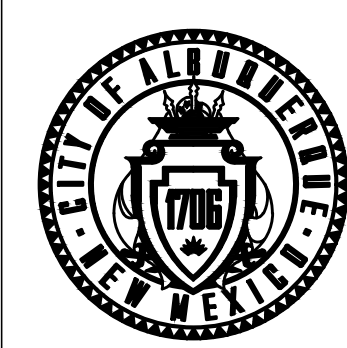


LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
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- PROPOSED STORM DRAIN INLET
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- STREET SLOPE
- DIRECTION OF FLOW



CALL NM ONE-CALL SYSTEM  
SEVEN (7) DAYS PRIOR TO  
ANY EXCAVATION



CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

HOFFMANTOWN ESTATES  
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 3 OF 3

CONSULTANTS

ACS BRASS DISK STAMPED "13-E20"

GEORGIC POSITION (NAD 83)

NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)

N = 1,511,612.288 (USFT), E = 1,550,588.401 (USFT)

GROUND TO GRID FACTOR = 0.99965058

DELTA ALPHA = -0°02'28"

BENCH MARKS

SEAL

NO.	DATE	DESCRIPTION	CONTRACTOR	DATE:
		AS-BUILT INFORMATION		DATE:
		WORK STAKED BY:		DATE:
		INSPECTOR'S ACCEPTANCE BY:		DATE:
		FIELD VERIFICATION BY:		DATE:
		DRAWINGS CORRECTED BY:		DATE:

DESIGNED BY: YPM  
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DATE 6/28/2022