

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 13, 2025

Kyle Brockman, P.E.
Kimley Horn
4411 98th Street, Suite 300
Lubbock, TX 79424

RE: 10801 Academy Road NE
Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 1/28/2025
Hydrology File: E21D011
Case # HYDR-2025-00012

Dear Mr. Brockman:

PO Box 1293

Based upon the information provided in your submittal received 01/30/2025, the Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

Albuquerque

PRIOR TO BUILDING PERMIT:

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval.
2. If requesting a Waiver of Management Onsite, the following conditions of the new drainage ordinance (enacted 10/2/18) must be demonstrated on the plan (§ 14-5-2-6 (H)):

www.cabq.gov

Show where stormwater quality can be effectively controlled through private offsite mitigation, or through an arrangement to utilize a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.

And where one (or more) of the following is met:

- the lot is too small to accommodate management on site while also accommodating the full plan of development;
- the soil is not stable;
- the site use is inconsistent with the capture and reuse of stormwater;
- other physical conditions exist where compliance with on-site stormwater quality control requirement leaves insufficient area;
- public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of this ordinance;

CITY OF ALBUQUERQUE

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- there is an opportunity to develop a project to replenish regional ground water supplies at an offsite location; or
 - a waiver to state water law or acquisition of water rights would be required in order to implement management on site.
3. If requesting a Waiver of Management Onsite, please submit for Hydrology review and approval, an Application for Payment-in-Lieu. If approved, Planning will provide an invoice that is to be taken to the City Treasury for payment. Once payment has been made, a submittal of the invoice and receipt will be required. Per the DPM Section 6-12(C)(1), the needs to be completed prior to the issuance of a Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

PO Box 1293 If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Albuquerque

NM 87103

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Design Review Services

www.cabq.gov



January 30, 2025

City of Albuquerque
Planning Department
600 2nd St NW
Albuquerque, NM 87102

RE: *Tanoan Country Club Drainage*
10801 Academy Rd NE
Civil Grading & Drainage Plan

To Whom It May Concern:

The drainage plans included in the civil sheets provide the drainage information requested by the City of Albuquerque. Based on conversations with Tiequan Chen at the City prior to design, it was determined that a separate Drainage Analysis or Drainage Study should not be required. Due to the site's impervious area and overall site drainage patterns remaining unchanged due to the project, the drainage sheets provided include all the necessary information.

Please contact me at (806) 370-8183 or Kyle.Brockman@kimley-horn.com should you have any questions or need any additional information.

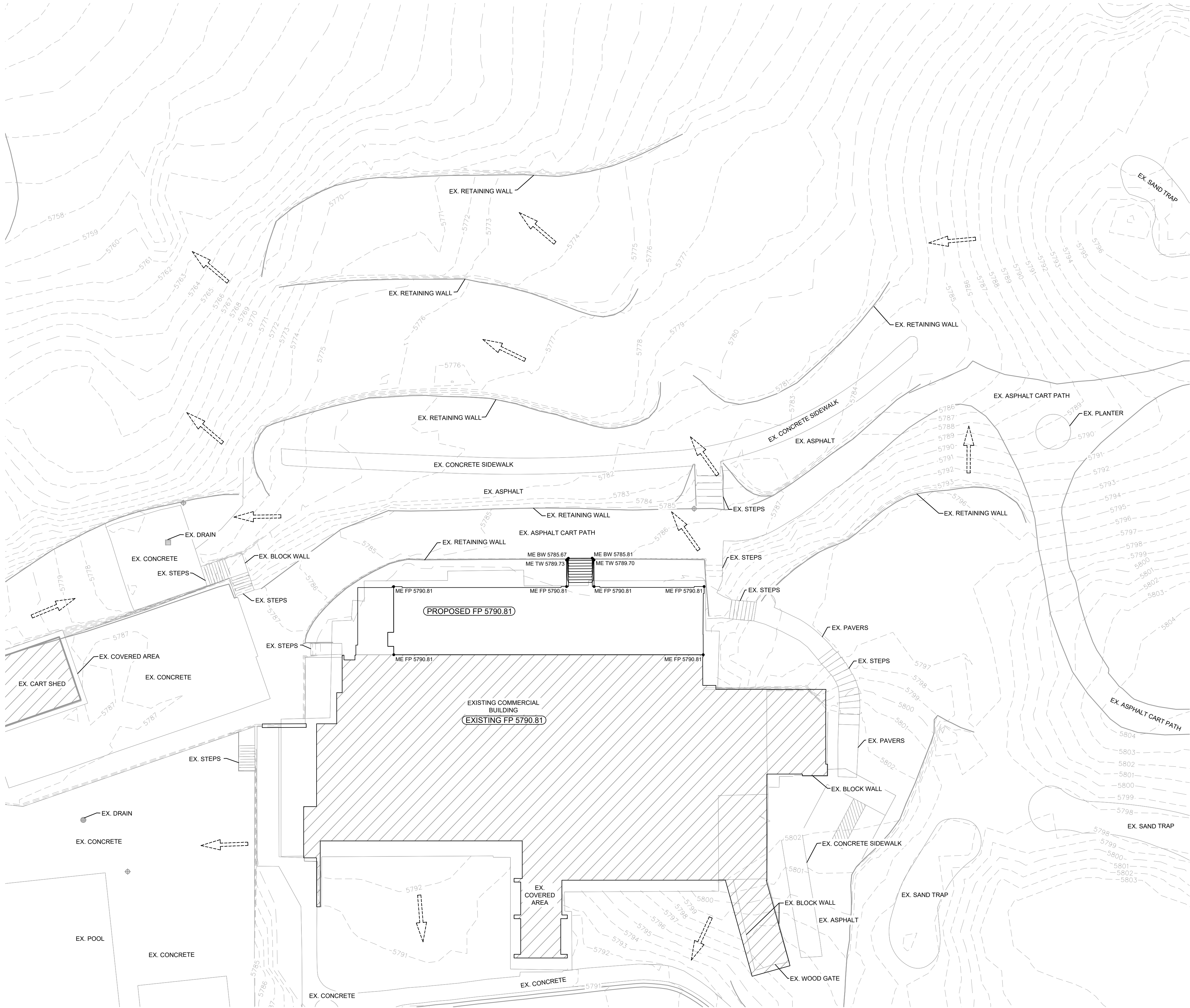
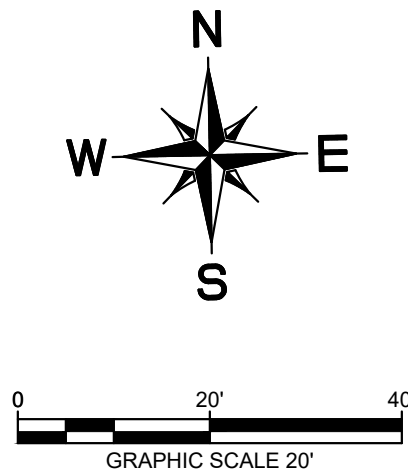
Sincerely,

A handwritten signature in black ink, appearing to read 'K Brockman', with a long horizontal flourish extending to the right.

Kyle Brockman, P.E.

Plotted By: Lax, Garrett. Date: January 27, 2025 05:03:12pm. File Path: K:\LUB_ID\060030400_tanoan country club_nm\cadd\plansheets\C-Grading_Plan.dwg

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LEGEND

---	PROPERTY LINE
5700.5•	PROPOSED SPOT ELEVATION
5700.5 ME BW•	MATCH EXISTING BOTTOM WALL ELEVATION
5700.5 ME TW•	MATCH EXISTING TOP WALL ELEVATION
====>	EXISTING FLOW DIRECTION
→	DRAINAGE FLOW DIRECTION
---	PROPOSED CONTOUR
---	EXISTING CONTOUR

GRADING GENERAL NOTES

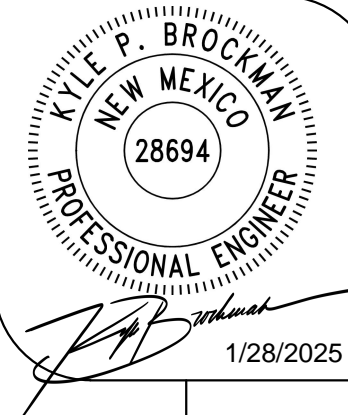
- PROPOSED CONTOURS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR TO USE SPOT ELEVATIONS FOR GRADING CONSTRUCTION.
- ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED FINISHED FLOOR ELEVATIONS SHOWN ARE BASED ON SURVEY INFORMATION PROVIDED BASED ON THE EXISTING FOUNDATIONS.
- CONTRACTOR TO VERIFY A.D.A COMPLIANCE. FOR ANY QUESTIONS CONTACT ARCHITECT AND CIVIL ENGINEER IMMEDIATELY.
- GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSINGS, SHALL CONFORM TO ALL APPLICABLE A.D.A STANDARDS. NOT TO EXCEED 5.0% ALONG TRAVEL PATH WITH NOT MORE THAN 2.0% CROSS SLOPE AND NOT TO EXCEED 2.0% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.
- CONTRACTOR TO ENSURE PROPER DRAINAGE AWAY FROM BUILDING BY BRINGING EDGE UP PAVEMENT AT ADJACENT WALLS AS NECESSARY.
- BOTTOM OF WALL ELEVATIONS DEPICT FINISHED GRADE AT RETAINING WALLS.
- IF DOWNSPOUTS ON EASTERN SIDE OF BUILDING ARE MOVED BY OTHERS, CONTRACTOR TO VERIFY WITH THE ENGINEER THE PLACEMENT OF DOWNSPOUTS BEFORE CONSTRUCTING TO ENSURE COMPLIANCE WITH THE PROPOSED DRAINAGE PLAN IN THIS PLAN SET.
- CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING SOD IN ALL DISTURBED AREAS.
- EXCESS SOIL EXCAVATION IS TO BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE HAULED OFF-SITE TO BE DISPOSED OF AT A LOCATION WHICH THE CONTRACTOR HAS A LEGAL RIGHT TO DISPOSE OF SAID MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING EXISTING SPRINKLER SYSTEM TO MATCH FINISHED GRADE.



VICINITY MAP
(1:150 SCALE)

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TEXAS REGISTERED ENGINEERING FIRM F-928



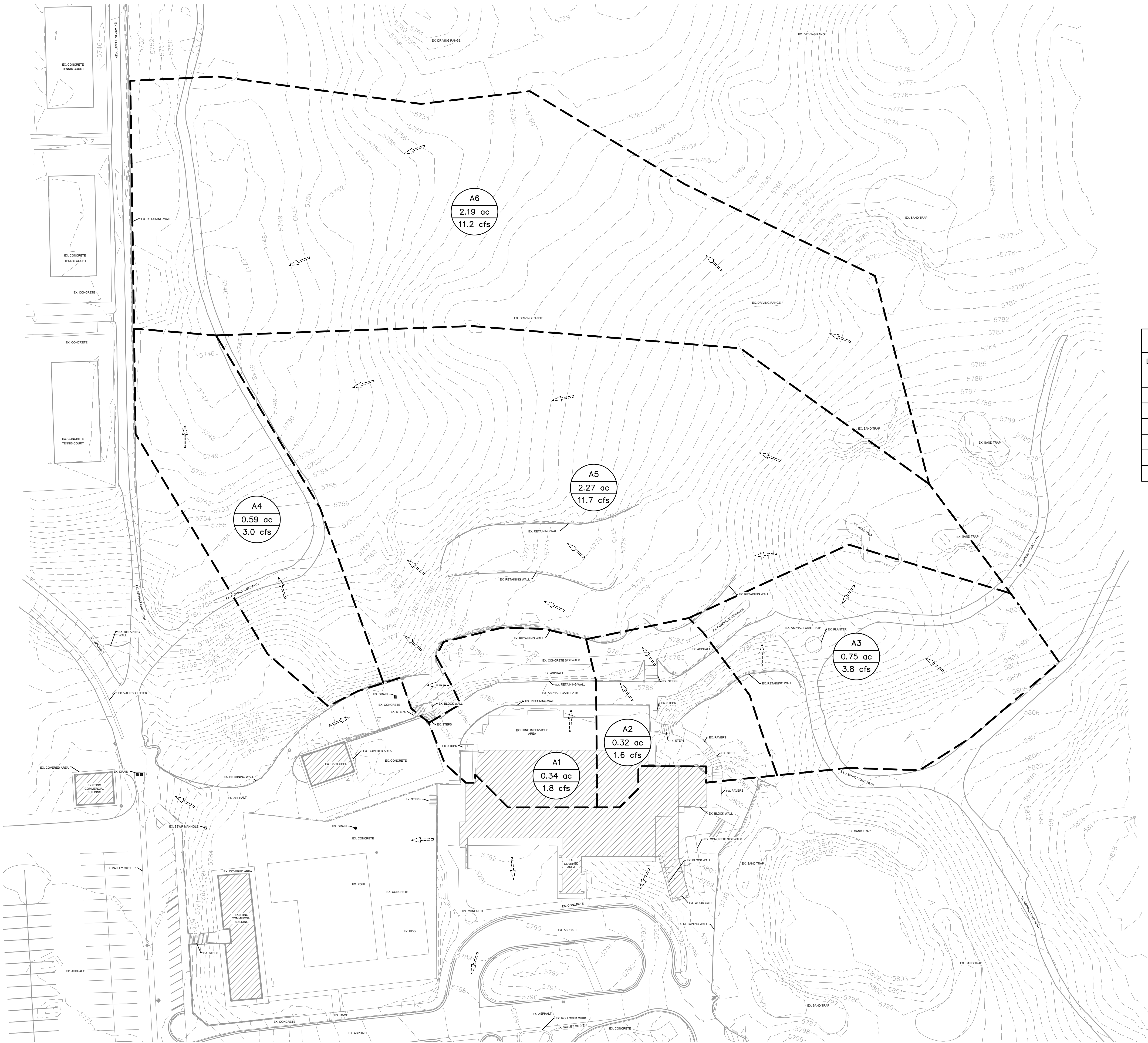
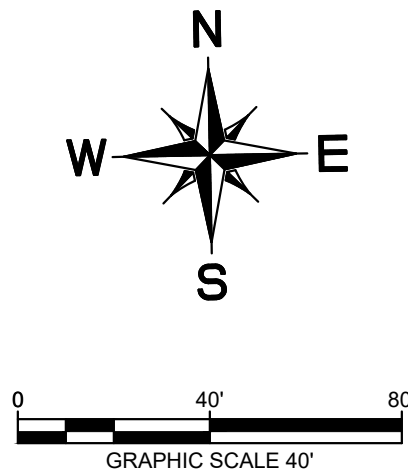
Project: **TANOAN COUNTRY CLUB TI**
10801 ACADEMY RD NE, ALBUQUERQUE NEW MEXICO 87111

Revisions:	
#	DESCRIPTION
Status: PERMIT SET	
Date:	1/27/25
Drawn by:	G.JL
Reviewed by:	KPB

GRADING PLAN

C-01

Plotted By: Lax, Garrett. Date: January 27, 2025 05:04:25pm File Path: K:\LUB_ID\06030400_tanoan_country_club_nm\06030400\plansheets\C-Existing Drainage Area Map.dwg
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LEGEND

	AREA DESIGNATOR
	AREA IN ACRES
	Q100 FLOW IN CFS
	PROPERTY LINE
	EXISTING FLOW DIRECTION
	PROPOSED FLOW DIRECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR

DRAINAGE GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

DRAINAGE AREA TABLE					
DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	RAINFALL INTENSITY "I"1"100 (in/hr)	TIME OF CONCENTRATION (minutes)	TOTAL FLOW Q100 (cfs)
A1	0.34	0.90	5.70	10.0	1.8
A2	0.32	0.90	5.70	10.0	1.6
A3	0.75	0.90	5.70	10.0	3.8
A4	0.59	0.90	5.70	10.0	3.0
A5	2.27	0.90	5.70	10.0	11.7
A6	2.19	0.90	5.70	10.0	11.2

CAUTION!!
EXISTING UTILITIES TO REMAIN.
CONTRACTOR SHALL FIELD VERIFY
LOCATIONS AND ELEVATIONS PRIOR
TO CONSTRUCTION.

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RICHART DESIGN GROUP

1041 W. 10TH STREET, A-105
COSTA MESA, CA 92627
P. 949.422.9181

KIMLEY P. BROCKMAN
NEW MEXICO
28694
PROFESSIONAL ENGINEER
1/28/2025

Project: **TANOAN COUNTRY CLUB TI**

10801 ACADEMY RD NE, ALBUQUERQUE NEW MEXICO 87111

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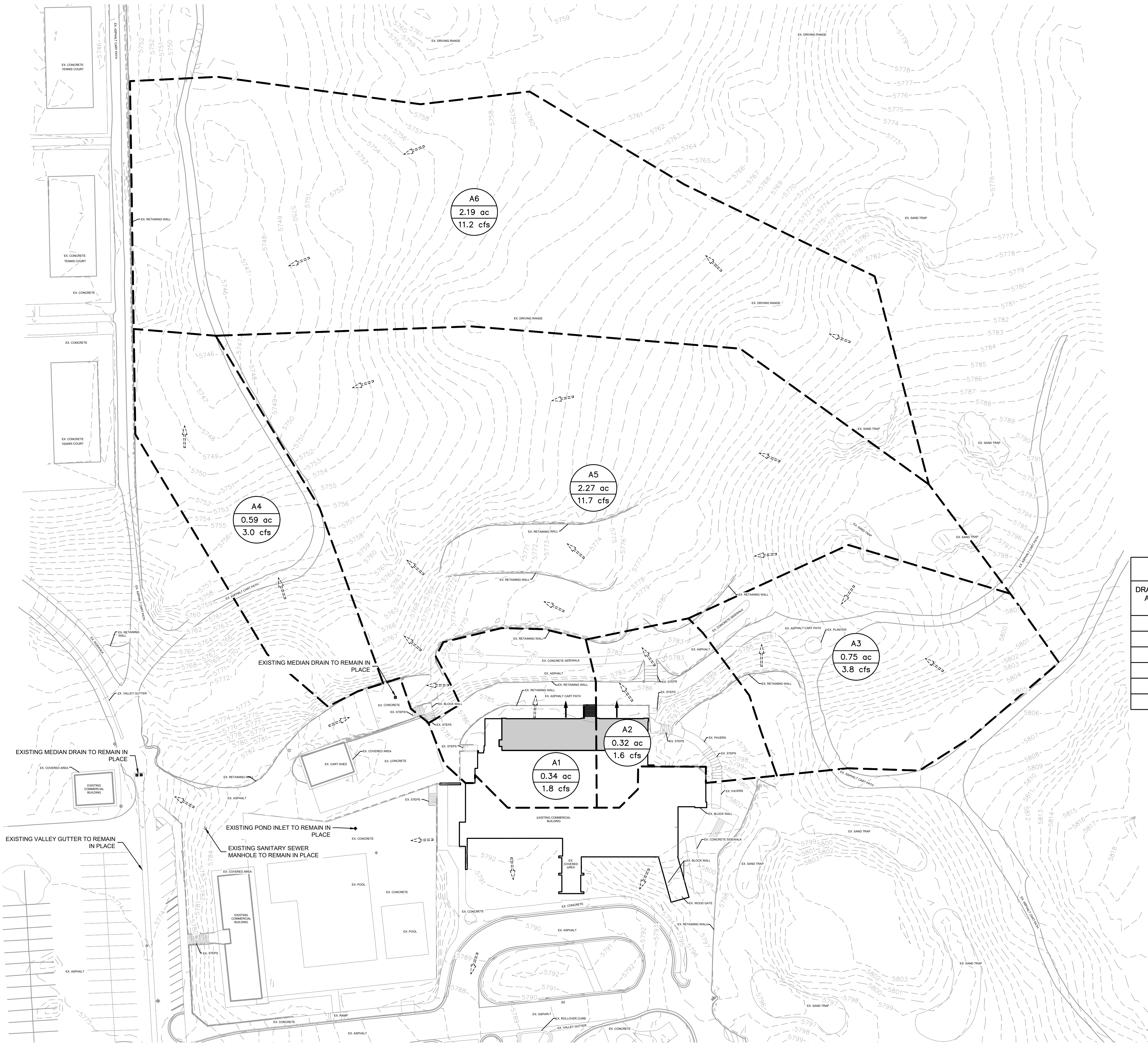
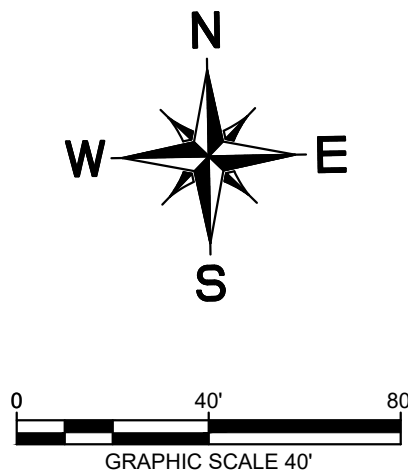
Drawn by: G.JL

Reviewed by: KPB

EXISTING DRAINAGE AREA MAP

C-02

Plotted By:Lox, Garrett. Date:January 27, 2025 05:03:37pm File Path:K:\LUB_ID\06030400_tanoan country club nm\06030400-Drainage Area Map.dwg
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LEGEND

	AREA DESIGNATOR AREA IN ACRES Q100 FLOW IN CFS
	PROPERTY LINE
	EXISTING FLOW DIRECTION
	PROPOSED FLOW DIRECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR

DRAINAGE DESIGN CRITERIA

Q100 = C*I*A
Q = FLOW IN CUBIC FEET PER SECOND (CFS)
C = RUNOFF COEFFICIENT = 0.90 (COMMERCIAL)
I = INTENSITY (TIME OF CONCENTRATION = TC)
A = DRAINAGE AREA IN ACRES

DRAINAGE DESIGN INFORMATION

PRECIPITATION ZONE: 4
100 YR INTENSITY IN / HR: 10 MIN - 5.70
LAND TREATMENT: D (CN = 98)
PRECENT TREATMENT D (IMPERVIOUS)
COMMERCIAL - 90%
INITIAL ABSTRACTION (INCHES): 0.10
INFILTRATION (INF) D: 0.04 IN / HR

DRAINAGE GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

DRAINAGE AREA TABLE					
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A3	0.75	0.90	5.70	10.0	3.8
A4	0.59	0.90	5.70	10.0	3.0
A5	2.27	0.90	5.70	10.0	11.7
A6	2.19	0.90	5.70	10.0	11.2

S/M/QV Payment-in-Lieu	
Impervious Area (cubic foot)	2730
Cost per cubic foot	\$8
Total Cost	\$21,840

NOTE: BUILDING EXPANSION IS ON TOP OF EXISTING IMPERIOVUS AREA. THEREFORE, THERE IS NO INCREASE IN IMPERVIOUS AREA DUE TO BUILDING EXPANSION AND NO CHANGE IN GENERAL DRAINAGE PATTERNS

CAUTION!!
EXISTING UTILITIES TO REMAIN.
CONTRACTOR SHALL FIELD VERIFY
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Reviewed by:		KPB
PROPOSED DRAINAGE AREA MAP		
C-03		

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