

49-1-0003

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



MAYOR
David Rusk

April 3, 1979

RECEIVED APR 4 1979

Mr. Kent M. Whitman
Community Sciences Corporation
P. O. Box 1328
Corrales, New Mexico 87048

Re: Master Storm Water Conveyance Study
- Academy/Tramway/Eubank Sector Development Plan

Dear Kent:

An in depth review of the "Master Storm Water Conveyance Study" and the "Drainage Management" section of the Sector Plan has lead to many questions, alternates, problems and solutions. Prior to comment; the following parameters must be outlined.

1. The Pino Arroyo portion was not considered in this review.
2. The required diversions were considered "in-place" and must be "in-place" prior to development.
3. Ownerships were not considered by the City in its review. The study was reviewed as an entire concept.
4. As the City of Albuquerque does not have defined criteria for flows in the streets, the concept of public safety and sound engineering design practice were used to analyze flows in the street.
5. Diversion of flow was considered when in the interest of safety and continuity of flows in the streets.
6. Currently Q's calculated take into account ponding. This requirement may be relaxed after a current study has been completed.

The analysis of the drainage basins was not taken in alphabetical order.

AREA "C" Bear Canyon Tributary

The conveyance study covered the area quite well. Only one comment. The energy dissipator east of Eubank Blvd. at C7, should be moved across Eubank Blvd. and an all-weather crossing at Eubank Blvd. be provided.

April 3, 1979

AREA "F" Academy Road - Eubank Blvd.

The alternates covered on page nine of the subject report do not provide for the controlled flow of water discharged into Academy Road or Eubank Blvd. The use of a one-foot curb to control flow indicates a very large water problem that must be solved prior to the flow reaching Eubank Blvd., as the flow will be too great to turn effectively.

The 10-year flows must be picked up in a storm drain prior to reaching Eubank Blvd. and then discharged into the appropriate arroyo. The excess flow may then be controlled in the streets.

AREAS "D & E" - Pino Arroyo

No problems exist.

AREA "B" Spain Road - Easterly of Chelwood Blvd.

Due to the quantity and velocity of the waters generated within AREA "B", it is required that the 10-year flows be conveyed from Point B-2 in a pipe through AREA "G" and discharged behind the Juan Tabo Dam. The difference between the 10-year and 100-year flows will then utilize the street patterns both down Spain Road and through AREA "G". A split of flows would create a much safer flow pattern than diverting all the flows down Spain Road.

AREA "A" - Spain Road - Westerly of Chelwood Blvd.

At location A-1 the flows from the subdivision north of Spain Road should be collected along with the overflow from AREA "B" in Spain Road, and channeled behind the Juan Tabo Dam as outlined in your report.

With the above comments and corrections included in any subsequently submitted drainage report for the area, I will approve the overall drainage concept outlined in your report.

Very truly yours,



Richard S. Heller
City Engineer

RSH/fs

cc - Phil Garcia, Planning Department
Bruno Conegliano, Assist. City Engineer-Hydrology
Jim Smith, AMDEC
Herb Denish, Herb Denish and Assoc.
Michial Emery, Bohannon-Huston & Assoc.

June 22, 1984

The approval of the Master Plan of Tract I of The Meadows (Z-80-147, March 30, 1984 revision) and the specific Site Development Plan approval for Master Plan Tract "B" (Z-80-147-1) by the Environmental Planning Commission is based upon paragraph 3.5 on page 7 of the agreement between the City of Albuquerque and owners of properties within Special Assessment District 205. This document was filed with the Bernalillo County Clerk as document #84-33673 on May 7, 1984.

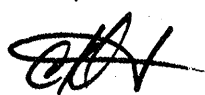
This agreement provides for the vacation of existing drainage right-of-way and a portion of the existing easement, and the substitution therefore of a drainage easement in a form acceptable to the City of Albuquerque, subsequent to compliance with AMAFCA Resolution 1984-5. Should the drainage improvements designed as part of Special Assessment District 205 (i.e. an underground pipe) not be constructed and/or vacation of the above referenced right-of-way is not granted, then the successors in interest to ownership of Tract "B" of the Meadows Master Plan will be required to submit an amended site plan excluding development in the right-of-way or existing 150' easement.


June 21, 1984

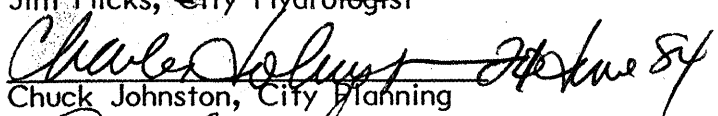
The approval of the Master Plan of Tract I of The Meadows (Z-80-147, March 30, 1984 revision) and the specific Site Development Plan approval for Master Plan Tract "B" (Z-80-147-1) by the Environmental Planning Commission ~~was~~ based upon paragraph 3.5 on page 7 of the agreement between the City of Albuquerque and owners of properties within Special Assessment District 205. This document was filed with the Bernalillo County Clerk as document #84-33673 on May 7, 1984.

This agreement provides for the vacation of existing drainage right-of-way, and ~~further provides for the substitution of a drainage easement in a form acceptable to the City of Albuquerque.~~ ^{AND A PORTION OF THE EXISTING EASEMENT,} ~~Should the drainage improvements designed as part of Special Assessment District 205 (i.e. an underground pipe) not be constructed and/or vacation of the above referenced right-of-way is not granted, then the successors in interest to ownership of Tract "B" of the Meadows Master Plan will be required to submit an amended site plan, Further the development of Tract "B" is subject to AMAFCA Resolution 1984-5.~~ ^{EXCLUDING DEVELOPMENT IN THE RIGHT-OF-WAY OF EXISTING ISO EASEMENT.}

Reviewed By:


Dwayne Sheppard, City Engineer


Jim Hicks, City Hydrologist


Chuck Johnston, City Planning

 6-21-84
Robert Fosnaugh, Traffic Engineer


Walter Nickerson, Chief Engineer, Water Resources Department

R E S O L U T I O N 1984-5

MODIFICATION OF NORTHEAST HEIGHTS DRAINAGE MANAGEMENT PLAN
DIVERSION OF BEAR ARROYO TRIBUTARY

WHEREAS, the Northeast Heights Drainage Management Plan was adopted by AMAFCA in 1975; and

WHEREAS, the Tramway Floodwater Retaining Structure (Pino/Tramway Dam), a feature of the Northeast Heights Drainage Management Plan, was constructed in 1978; and

WHEREAS, Tramway Floodwater Retaining Structure has sufficient capacity to accommodate diverted flows from the Bear Arroyo Tributary; and

WHEREAS, such diversion is in the public interest.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY:

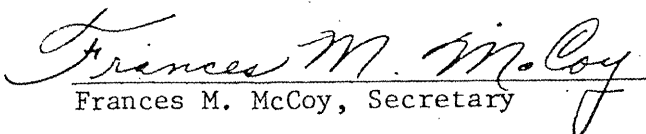
1. The Northeast Heights Drainage Management Plan is hereby modified by adding two diversions from the Bear Arroyo Tributary to Arroyo Del Pino Basin. Such diversions shall be located in the vicinity of Tramway Boulevard and approximately one mile east of Tramway Boulevard.

2. Flows from Bear Arroyo Tributary watershed below the diversions may be accommodated in public streets and/or closed conduit(s) between Tramway and Eubank boulevards per engineering plans for the City of Albuquerque's Special Assessment District 205. However, no encroachment shall be permitted in the existing defined 100-year floodplain of the Bear Arroyo Tributary between Tramway and Eubank boulevards until the Executive Engineer has written the City Engineer that the following conditions have been met:

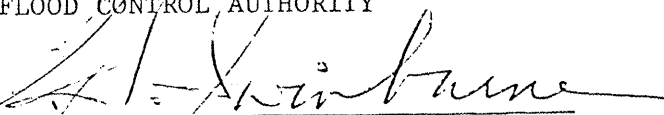
- a. The two diversions described above have been constructed in a satisfactory manner.
- b. A satisfactory bridge or culvert has been constructed where diverted flows cross Tramway Boulevard.
- c. Satisfactory easements have been dedicated.
- d. State Engineer does not object to the diversions.

PASSED, ADOPTED AND SIGNED THIS 23rd day of February, 1984.

ATTEST:


Frances M. McCoy, Secretary

ALBUQUERQUE METROPOLITAN ARROYO
FLOOD CONTROL AUTHORITY


B.H. Swinburne, Chairman
Board of Directors

FINANCIAL PKT
84-5
are met

INFORMATION SHEET

PROJECT TITLE THE MEADOWS TYPE OF SUBMITTAL PLAT APPROVAL

ZONE ATLAS PAGE NO. E-21 CITY ADDRESS EL PASO, TEXAS

LEGAL DESCRIPTION TRACT B-1 THE MEADOWS

ENGINEERING FIRM COMMUNITY SURVEYORS CONTACT RICHARD QUINTANA

ADDRESS P.O. BOX 1328 CORRALCO PHONE 897-0000

OWNER CAWWELLS & DAVIS CONTACT ROBERT DAVIS

ADDRESS _____ PHONE 266-5711

ARCHITECT NA CONTACT _____

ADDRESS _____ PHONE _____

SURVEYOR CSC CONTACT SKIP CARLTON

ADDRESS ↑ PHONE 897-0000

CONTRACTOR NA CONTACT _____

ADDRESS _____ PHONE _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☒ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

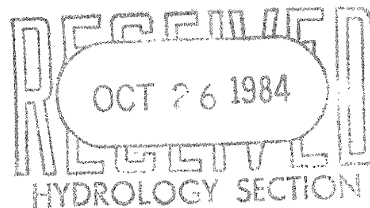
☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 10/26/84

BY: TONY WERZYNAC



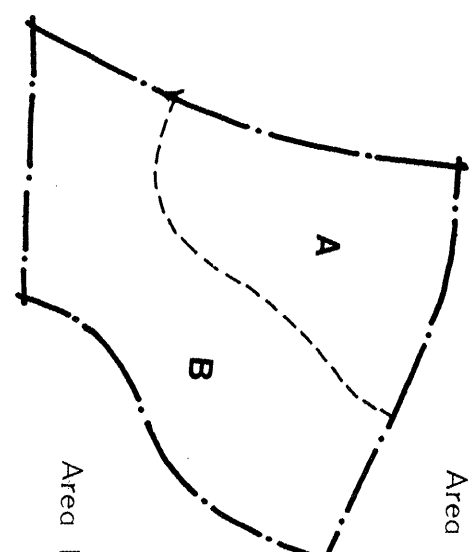
NOTE:

The public facilities or tract site plan within the Master Plan must be designed to meet the needs of the community and be consistent with the city's comprehensive plan and other applicable laws and regulations.

SL-1 Approved

I certify that this plan is a true and correct copy of the original plan as approved by the Planning Commission on May 18, 1984.

WATER SUBJECTS _____ Date _____
ADMINISTRATIVE _____ Date _____
CITY ENGINEER _____ Date _____
TRAFFIC ENGINEER _____ Date _____
PARKS & RECREATION _____ Date _____
PLANNING DIRECTOR _____ Date _____



Area A: This illustrative Master Plan is specific to its land uses, maximum gross area of non-residential uses, and maximum number of residential units; it is not specific to building footprint, exact building locations and street alignment. These specifications, as well as landscape design, conceptual site plan, building design, etc., will be submitted for review by individual site development plan for each development project. Changes to the Master Plan are subject to the findings in case Z-80-147-1.

Area B: This Master Plan is a recapitulation of the specific site plan proposed in case Z-80-147-1.

NOTE:

1. The right-of-way required for right-turn bays at each intersection of Seville Road with Academy and Eubank Boulevards shall be dedicated prior to issuance of building permits for construction within Tract "B".
2. The location of other right-turn bays and bus-bays adjacent to Tract "A" shall be determined in concert with the Traffic Engineer and Transit Division and, any required right-of-way shall be dedicated prior to issuance of building permits for construction within said tract.
3. Construction of the above referenced bus-bays will be instigated as a change order to SUD-205.
4. The cost of future signalization (if any) of the intersection of Seville Road and Eubank Boulevard will be borne by the developer.

WVF
SCALE: 1"=100'

THE MEADOWS

RESIDENTIAL/OFFICE COMPLEX BY AMERIWEST CORPORATION

EUBANK BOULEVARD & ACADEMY ROAD, N.E.
ALBUQUERQUE, NEW MEXICO
H. DENISH & ASSOCIATES
Plan Revision: March 30, 1984

OFFICE			
MARK	DESCRIPTION	BLDG HT	GROUND FLOOR AREA
A	BRANCH BANK AND PRIVATE CLUB	2	3,000
B	OFFICE BUILDING	3	15,000
C	OFFICE BUILDING	2	12,970
D	OFFICE BUILDING	2	11,560
E	OFFICE BUILDING OR NURSING FACILITY	6	12,500
F	OFFICE BUILDING	1	28,000

TOTAL OFFICE AREA 83,030
NET LEASEABLE AREA (80% OF GROSS) 66,424

REQUIRED PARKING:
GROUND FLOOR (66,424 ÷ 200) = 333
UPPER FLOOR (96,024 ÷ 300) = 320
SUBTOTAL = 653
REDUCE BY 10% / BUS ROUTE = 65
REDUCE BY 5% / TRANSIT PULL-OFFS & SHELTERS = 33
TOTAL PARKING REQUIRED BY CODE = 555
TOTAL PARKING SHOWN IN OFFICE AREA = 636

LEGEND

RESIDENTIAL			
MARK	DESCRIPTION	BLDG HT	UNITS
G	ADULT APARTMENTS	7	190
H	GARDEN APARTMENTS	3	120
J	GARDEN APARTMENTS	2	600

TOTAL APARTMENT UNITS 910
REQUIRED PARKING SUBTOTAL = 1586
REDUCE BY 10% / BUS ROUTE = 158
REDUCE BY 5% / TRANSIT PULL-OFFS & SHELTERS = 71
TOTAL PARKING REQUIRED BY CODE = 1357
TOTAL PARKING SHOWN IN RESIDENTIAL AREA = 1436

MISCELLANEOUS

N BANDSTAND
TOTAL LAND AREA OF PROJECT 55± NET ACRES

