

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 22, 2023

Robert Fierro, P.E.
Fierro & Company
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: Albuquerque Ranch Estates, Unit II– Lots 1-3 & 6-10
Request for Pad Certification – Accepted
Engineer’s Certification Date: 03/03/23
Engineer’s Stamp Date: 04/21/22
Hydrology File: E22D002**

Dear Mr. Fierro:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your Certification received 03/09/2023 and site visit on 03/21/2023, the above referenced Certification is acceptable for Building Pad Certification for Albuquerque Ranch Estates, Unit II– Lots 1-3 & 6-10. Please attach a copy of this approval letter and approved Grading & Drainage Plan with each lot’s Building Permit submittal. Please note that submittal to Hydrology for Permanent Release of Occupancy will not be needed.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (___# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

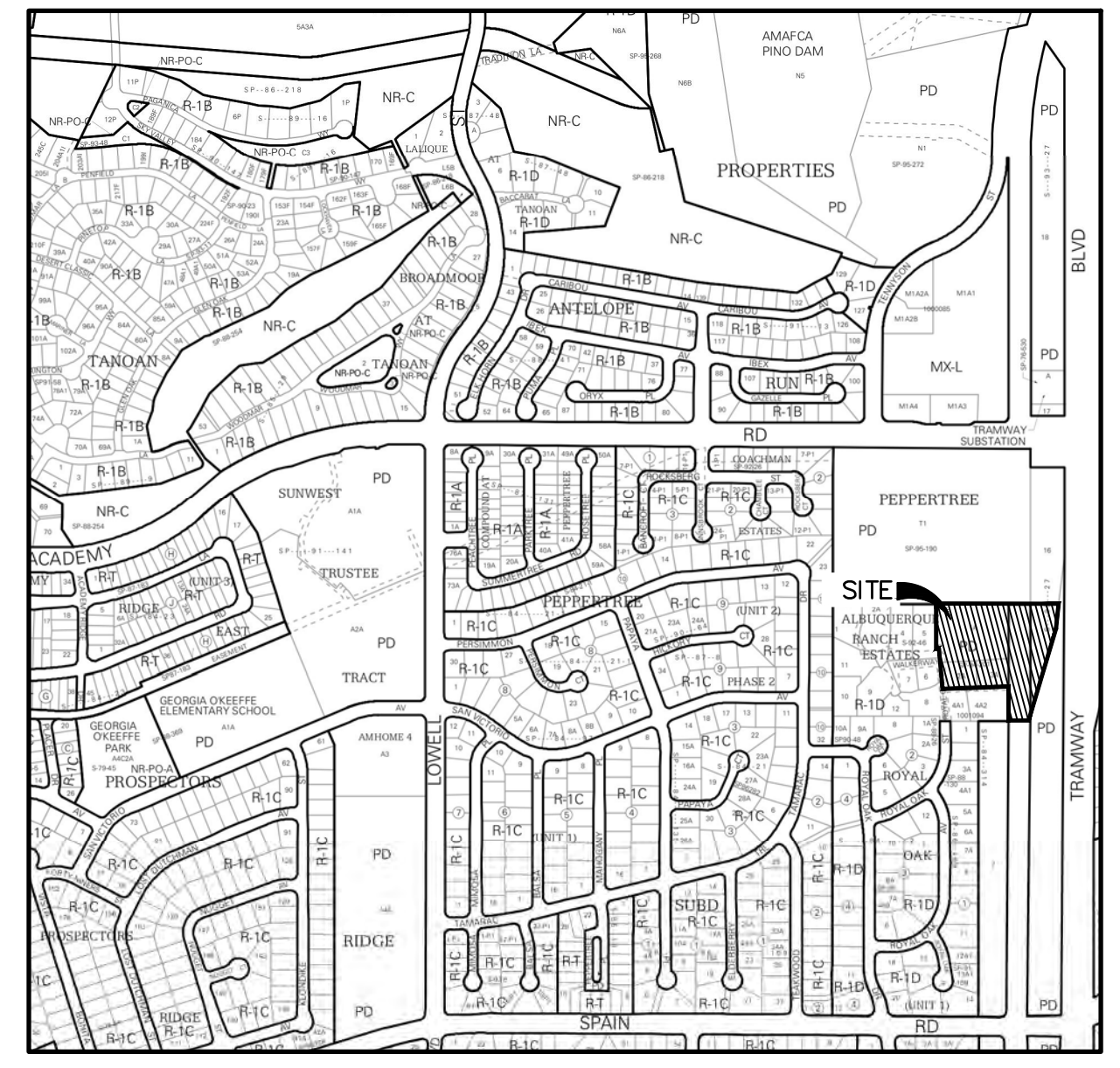
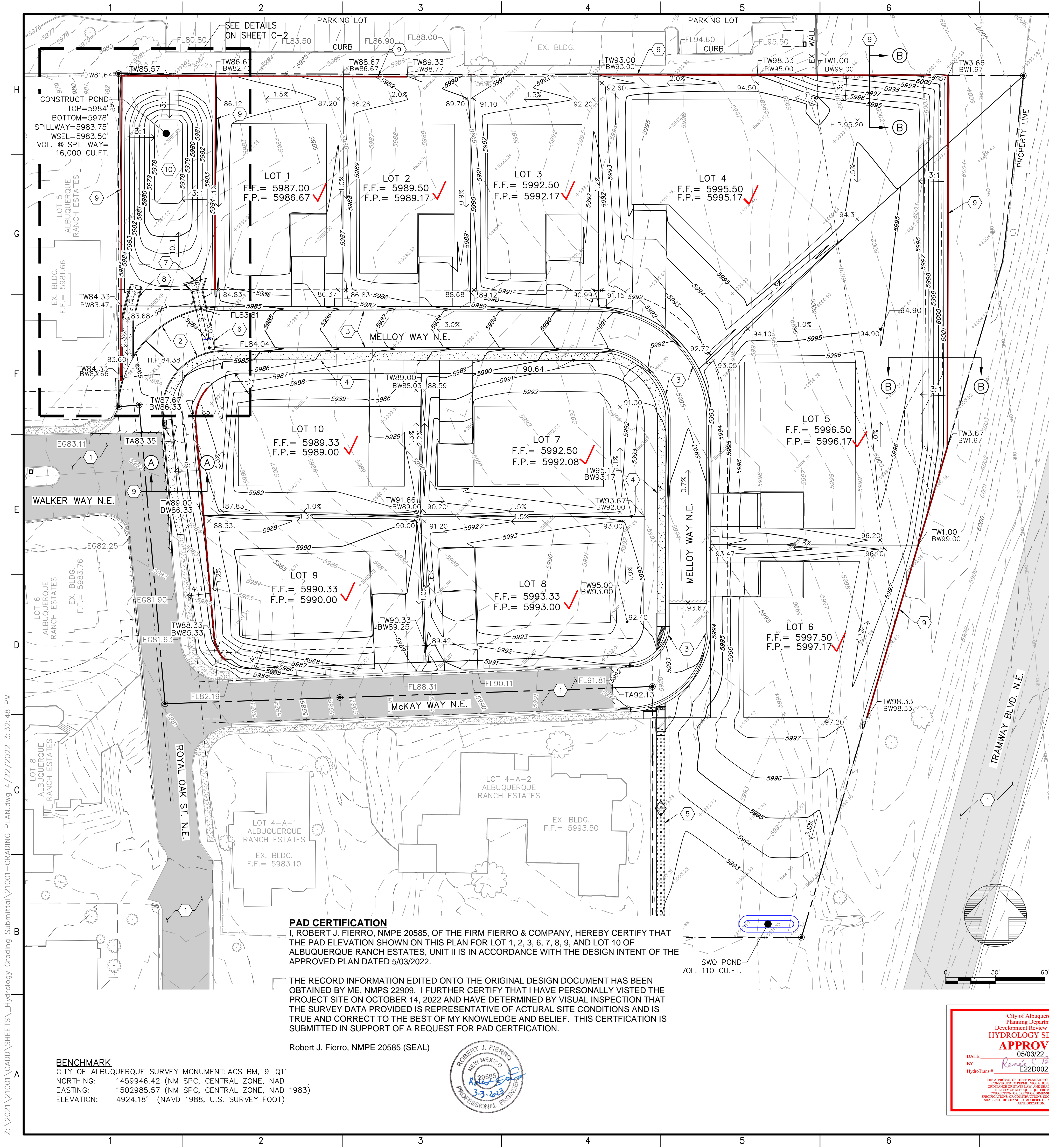
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



CONSTRUCTION NOTES

- EXISTING ASPHALT ROAD.
- NEW HEADER CURB.
- NEW MOUNTABLE ROLL CURB AND GUTTER.
- NEW 5' CONCRETE SIDEWALK.
- NEW CRUSHER FINE PATH.
- NEW 6' WIDE VALLEY GUTTER.
- CONSTRUCT 6-FT WIDE CONCRETE RUNDOWN PER DETAIL 1/C-3.
- CONSTRUCT CONCRETE RUNDOWN PER DETAIL 2/C-3.
- CONSTRUCT RETAINING WALL BY OTHERS. REFER TO TYPICAL SECTIONS ON SHEET C-3.
- STABILIZE DETENTION POND SIDE SLOPES WITH NATIVE GRASS SEE WITH AGGREGATE MULCH OR EQUAL. (MUST SATISFY THE "FINAL STABILIZATION CRITERIA (GP 2.2.14.6)")

GENERAL GRADING NOTES:

- THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
- THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
- PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF BERNALILLO COUNTY, NEW MEXICO.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
- CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
- SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
- TOPOGRAPHIC SURVEY OF EXISTING GROUND SURVEYED ON NOVEMBER 2021.
- CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.
- SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.2.14.B.

LEGEND

---	PROPERTY BOUNDARY	H.P.	HIGH POINT
●	PROPERTY CORNER	TOC	TOP OF CONCRETE
→	FLOW PATH	FL	FLOW LINE
→	FLOW DIRECTION	[Pattern]	NEW CONCRETE
---3905---	EXISTING MAJOR CONTOUR	[Red Line]	NEW RETAINING WALL
---05---	EXISTING MINOR CONTOUR	[Dashed Line]	BREAKLINE
---3325---	PROPOSED MAJOR CONTOUR	[Grey Box]	EXISTING ASPHALT ROAD
---3324---	PROPOSED MINOR CONTOUR		
●	FG26.29 FINISHED GRADE		
●	TW26.29 TOP WALL		
●	BW26.29 BOTTOM WALL		

PAD CERTIFICATION
 I, ROBERT J. FIERRO, NMPE 20585, OF THE FIRM FIERRO & COMPANY, HEREBY CERTIFY THAT THE PAD ELEVATION SHOWN ON THIS PLAN FOR LOT 1, 2, 3, 6, 7, 8, 9, AND LOT 10 OF ALBUQUERQUE RANCH ESTATES, UNIT II IS IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/03/2022.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME, NMPS 22909. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 14, 2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION.

Robert J. Fierro, NMPE 20585 (SEAL)



BENCHMARK
 CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, 9-011
 NORTHING: 1459946.42 (NM SPC, CENTRAL ZONE, NAD
 EASTING: 1502985.57 (NM SPC, CENTRAL ZONE, NAD 1983)
 ELEVATION: 4924.18' (NAVD 1988, U.S. SURVEY FOOT)



Fierro & Company
 ENGINEERING | SURVEYING
 3201 4th. STREET NW
 ALBUQUERQUE, NM 87107
 PH (505) 352-8930
 www.fierrocompany.com



**ALBUQUERQUE RANCH ESTATES
 UNIT II
 ALBUQUERQUE, NM**

PROJECT NAME

NO.	DATE	REV.	DESCRIPTION	BY

PROJECT NO: 21001
 DESIGNED BY: RJF
 DRAWN BY: JB
 CHECKED BY: RJF
 DATE: APRIL 2022
 SHEET TITLE

GRADING PLAN

SHEET NO: **C-1**

Z:\2021\21001\CADD\21001-GRADING PLAN.dwg 4/22/2022 3:32:48 PM