

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 30, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 10140 Masters Dr. NE
Permanent C.O. – Accepted
Engineer's Certification Date: 03/29/23
Engineer's Stamp Date: 03/24/22
Hydrology File: E21D035

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 03/29/2023 and site visit on 03/29/2023, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 10140 MASTERS **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 14 THE MASTERS AT TANOAN SUBDIVISION
City Address: 10140 MASTERS

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
☒ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method														
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.			100 yr 10-day
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
EXISTING	26183.00	0.601	100%	0.6011	0%	0.000	0%	0.000	0%	0.000	6.670	0.034	1.11	0.034
PROPOSED	26183.00	0.601	30%	0.1803	20%	0.120	24%	0.144	26%	0.156	1.305	0.065	1.79	0.071
Equations:														
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)														
Volume = Weighted D * Total Area														
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad														
Where for 100-year, 6-hour storm(zone2)														
			Qa= 1.84											
			Eb= 0.86		Qb= 2.49									
			Ec= 1.09		Qc= 3.17									
			Ed= 2.58		Qd= 4.49									
Developed Conditions														
100-YEAR,														
EXISTING DISCHARGE														
1.11 CF														
PROPOSED DISCHARGE														
1.79 CF														
INCREASE														
0.68 CF														
This site is the last vacant lot in an existing subdivision. The subdivision was analyzed and approved with drainage file E21-D16. The drainage file appears to be incomplete, yet all the lots free discharge. Therefore we believe this lot should be allowed to free discharge.														
Drainage patterns will remain as historical and drain to the surrounding roadways. No upland flows impact this site														

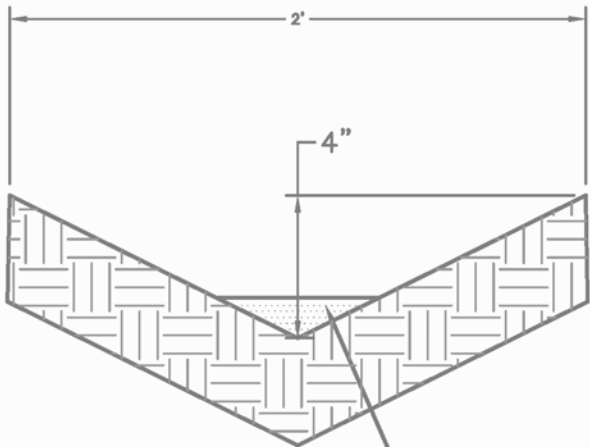
I David Soule, NMPE 14522 , of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 3/24/22 . The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



3/29/23

EROSION CONTROL NOTES:

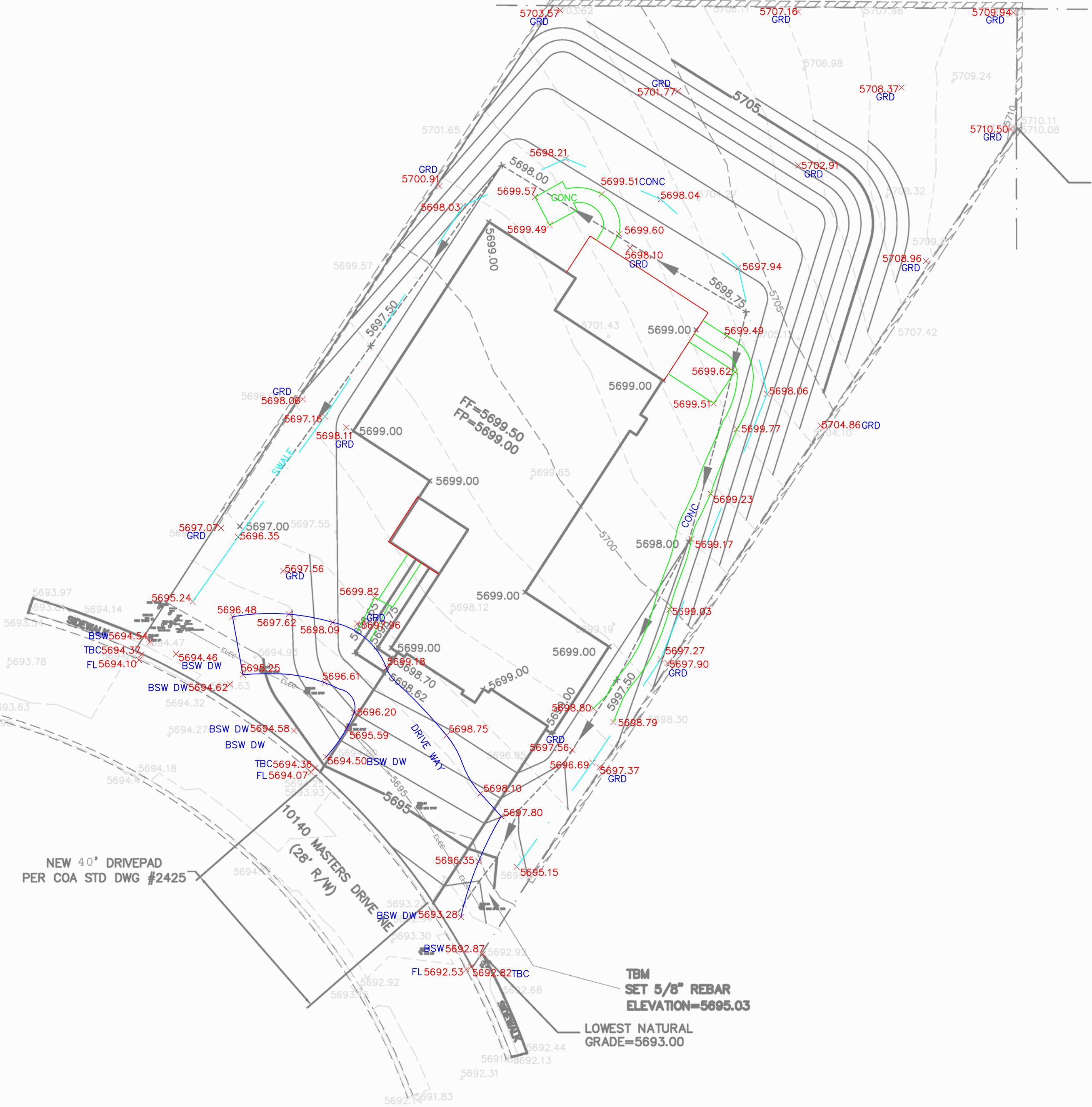
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



SWALE DETAIL

PLACE 3/4" GRAVEL AT FLOWLINE FOR EROSION PROTECTION

HIGHEST NATURAL GRADE=5710.11



Asbuilt

LOT 14

MASTERS AT TANOAN

DATE

03/29/23

CREW

MJM

DRAFTING

SLN

GPS

PRIMO

JN

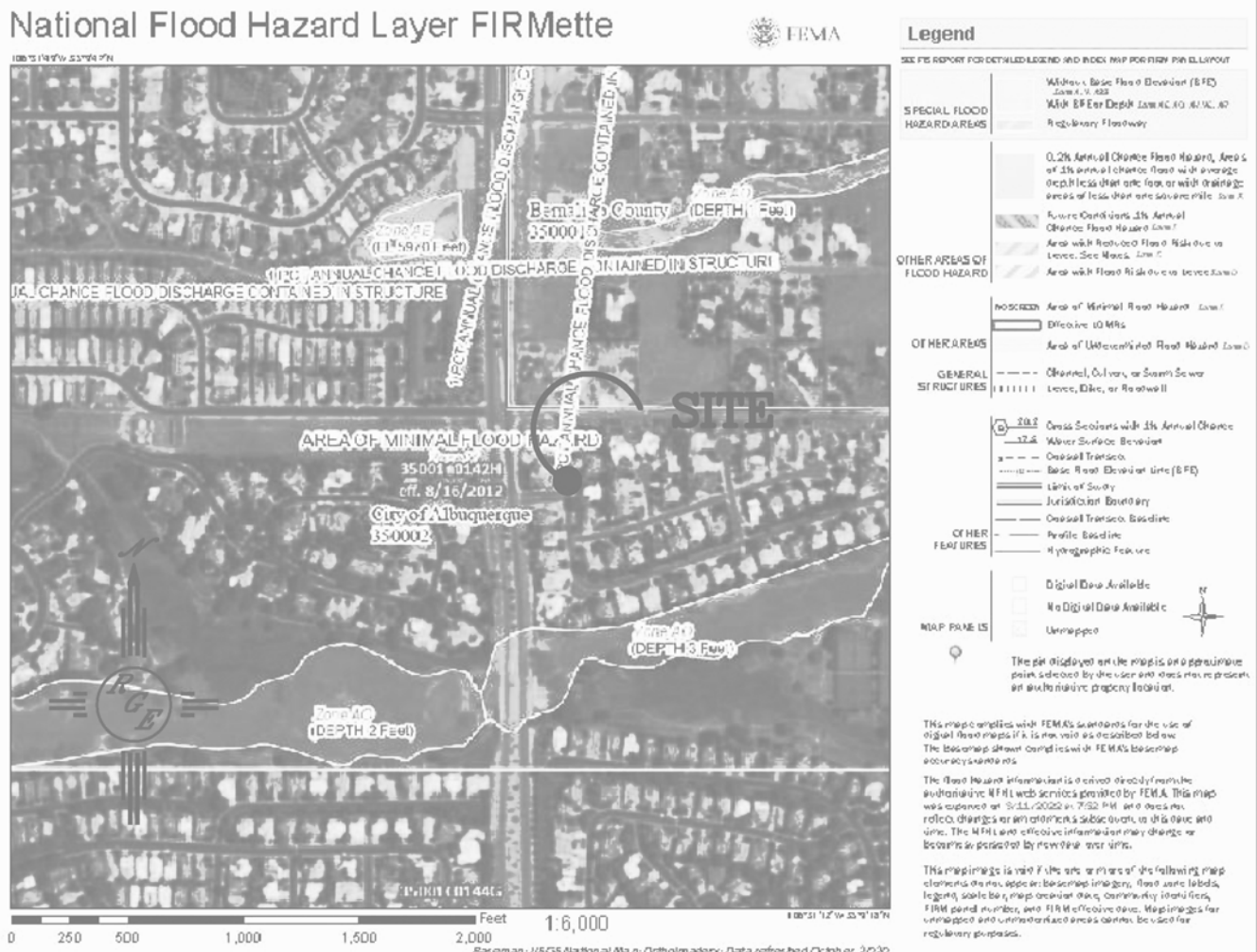
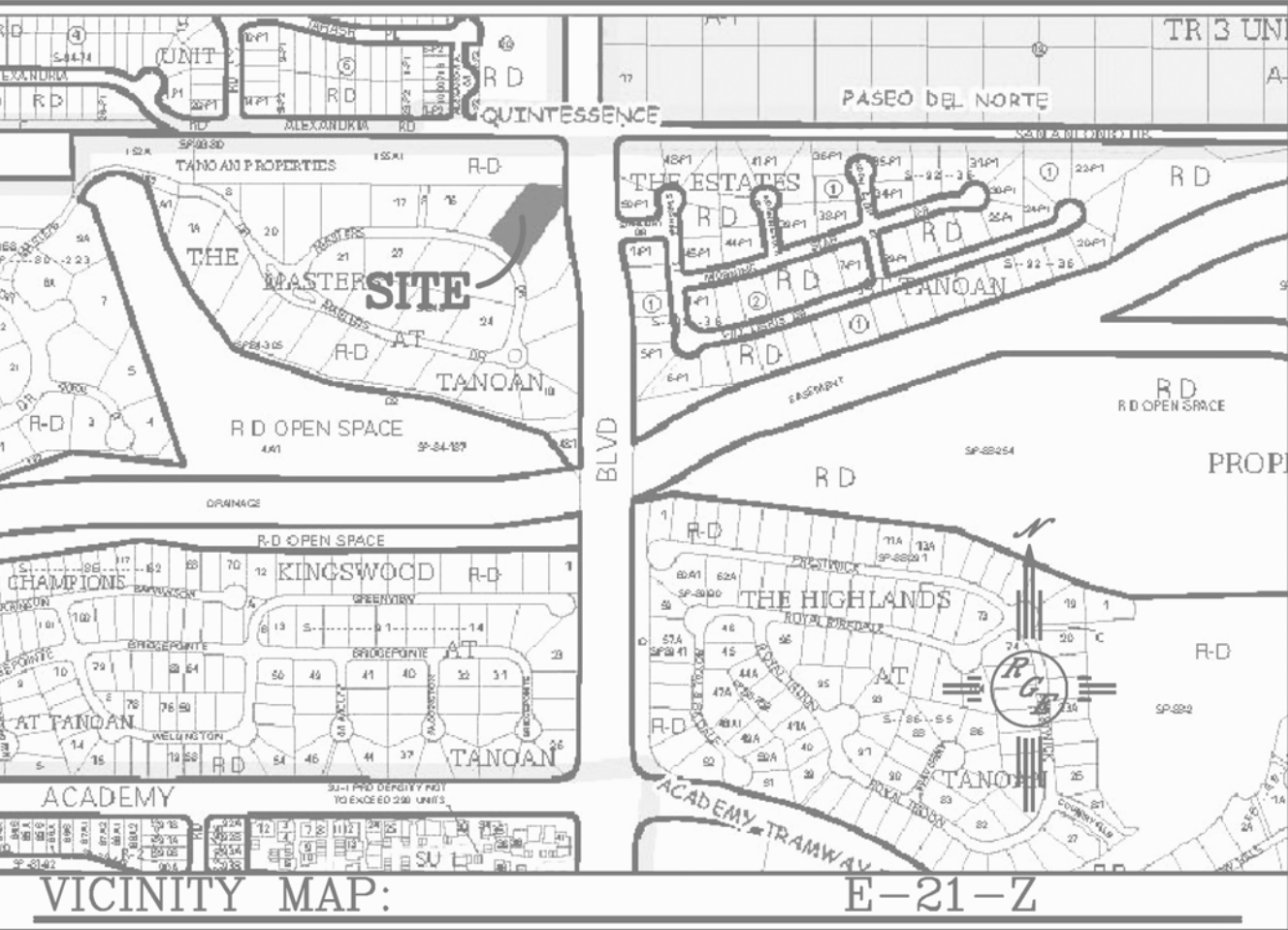
N884-02

Community Sciences Corporation

Land Surveying

(505) 897.0000

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



FIRM MAP:

LEGAL DESCRIPTION:
LOT 14, MASTERS AT TANOAN SUBDIVISION

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
 3. NO PONDING WITHIN 10' OF STRUCTURE.
 4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES UTILIZING NAVD 1988 DATUM
 5. A PAD ELEVATION CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT

LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- XXXX--- SLOPE TIE
- + XXXXX EXISTING SPOT ELEVATION
- + XXXXX PROPOSED SPOT ELEVATION
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 6" PVC SD
- GRAVEL LINED SWALE
- === EXISTING CURB AND GUTTER



ENGINEER'S SEAL	10140 MASTERS	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 3-23-22
		20220019-LAYOUT-3-15-22
DAVID SOULE P.E. #14522	 1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0889	SHEET #
		JOB # 20220019