

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

August 20, 2025

Jesse Luehring, P.E.  
Critical View Engineering  
10900 Florence Ave NE  
Albuquerque, NM 87122

**RE: Albuquerque Ranch Estates  
12500 Bevan Way NE  
Permanent C.O. – Accepted  
Engineer's Certification Date: 8-19-25  
Engineer's Stamp Date: 04/21/22  
Hydrology File: E22D002J**

Dear Mr. Luehring:

PO Box 1293

Based on the Certification received 08/19/2025 and the site visit on 08/19/2025, this letter serves an approval of the certification in support of a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** G & D for 12500 Bevan Way **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E22D002  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LT 10 PLAT OF ALBUQUERQUE RANCH ESTATES, UNIT IICONT (UPC: 102206249516140175)  
**City Address:** 12500 Bevan WAY NE ALBUQUERQUE NM 87111

**Applicant:** Critical View Engineering **Contact:** Jesse Luehring  
**Address:** 10900 Florence Ave NE, Albuquerque NM 87122  
**Phone#:** 505-321-5917 **Fax#:** \_\_\_\_\_ **E-mail:** criticalviewabq@gmail.com

**Other Contact:** Owner **Contact:** Brian Garrett  
**Address:** PO BOX 67019 ALBUQUERQUE NM 87193-7019  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** brian@bcgabq.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

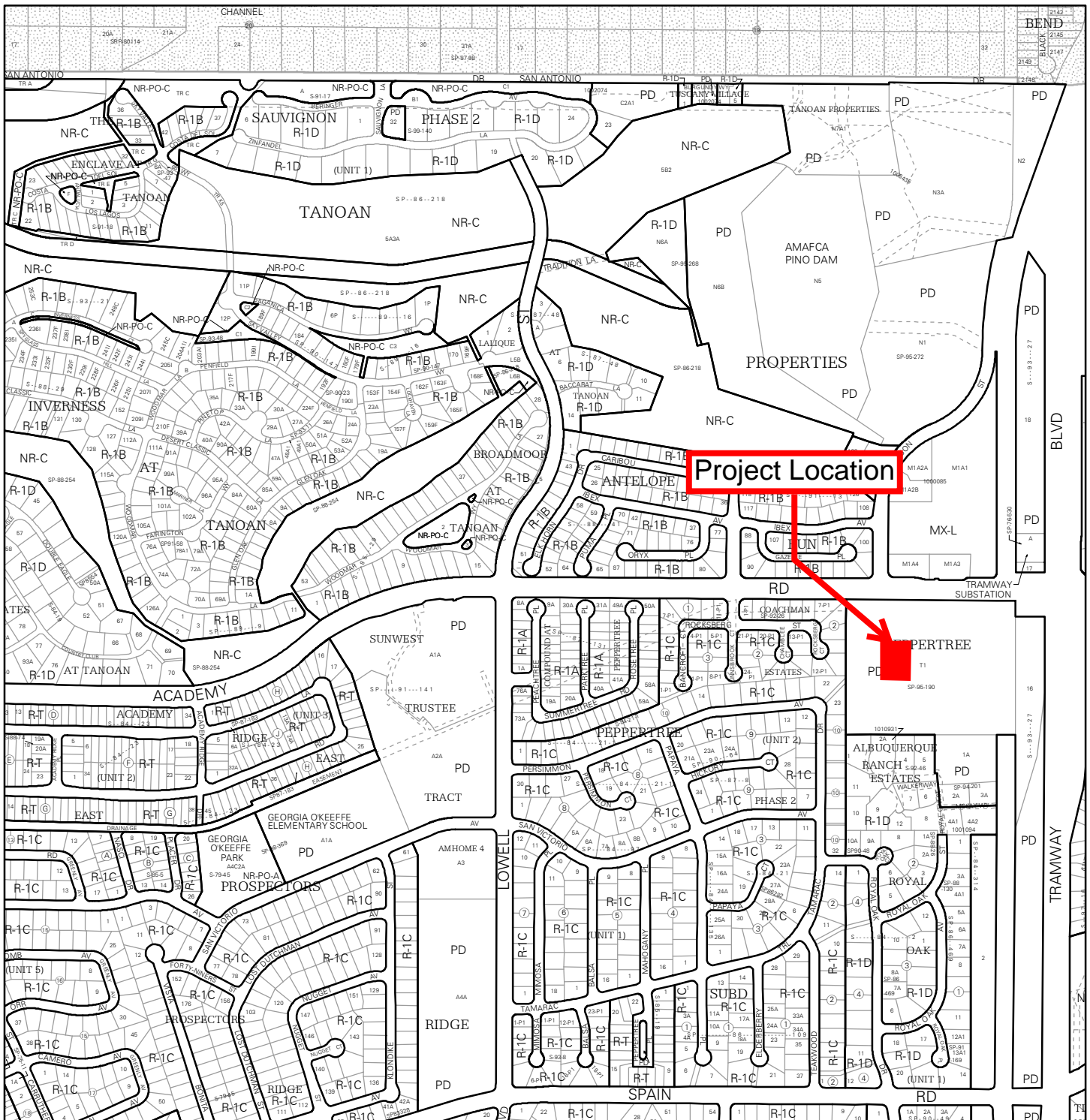
- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 8/19/25 **By:** Jesse Luehring, PE

COA STAFF:

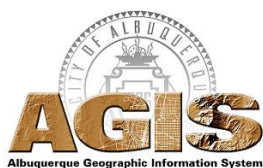
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

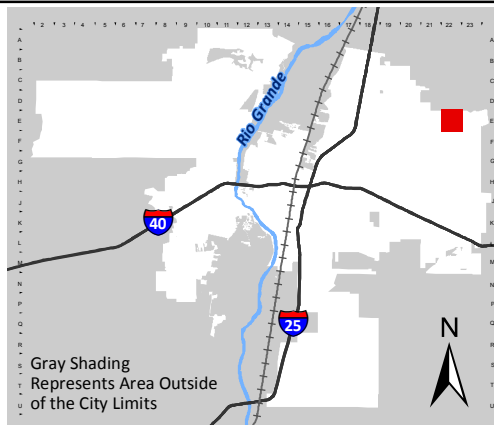


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



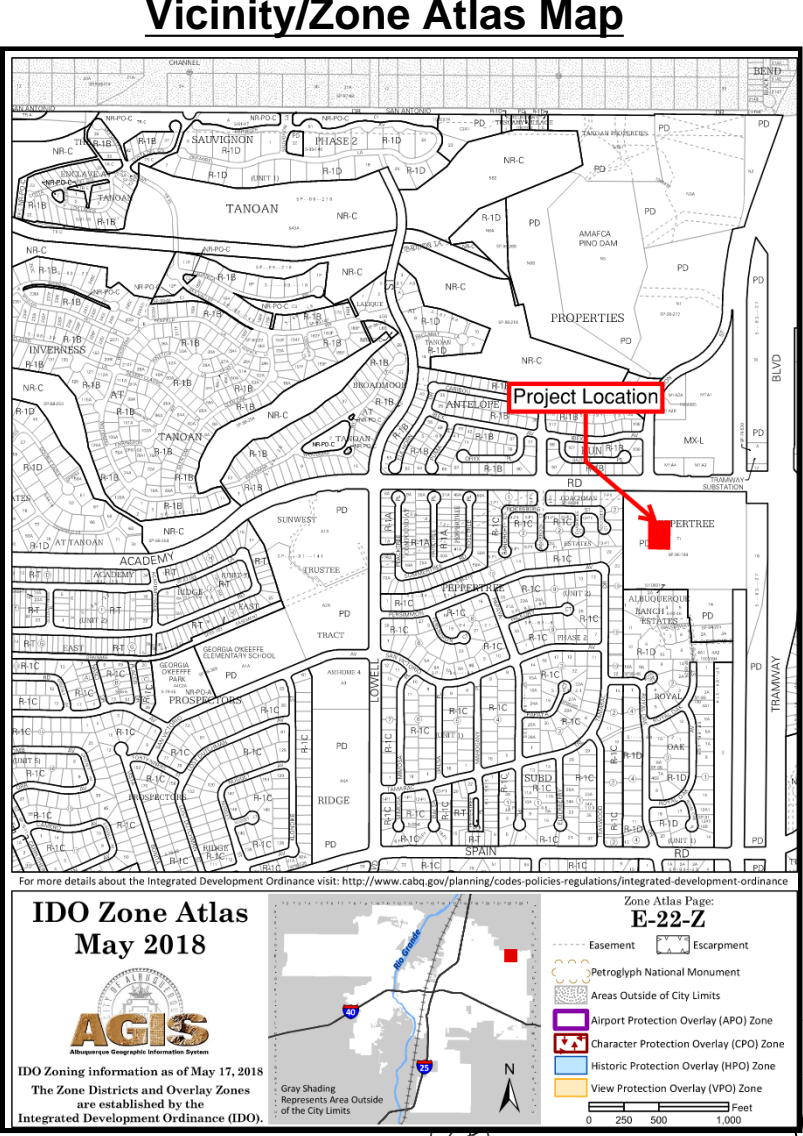
IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**E-22-Z**

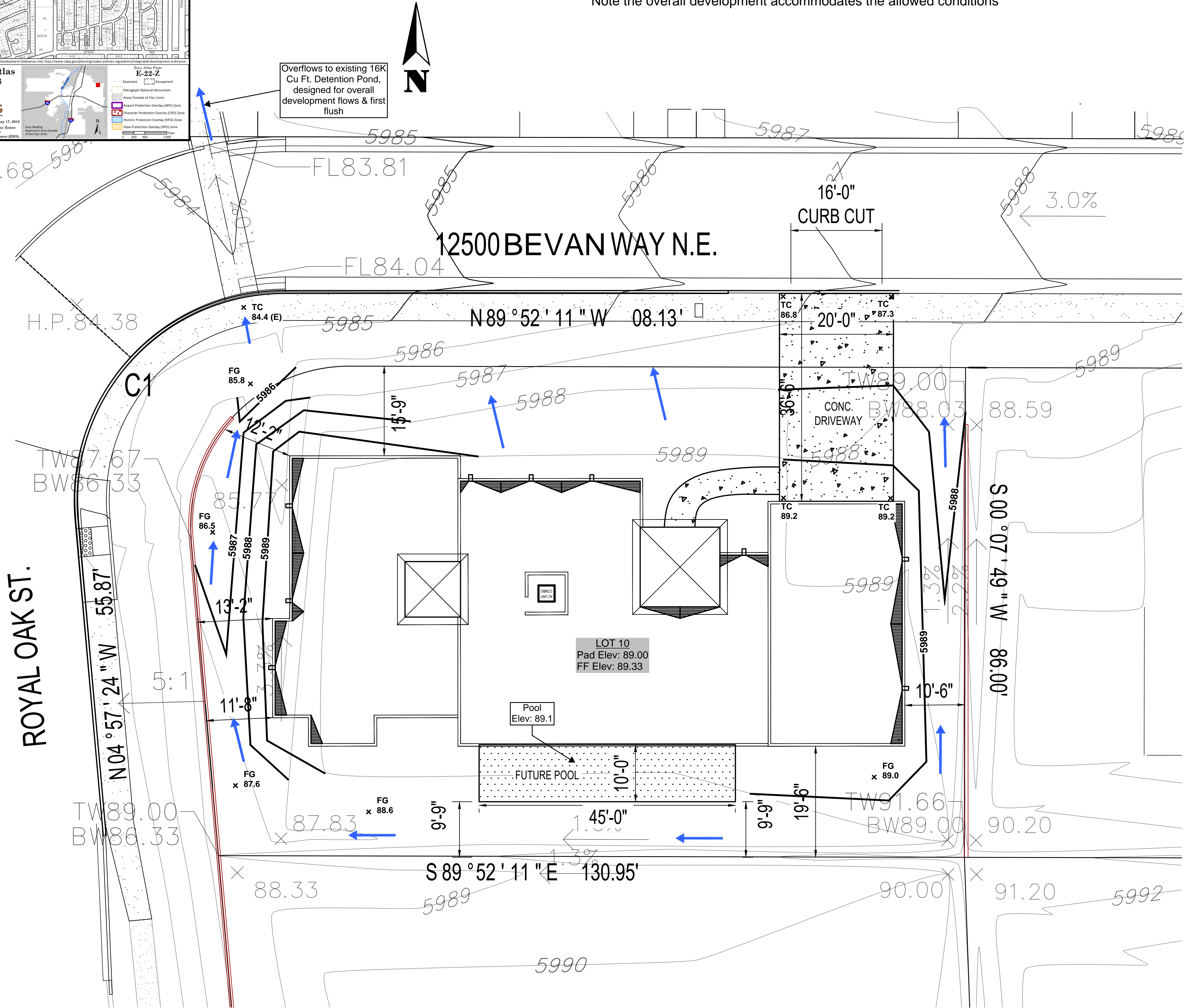
- Easement
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
  - Escarpment
  - Petroglyph National Monument
- Gray Shading  
Represents Area Outside  
of the City Limits
- 0 250 500 1,000 Feet





Lot 10 Plat of Albuquerque Ranch Estates										
Developed Land Treatment			Allowed Conditions		Zone 4 DMP Coefficients (Chapter 6)			Developed Calcs		
Land Type	Proposed Area Lot (SF)	Proposed Area %	E22D002 Allowed Conditions	Allowed Volumes	100-Yr Storm Inch Depth (6 hr)	100-Yr Excess Precip (In)	Peak Discharge CFS/AC	Peak Rate of Discharge (CFS)	100-Yr Storm Volume (Ac-Ft)	Req. SWQV Volume (Ac-Ft)
Type D	5501	48%	50%	0.036	2.64	3.34	4.78	0.60	0.035	0.004420
Type C	2125	19%	20%	0.005	2.64	1.20	3.41	0.17	0.005	-
Type B	3743	33%	30%	0.006	2.64	0.95	2.73	0.23	0.007	-
	11369	100%	100%	0.048				1.00	0.047	0.004420
Total Drainage Basin Area:			11369 SF 0.261 AC					Peak Discharge:	1.005 CFS	
								Stormwater Quality Volume:	192.5 Cubic Ft	
								100-Yr Storm Volume (Proposed)	2039.9 Cubic Ft	
								100-Yr Storm Volume (Allowed)	2079.6 Cubic Ft	
								100-Yr Storm Retention Volume	-39.6 Cubic Ft	

\*Note the overall development accommodates the allowed conditions



Narrative:

This is a grading and drainage plan supporting the COO for the completed construction of the building pad and improvements for the Lot at address 12500 Bevan Way NE (UPC 102206249516140175)

The purpose of this plan is to record the finished floor elevation, house layout, site concrete layout, and general lot drainage of the site. This drainage plan has been prepared in accordance with the 2020 revision to the City of Albuquerque Development Process Manual. All ponding and first flush volumes are conformance with the CABQ approved subdivision grading plan prepared by Fierro & Co., Dated April 2022. A grading plan and pad certification are already on file for E22D002

Drainage Intent:

Existing Conditions: This lot is an 0.261 acre vacant land property within the Albuquerque Ranch Estates subdivision. The lot has been recently graded when the area was developed and slopes to the Northwest toward the valley gutter leading to the onsite detention pond. There are negligible offsite flows entering the property. All onsite flows exit the site to the Northwest and drain to the detention pond in the NW corner of the development. Overflows from this pond drain south to Royal Oak St in conformance with the previously approved G&D plan for the subdivision.

Proposed Conditions: Improvements to the lot include a new residence, concrete driveway, and swimming pool that will add approximately 5501 SF of impervious area, or 48% of the property area (Developed conditions of the subdivision allows up to 50%). The lot is designed to drain in conformance with the development plan at the NW corner of the site. Due to the a net decrease in the amount of impervious area and associated runoff, additional detention ponding is not required. Stormwater quality pond volume requirements are also accommodated with the existing pond.

Additional improvements may include the construction of garden walls and access gates. Drainage paths will not be impacted by these improvements.

Stormwater Quality Volumes (DPM 6-12):

The required Stormwater Quality Volume to be managed on this lot is accommodated by the stormwater pond in the NW corner of the development.

DRAINAGE CERTIFICATION:

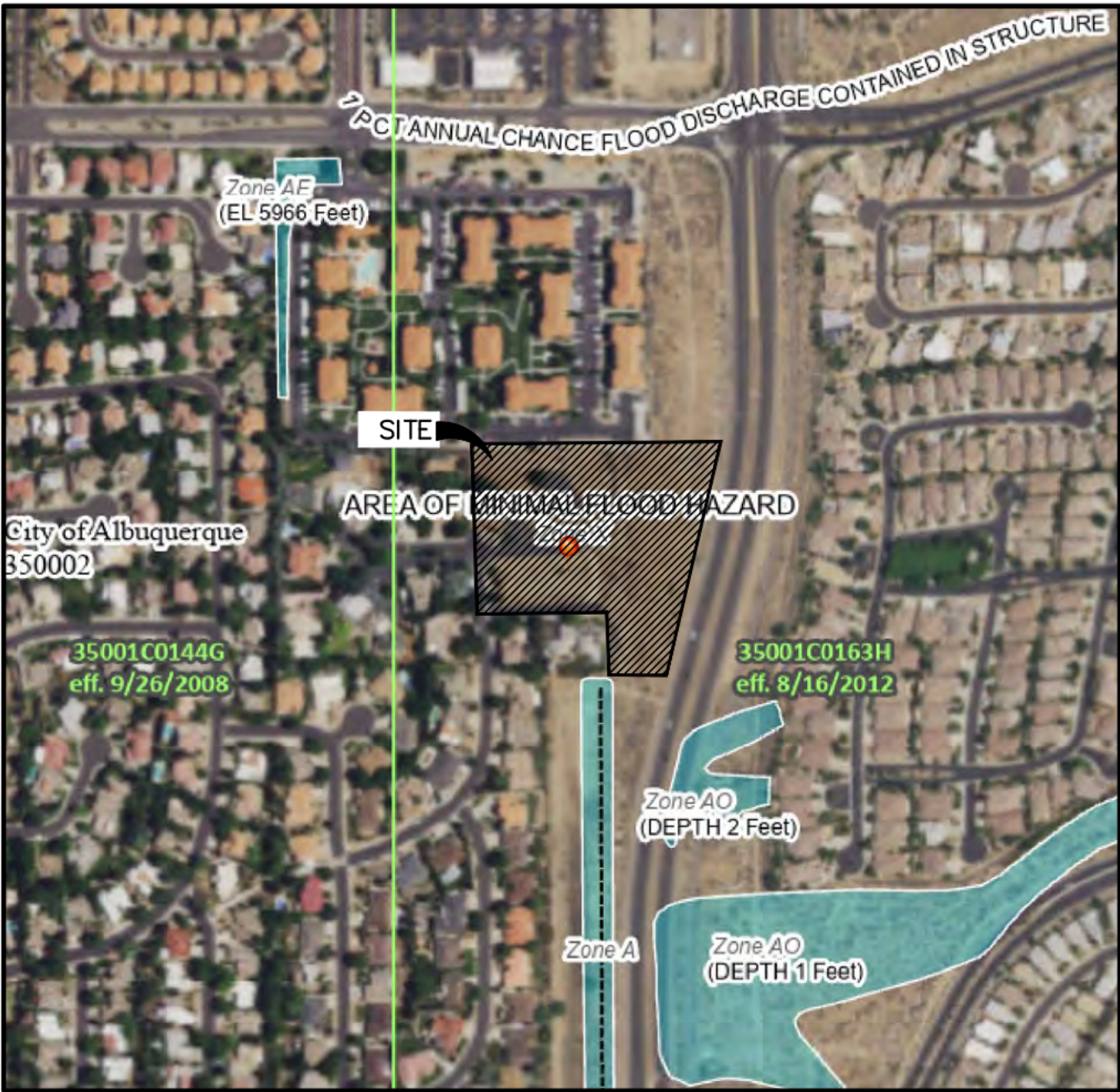
I, **JESSE LUEHRING** NMPE 21684 OF THE FIRM **CRITICAL VIEW ENGINEERING**, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-21-22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **JESSE LUEHRING** NMPE 21684, OF THE FIRM **CRITICAL VIEW ENGINEERING**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8-15-25 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **CERTIFICATE OF OCCUPANCY**.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Jesse Luehring*  
Jesse Luehring, NMPE 21684

8-19-25

FEMA Flood Map



FLOOD INSURANCE RATE MAP

MAP NO. 35001C0163H  
EFFECTIVE DATE: 08/16/2012

Grading and Drainage Plan-COO Submittal

12500 Bevan Way NE  
LT 10 PLAT OF ALBUQUERQUE RANCH ESTATES

Critical View Engineering, LLC

10900 Florence Ave NE  
Albuquerque NM, 87122  
505-321-5917

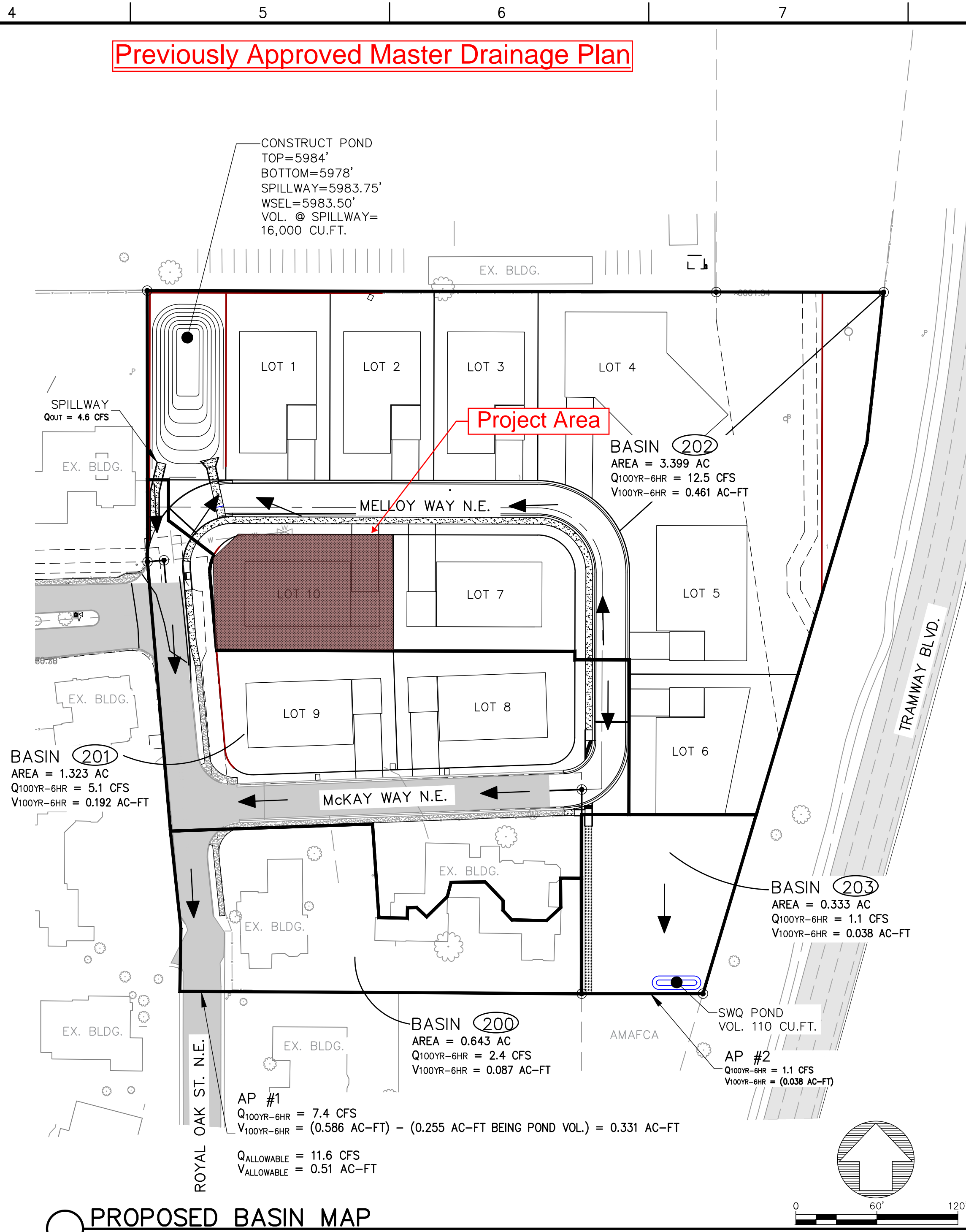
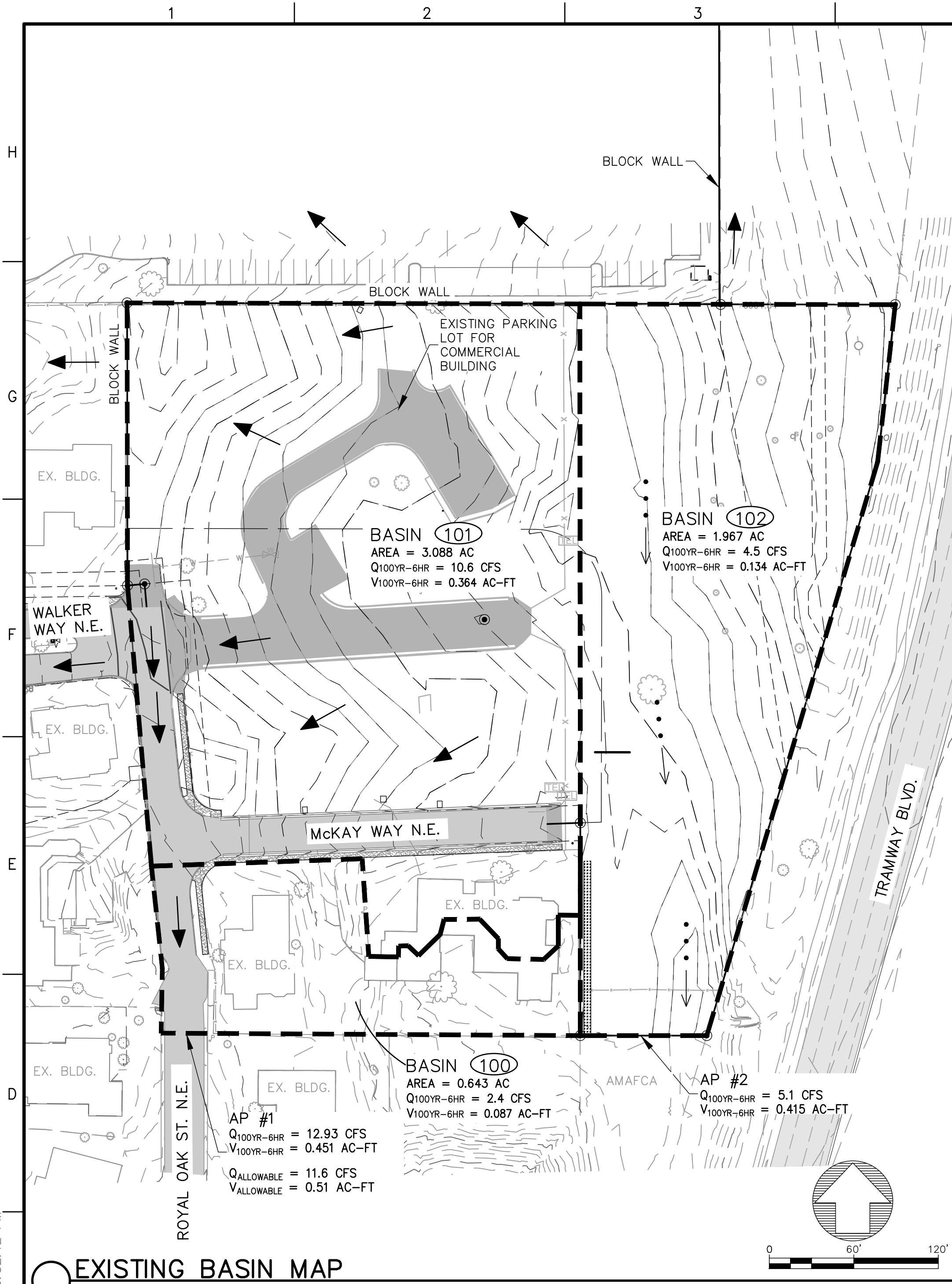


Drawn: 8/19/25  
Rev: 1





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**STORMWATER QUALITY VOLUME POND (BASIN 201):**  
TOTAL NEW LAND TREATMENT "D" AREA = 37,721 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDEVELOPMENT)=35,449 SQ.FT.\*(0.26")\*(1'/12")  
=768 CU.FT.

Waiver for Payment-in-lieu is requested for the SWQV from Basin 200.  
Payment-in-Lieu amount = 768 cu.ft. \* \$6/cu.ft. = \$4,608.00

**STORMWATER QUALITY VOLUME POND (BASIN 202):**  
TOTAL NEW LAND TREATMENT "D" AREA = 74,037 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDEVELOPMENT)= 74,037 SQ.FT.\*(0.26")\*(1'/12")=1,604 CU.FT.=0.0368 ac.ft.  
Store stormwater quality volume of 1,294 cu.ft. stored in Detention Pond.  
SWQV ELEV. = 5960.82'

**STORMWATER QUALITY VOLUME POND (BASIN 203):**  
TOTAL NEW LAND TREATMENT "D" AREA = 5,082 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDEVELOPMENT)=5,082 SQ.FT.\*(0.26")\*(1'/12")=110 CU.FT.

**PROPOSED DETENTION POND REQUIRED VOLUME:**  
TOTAL REQUIRED VOL. = (Basin 200 Vol. + Basin 201 Vol. + Basin 202 Vol.) -  
(Basin 100 Vol. + Basin 101 Vol.) + Basin 202 SWQV VOL.  
= (0.087 ac.ft. + 0.192 ac.ft. + 0.394 ac.ft.) - (0.087 ac.ft.+0.364 ac.ft.) + 0.0297 ac.ft.)  
= 0.2517 ac.ft.  
WATER SURFACE ELEVATION = 5984.25'

**STORMWATER QUALITY VOL. CALCULATIONS**



**Introduction**  
The site is 4.6 acres and located within Albuquerque Ranch Estates near the intersection of Royal Oak Street and McKay Way NE. It is bound north by an apartment complex, East by Tramway Boulevard NE, South by McKay Way, and West by Royal Oak Street NE. A 10 lot subdivision is being proposed. New infrastructure includes a new road, concrete valley gutter, and a detention pond. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the existing and proposed condition, 2) satisfy allowable stormwater discharge rates, 3) satisfy the Stormwater Quality Volume requirement, and 4) seek approval for final grading permit.

**Methodology**  
Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 4 data was used in the hydrologic computations.

**Existing Condition**  
The site discharges runoff to Royal Oak Street and AMAFCA's property which is located south of Basin 102. The site does not receive offsite flows. A business last occupied the site. An existing driveway, parking lot, and a 4,000 sq.ft. building was used by the business, which has now been demolished. A Grading & Drainage Plan for the existing site was approved under Hydrology File E22-D13 dated June 1994. Under this plan, Basin 100 and Basin 101 as shown on this sheet are allowed to drain to Royal Oak Street NE with an allowable discharge rate of 11.6 cfs per said file E22-D13. A portion of Basin 101 drains to a depressed area at the NW corner of the site, then will overflow to Royal Oak Street. Runoff from Basin 102 drains south to a regional pond within AMAFCA's property. Refer to the Existing Basin Map on this sheet for drainage pattern and runoff rates.

**Proposed Condition**  
A 10 lot subdivision is proposed on the 4.6 acre site. Mellow Way is a new road which loops and connects Royal Oak Street NE to McKay Way NE. Drainage improvements include a valley gutter, concrete rundown, detention pond, and a storm water quality pond. Refer to the Proposed Basin Map. As in the existing condition, the site will discharge to the same two locations (Royal Oak Street and AMAFCA's property located south of Basin 203). Building pad sizes vary from 4,000 sq.ft. to 6,000 sq.ft. Below is a summary of the proposed basin drainage patterns.

Basin 200 drainage pattern and flow rates will not change from the existing condition.

Basin 201 and 202 drainage pattern remains the same as under the existing condition. There is an increase of generated runoff due to the increase in impervious area; however, a detention pond will attenuate runoff rates below the allowable by storing more volume than the increase of generated runoff. Said detention pond will also store the SWQV from Basin 202. The pond will outlet runoff through the spillway, which will then drain toward Royal Oak Street. Storing the required Storm Water Quality Volume from Basin 201 will be challenging for the following reasons: 1) a portion of the new road ties into the existing McKay Way and there is not a way to divert the runoff to a pervious area due to the road grade, 2) McKay Way road grade is steep causing steep driveways and slopes that makes it difficult to allow an area to be depressed enough for storing the SWQV. A payment-in-lieu is being requested for the SWQV in this Basin.

Basin 203 will discharge to AMAFCA's facility located south of Basin 203. Basin 203 will be required to store the Storm Water Quality Volume of 110 cu.ft. Runoff discharging to AMAFCA's property is less under the proposed condition.

**Conclusion**  
The proposed development will not increase the peak discharge or runoff volume to the two discharge points (Royal Oak Street and AMAFCA's property). Refer to Analysis Point #1 and #2. The City's drainage criteria has been met. This drainage report seeks COA Hydrology and AMAFCA's approval.

## LEGEND

- PROPERTY BOUNDARY
- FLOW PATH
- ROOF FLOW
- SURFACE DRAINAGE
- UTILITY EASEMENT LINE
- FLOWLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING BASIN
- PROPOSED BASIN
- PROPOSED RETAINING WALL

Stage-Storage Table					
Depth (ft)	Pond 1	Area (ac)	Volume (ac-ft)	Cum Volume (ac-ft)	Cum Volume (cu-ft)
5978	824	0.019	0	0.000	0.0
5979	1399	0.032	0.026	0.026	1108.9
5979.3	1614	0.037	0.010	0.036	1559.9
SWQV WSEL = 5979.3'					
5979.3	1614	0.037	0.000	0.000	0.0
5980	2114	0.049	0.030	0.02995	1301.8
5981	2971	0.063	0.058	0.0832	3938.5
5982	3967	0.091	0.080	0.16796	7299.5
5983	5104	0.117	0.104	0.27208	11824.6
5983.5	5743	0.132	0.062	0.33433	14530.1
WSEL For Storing Delta Volume (100-YR, 6-HOUR STORM) of Proposed and Existing					
5984	6382	0.147	0.070	0.40392	17554.4

## Weir Calculation Pond Spillway

Equation  $6.64 Q = CLH^{3/2}$

Where;

$C=2.7$ ,  $L=6$ -ft, and  $H=0.5'$

$Q=2.7*6*0.5^{3/2}=5.7$  CFS

Therefore, pond's spillway has capacity to discharge pond's overflow of 4.6 cfs

**WEIR CALCULATION**

**STAGE-STORAGE TABLE**



ENGINEER'S SEAL

ALBUQUERQUE RANCH ESTATES, UNIT II  
ALBUQUERQUE, NEW MEXICO

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 21001  
DESIGNED BY: RJF  
DRAWN BY: RJS  
CHECKED BY: RJF  
DATE: APRIL 2022  
SHEET TITLE

**DRAINAGE PLAN**

SHEET NO:

**D-1**