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Plot Name: 1017201.DWG
Plot Date: 05-23-2001
Plot Time: 1:37 pm



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (505) 345-4300
FAX (505) 345-4254 E-mail: jma@jma-inc.com

AMENDED GRADING PLAN SAUVIGNON SUBDIVISION - PHASE 2

APPROVED FOR ROUGH GRADING

CITY HYDROLOGY

DESIGNED BY

DRAWN BY

APPROVED BY

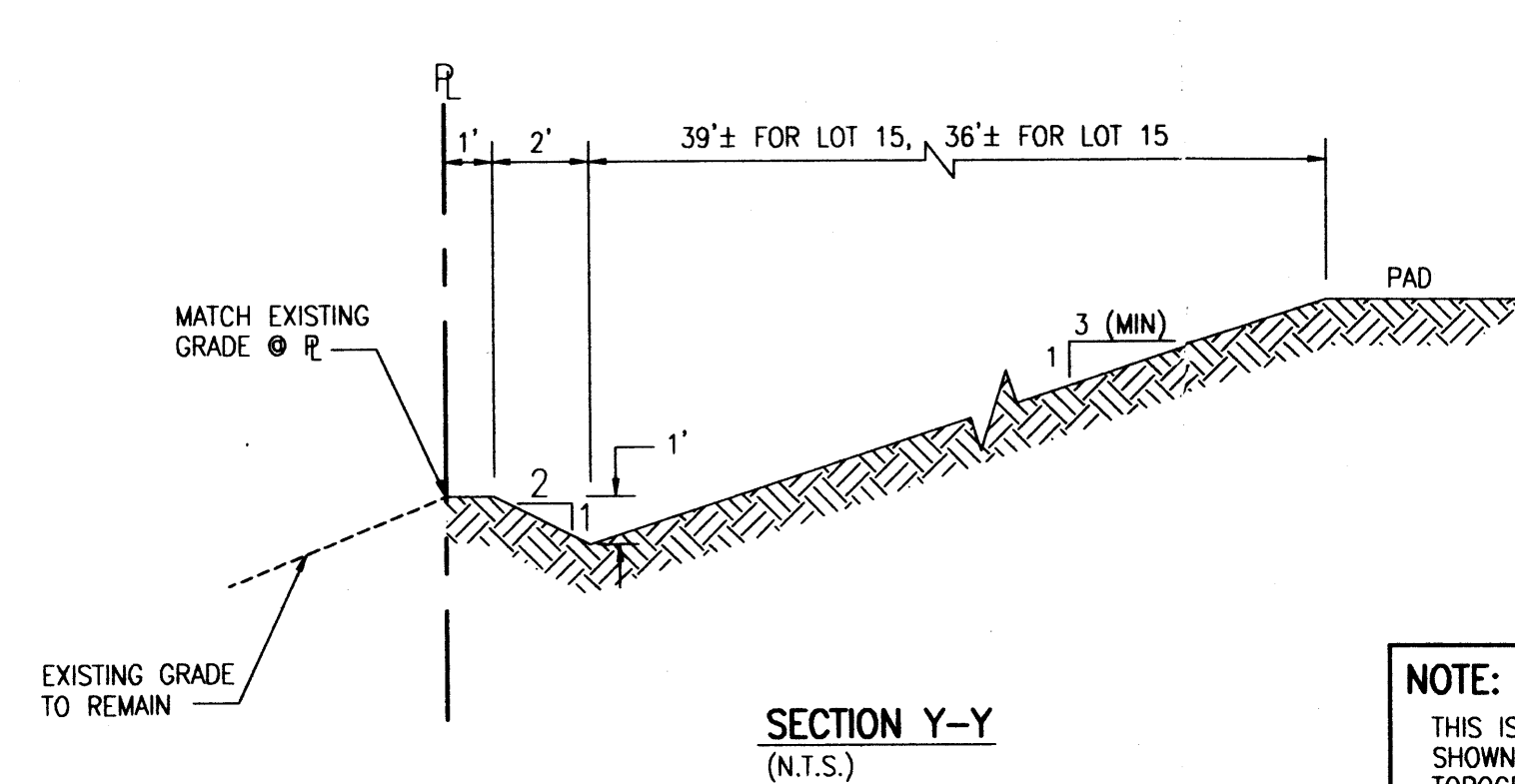
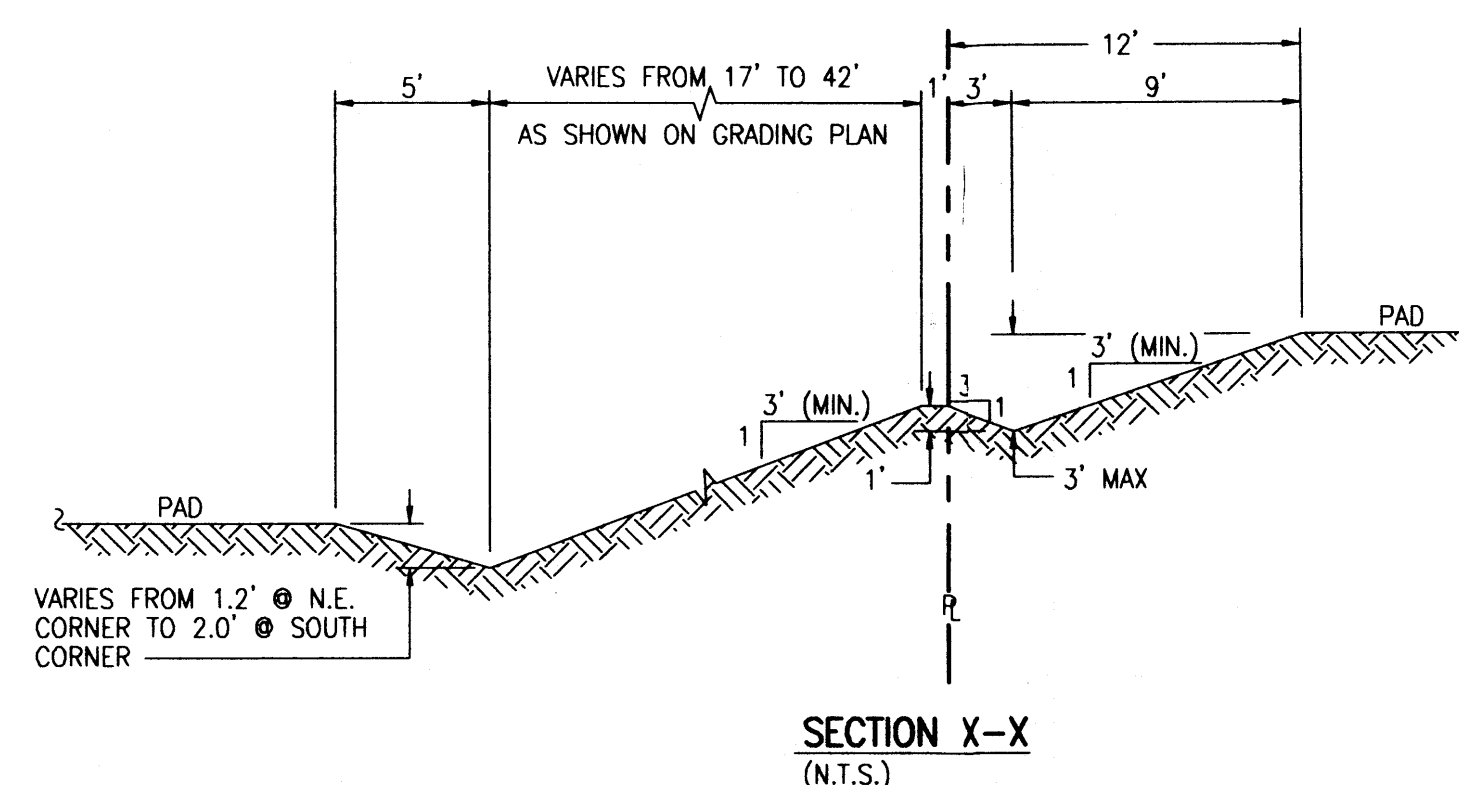
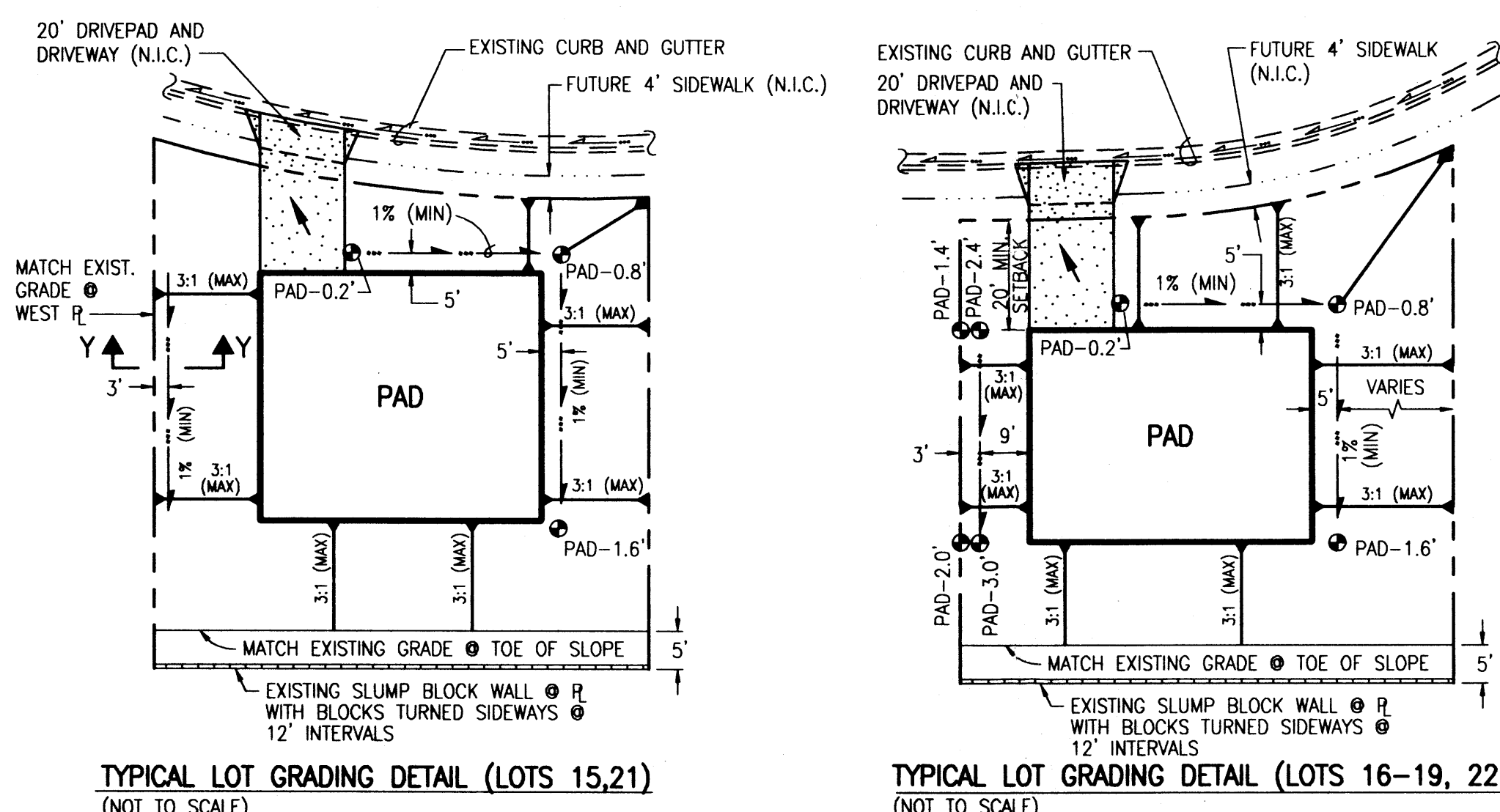
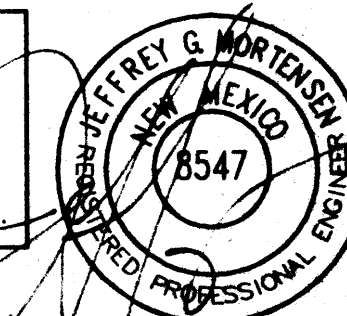
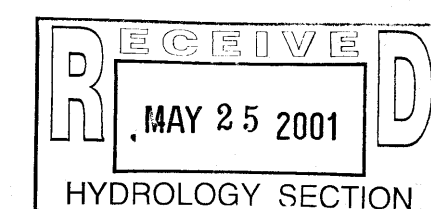
G.M.

J.Y.R.

J.G.M.

NO.	DATE	BY	REVISIONS	JOB NO.
				2001.017.2
				DATE
				05-2001
				SHEET
				1 OF 6

NOTE:
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM THE GRADING PLAN AND ENGINEER'S CERTIFICATION FOR SAUVIGNON SUBDIVISION - PHASE II, PREPARED AND PROVIDED BY BOHANNAN - HUSTON INC. DATED 19/18/00.



- LEGEND
- 05.18 EXISTING CONTOUR
 - 25 EXISTING SPOT ELEVATION
 - 91.3 PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED FLOWLINE
 - PROPOSED SLOPE
 - PROPOSED DIRECTION OF FLOW

DRB 91-111

File Path: J:\WORK\0523\2001\10172DR.DWG
File Name: 10172DR.DWG
Plot Date: 05-23-2001
Plot Time: 08:24 am



JEFF MORTENSEN & ASSOCIATES, INC.
6010 N. MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (S&S) 345-4250
FAX: 505 345-4254 E-mail: jma@jma-inc.com

DRAINAGE PLAN, GRADING NOTES, F.I.R.M. AND VICINITY MAP
SAUVIGNON SUBDIVISION - PHASE 2

- GENERAL NOTES:
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986, UPDATE 6.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 - SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR INTO PRIVATE PROPERTY.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 - THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
 - A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
 - THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
 - ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
 - ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED. ALL EARTHWORK FOR BUILDING PADS SHALL BE PERFORMED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL SPECIFICATIONS.
 - ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
 - THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
 - FINISHED FLOOR ELEVATIONS MAY VARY FROM THE PAD ELEVATIONS AND WILL BE DETERMINED AS A FUNCTION OF INDIVIDUAL HOUSE DESIGN.
 - FINISHED FLOOR ELEVATIONS SHOULD BE ESTABLISHED AT A MINIMUM OF FOUR INCHES ABOVE PAD ELEVATIONS; DEVIATIONS FROM THESE GUIDELINES MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
 - THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER.
 - MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
 - ROUGH GRADING TOLERANCES SHALL BE ± 0.1 FT FOR BUILDING PADS, AND $\pm 0.33'$ FOR ALL OTHER GRADING.

I. EXECUTIVE SUMMARY AND INTRODUCTION

THIS AMENDED GRADING PLAN PROPOSES REVISED LOT GRADING FOR LOTS 15-18, AND 20-32, SAUVIGNON, UNIT 2, WHICH ARE EXISTING SINGLE FAMILY RESIDENTIAL LOTS LOCATED IN NORTHEAST ALBUQUERQUE WITHIN THE TANOAN PROPERTIES AREA. THE SUBDIVISION WAS ORIGINALLY GRADED IN ACCORDANCE WITH THE ORIGINAL DRB APPROVED GRADING PLAN DATED AUGUST 6, 1999, AND CERTIFIED ON SEPTEMBER 18, 2000. THE PROPOSED GRADING REVISIONS CONSIST OF MODIFICATIONS TO EXISTING UNDEVELOPED LOTS WITHIN THE SUBDIVISION WHICH WILL NOT ALTER THE DRAINAGE PATTERNS AND CONCEPTS ESTABLISHED BY THE APPROVED PLAN. THIS AMENDED PLAN IS SUBMITTED FOR ROUGH GRADING AND DRB APPROVALS. IT IS ALSO BEING SIMULTANEOUSLY SUBMITTED TO THE DEVELOPMENT REVIEW BOARD (DRB) FOR SKETCH PLAT REVIEW AND COMMENT FOR THE PURPOSE OF OBTAINING DIRECTION FROM THE BOARD TO DETERMINE WHAT LEVEL OF DRB REVIEW AND APPROVAL WILL BE REQUIRED FOR THIS AMENDED PLAN. THE PROPOSED IMPROVEMENTS WILL NOT REQUIRE ANY NEW PUBLIC INFRASTRUCTURE OR PUBLIC DRAINAGE IMPROVEMENTS. THERE IS NO NEW PLATTING PROPOSED IN CONJUNCTION WITH THIS PLAN.

II. PROJECT DESCRIPTION

AS SHOWN ON THE VICINITY MAP ON SHEET 2, THE AFFECTED LOTS ARE LOCATED ON ZINFANDEL LANE NE, AND BERINGER LANE NE, SOUTH OF THE INTERSECTION OF LOWELL STREET NE, AND SAN ANTONIO DRIVE NE. THE PROJECT CONSISTS OF REVISED LOT GRADING FOR 17 LOTS WITHIN A PREVIOUSLY APPROVED, GRADED, AND CERTIFIED RESIDENTIAL SUBDIVISION. AS INDICATED BY FIRM PANEL 142 OF 825 THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS FOR BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF PLANS AND REPORTS RELATIVE TO THIS SITE AND/OR REFERENCED WITHIN THIS DRAINAGE PLAN. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF THOSE PLANS AND DOCUMENTS WHICH ARE KNOWN TO THIS PREPARER.

- REVISED FINAL GRADING AND DRAINAGE PLAN FOR SAUVIGNON SUBDIVISION - PHASE II PREPARED BY BOHANNAN-HUSTON, INC. DATED 08/06/99 (CITY HYDROLOGY FILE E22/D007F) THE EXISTING SITE GRADING, CERTIFIED ON 09/18/00, IS BASED UPON THIS DRB APPROVED PLAN (DRB 91-111).
- AS PREVIOUSLY INDICATED, THIS PLAN IS ALSO BEING SUBMITTED TO THE DRB AS A SKETCH PLAT TO DETERMINE WHAT LEVEL OF DRB REVIEW AND APPROVAL WILL BE REQUIRED FOR THIS AMENDED PLAN.

IV. EXISTING CONDITIONS

THE SUBJECT LOTS HAVE BEEN GRADED IN ACCORDANCE WITH THE DRB APPROVED GRADING PLAN FOR THE SITE AND ARE OTHERWISE UNDEVELOPED. ZINFANDEL LANE NE AND BERINGER LANE NE ARE PAVED PRIVATE STREETS WITH CURB AND GUTTER. THE STREETS ARE DEDICATED PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENTS. THE SITE IS ADJOINED BY OPEN SPACE TRACTS TO THE NORTH, EAST, AND SOUTH, WITH THE SOUTH TRACT BEING DEVELOPED AS A GOLF COURSE. LOT RUNOFF SHEET DRAINS TO THE FRONTING STREETS, AND TO THE GOLF COURSE.

V. DEVELOPED CONDITIONS

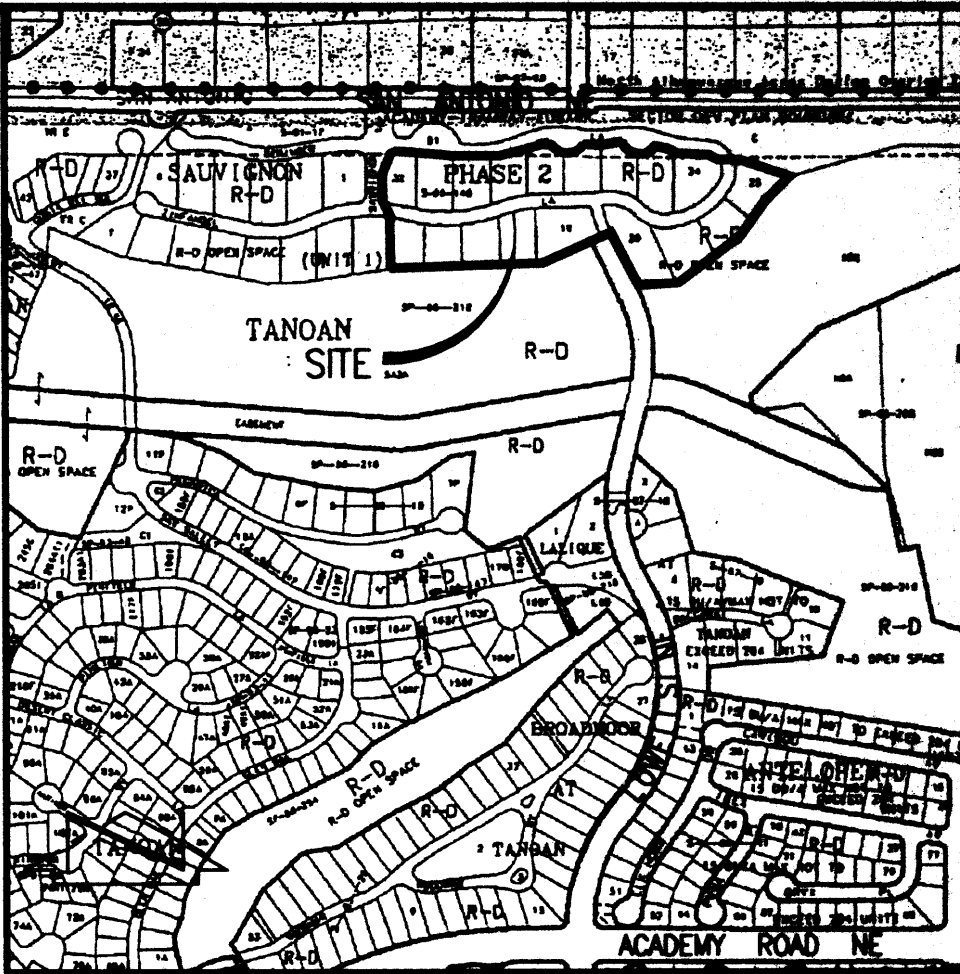
THE PROPOSED IMPROVEMENTS CONSIST OF REVISED LOT GRADING ON EXISTING GRADED LOTS, THE PURPOSE OF WHICH IS TO ENHANCE THE MARKETABILITY AND CONSTRUCTABILITY OF THE UNDEVELOPED LOTS. THE LOTS WILL CONTINUE TO DRAIN TO THEIR HISTORIC OUTFALL TO THE FRONTING STREETS AND GOLF COURSE. THE PROPOSED LOT GRADING WILL NOT ALTER THE EXISTING DRAINAGE PATTERNS APPROVED AND ESTABLISHED BY THE DRB APPROVED GRADING PLAN. OTHER THAN THE PROPOSED GRADING, THERE ARE NO PUBLIC OR PRIVATE DRAINAGE IMPROVEMENTS PROPOSED OR REQUIRED BY THIS AMENDED PLAN.

VI. AMENDED GRADING PLAN

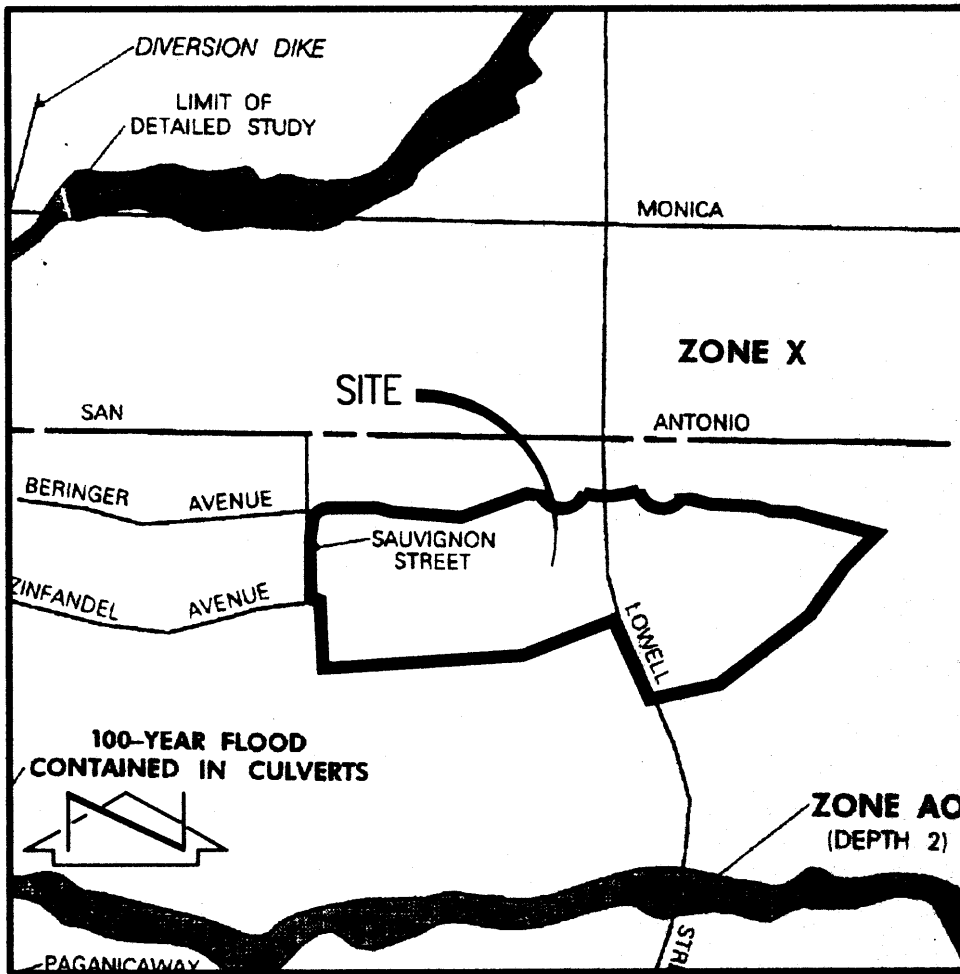
THE AMENDED GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS AS TAKEN FROM THE ENGINEER'S CERTIFICATION OF THE REVISED FINAL GRADING AND DRAINAGE PLAN FOR SAUVIGNON SUBDIVISION - PHASE II PREPARED BY BOHANNAN-HUSTON, INC. ENGINEER'S STAMP DATE 09/18/00, 2) PROPOSED AMENDED GRADES INDICATED BY SPOT ELEVATIONS, PAD GRADES, FLOWLINES AND CONTOURS AT 1'0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN ON THE ENGINEER'S CERTIFICATION, 4) THE LIMIT AND CHARACTER OF THE PROPOSED AMENDED GRADING, AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. THERE ARE NO RETAINING WALLS PROPOSED BY THIS PLAN.

VII. CONCLUSION

THE PROPOSED GRADING IMPROVEMENTS REPRESENT MODIFICATIONS TO 17 UNDEVELOPED SINGLE FAMILY RESIDENTIAL LOTS. THIS AMENDED GRADING PLAN WILL SUPERSEDE THE DRB APPROVED GRADING PLAN FOR THE SITE WHICH HAS BEEN GRADED AND CERTIFIED. THE AMENDED LOTS WILL CONTINUE TO DRAIN IN ACCORDANCE WITH THE PREVIOUSLY APPROVED PLAN TO EXISTING DOWNSTREAM PUBLIC DRAINAGE FACILITIES. THERE ARE NO NEW PUBLIC STORM DRAIN EASEMENTS REQUIRED FOR THIS PROJECT. THERE ARE NO DESIGN VARIANCES BY THIS SUBMITTAL. NO NEW DRAINAGE COVENANTS ARE REQUESTED OR REQUIRED AS PART OF THIS PLAN.



VICINITY MAP
SCALE: 1" = 750'



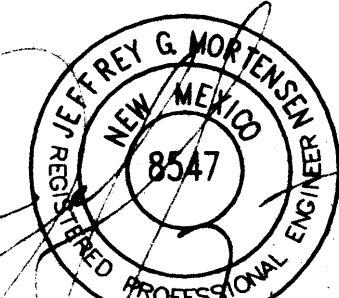
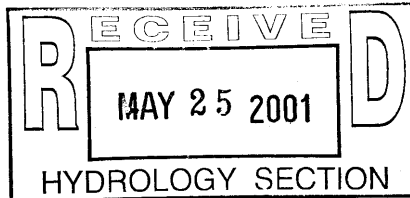
F.I.R.M.
SCALE: 1" = 500'

PROJECT BENCHMARK

STATION IS A STANDARD UCC&GS BRASS GEOLOGICAL SURVEY BENCHMARK, TOP TABLET STAMPED "TUMBLE 1969" SET IN CONCRETE PROJECTING 0.2FT ABOVE GROUND, LOCATED 489 FEET WEST OF THE INTERSECTION OF SAN ANTONIO DRIVE AND TENNYSON STREET, AND 35 FEET NORTH OF RIGHT-OF-WAY LINE OF SAN ANTONIO DR. ELEV.=6009.155 FEET (M.S.L.D. 1929)

LEGAL DESCRIPTION

LOTS 15-18, 21-32, SAUVIGNON PHASE 2
FILED 10/26/99, 99C-298



	NO.	DATE	BY	REVISIONS	JOB NO.
DESIGNED BY	G.M.				2001.017.2
DRAWN BY	S.G.H.				DATE 05-2001
APPROVED BY	J.G.M.				SHEET 2 OF 6

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 Plot Time: 08:36 am
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JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NM 87109
 ENGINEERS SURVEYORS (505) 345-4250
 FAX: 505 345-4254 Email: jma@jma.com

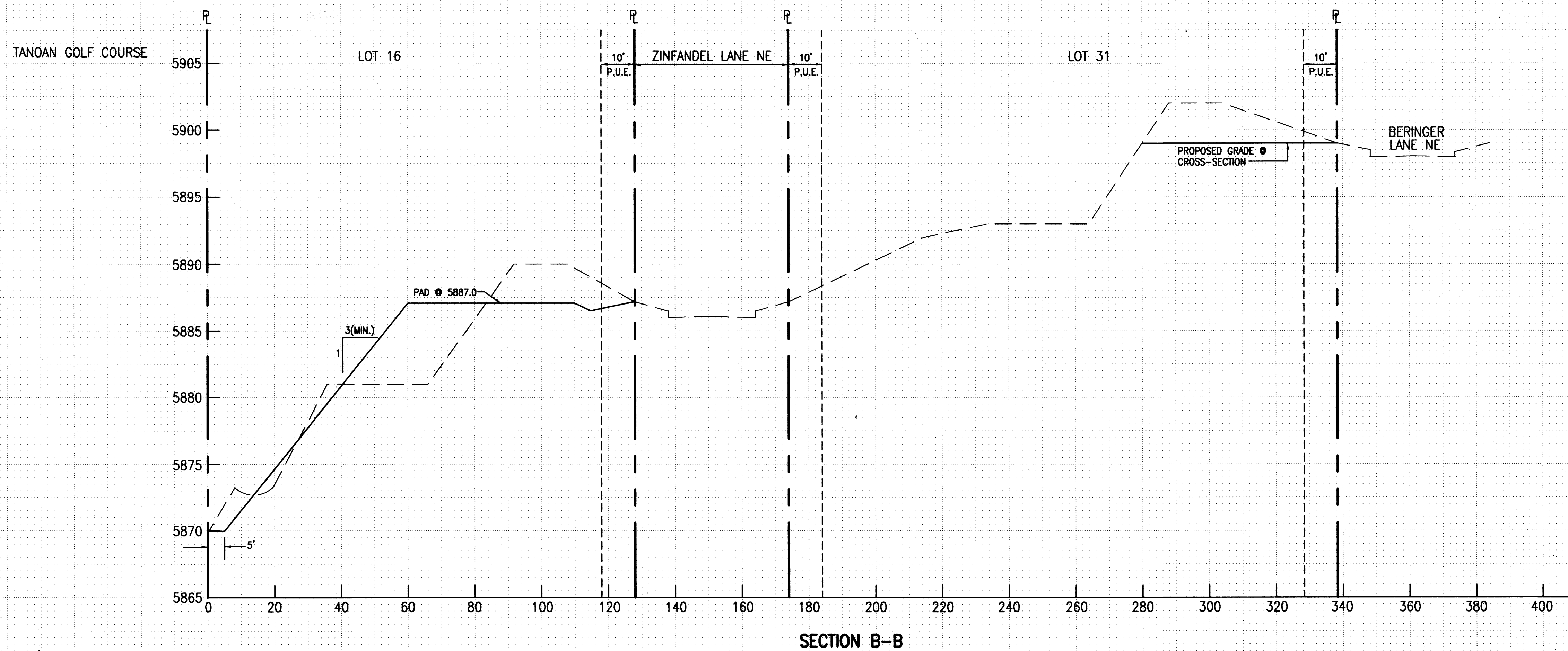
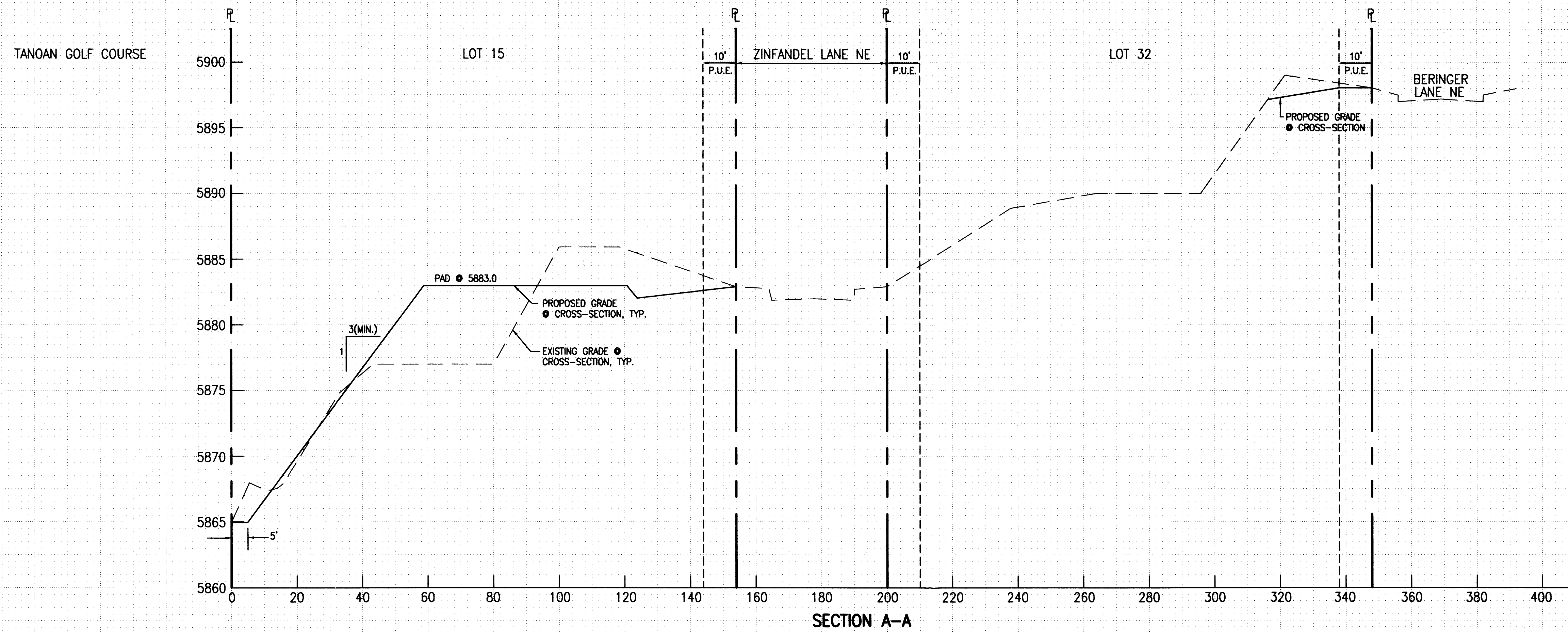
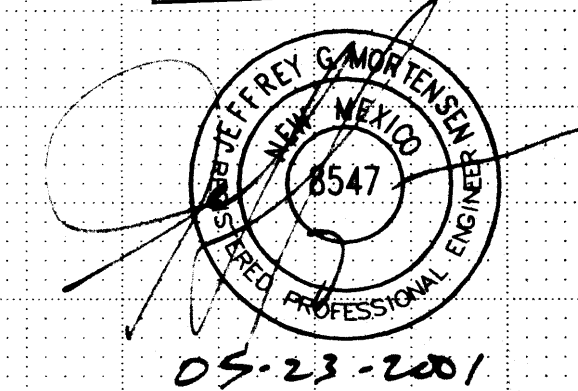
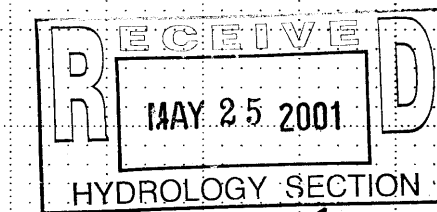
GRADING CROSS-SECTIONS SAUVIGNON SUBDIVISION - PHASE 2

DESIGNED BY: J.G.M.
 DRAWN BY: S.G.H.
 APPROVED BY: J.G.M.

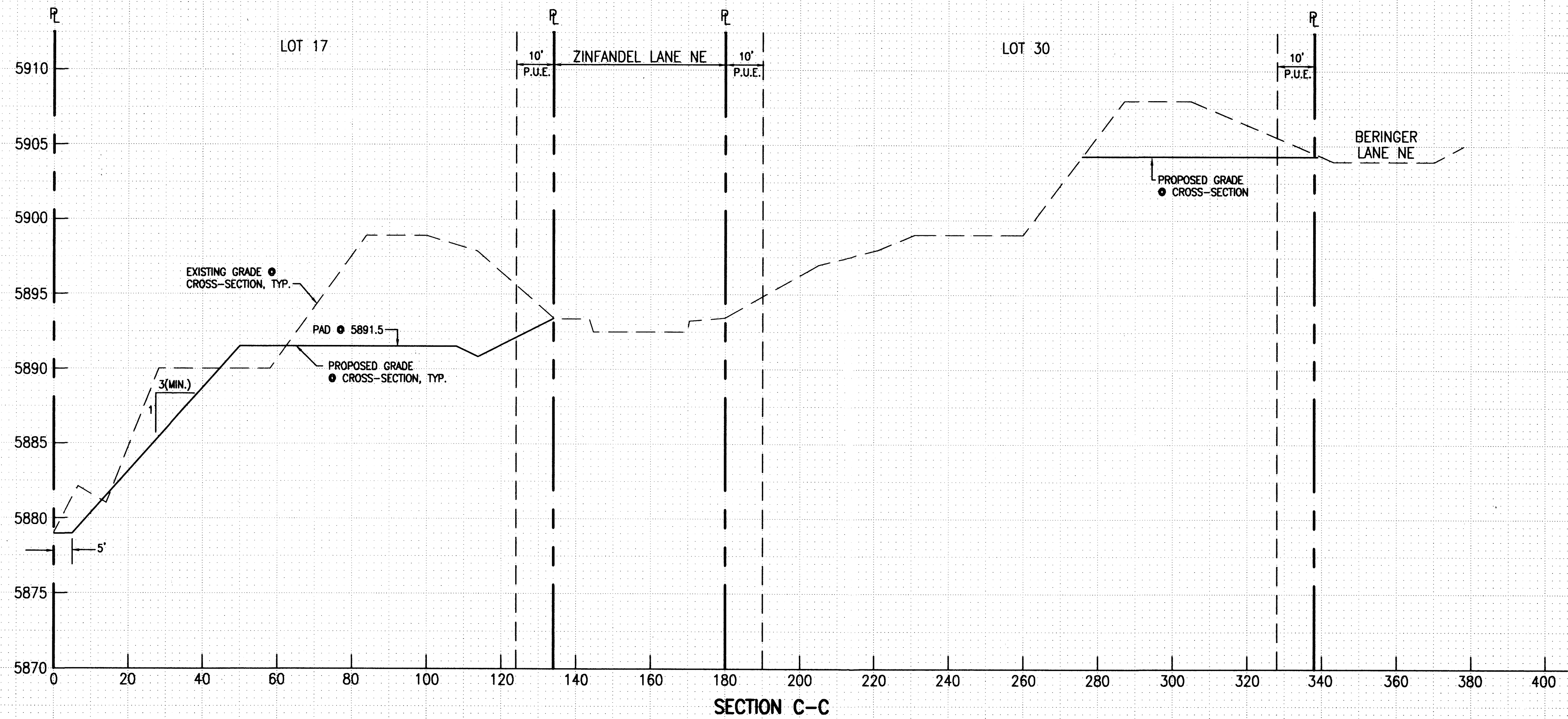
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JOB NO. 2001.017.2
 DATE 05-2001
 SHEET 3 OF 6

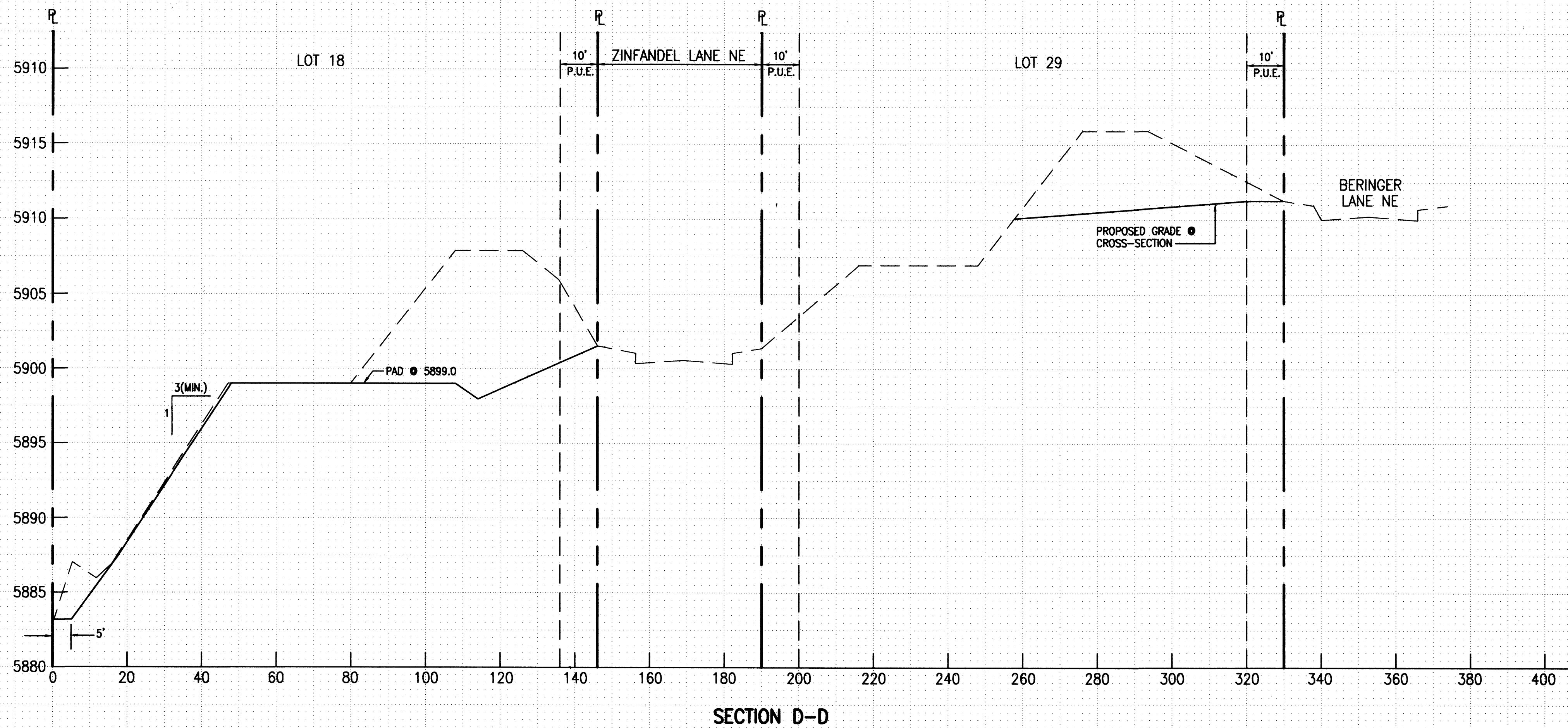
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 HORIZONTAL: 1"=20'
 VERTICAL: 1"=5'



TANOAN GOLF COURSE



TANOAN GOLF COURSE



SCALE:
HORIZONTAL: 1"=20'
VERTICAL: 1"=5'

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JEFF HORTENSEN & ASSOCIATES, INC.
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8647
PROFESSIONAL ENGINEER

05-23-2001



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6809-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505 345-4254 E-mail: jhinc@scpc.com

GRADING CROSS-SECTIONS SAUVIGNON SUBDIVISION - PHASE 2

DESIGNED BY: J.M.
DRAWN BY: S.G.H.
APPROVED BY: J.G.M.

NO.	DATE	BY	REVISIONS

JOB NO. 2001.017.2
DATE 05-2001
SHEET 4 OF 6

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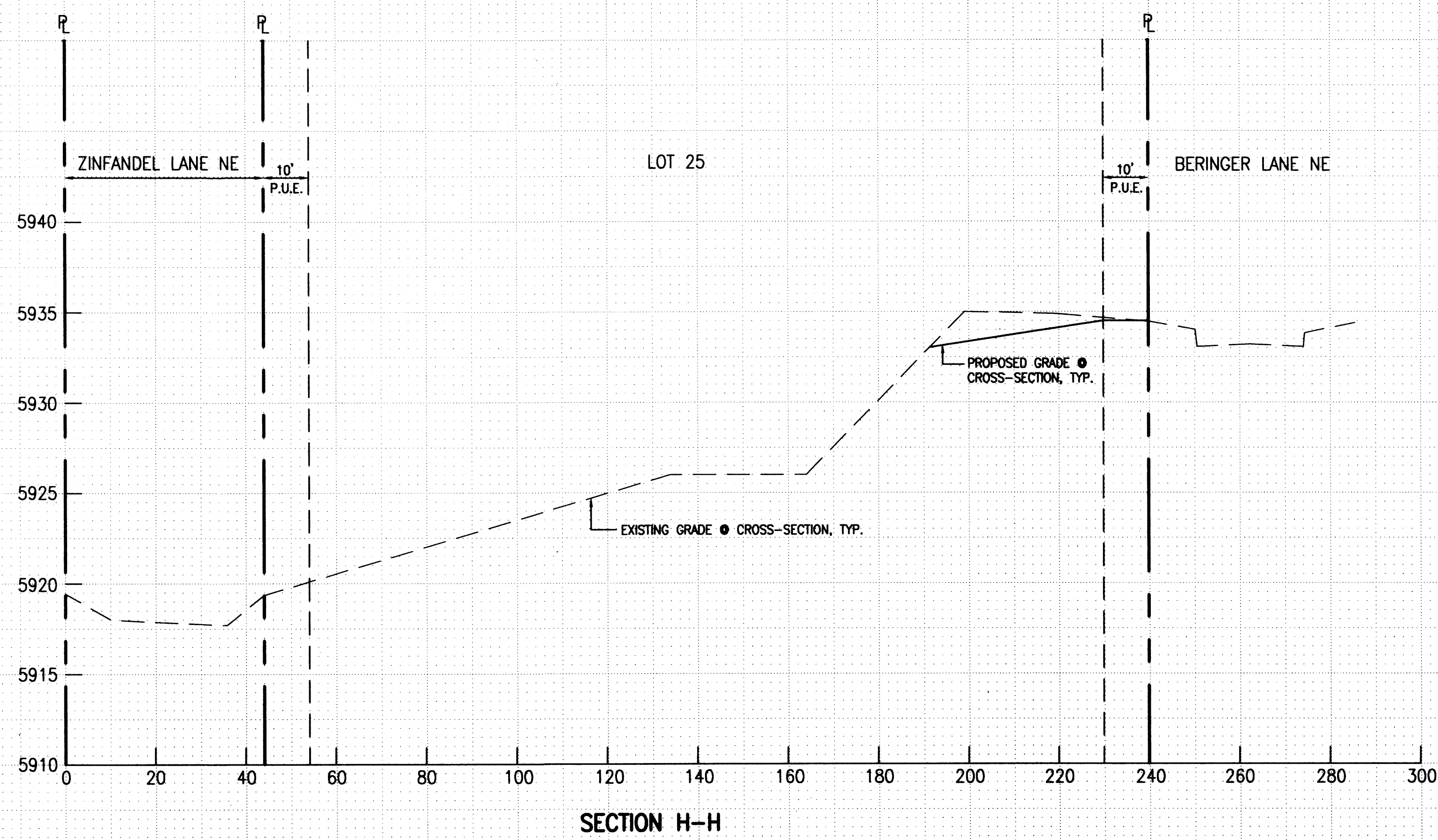
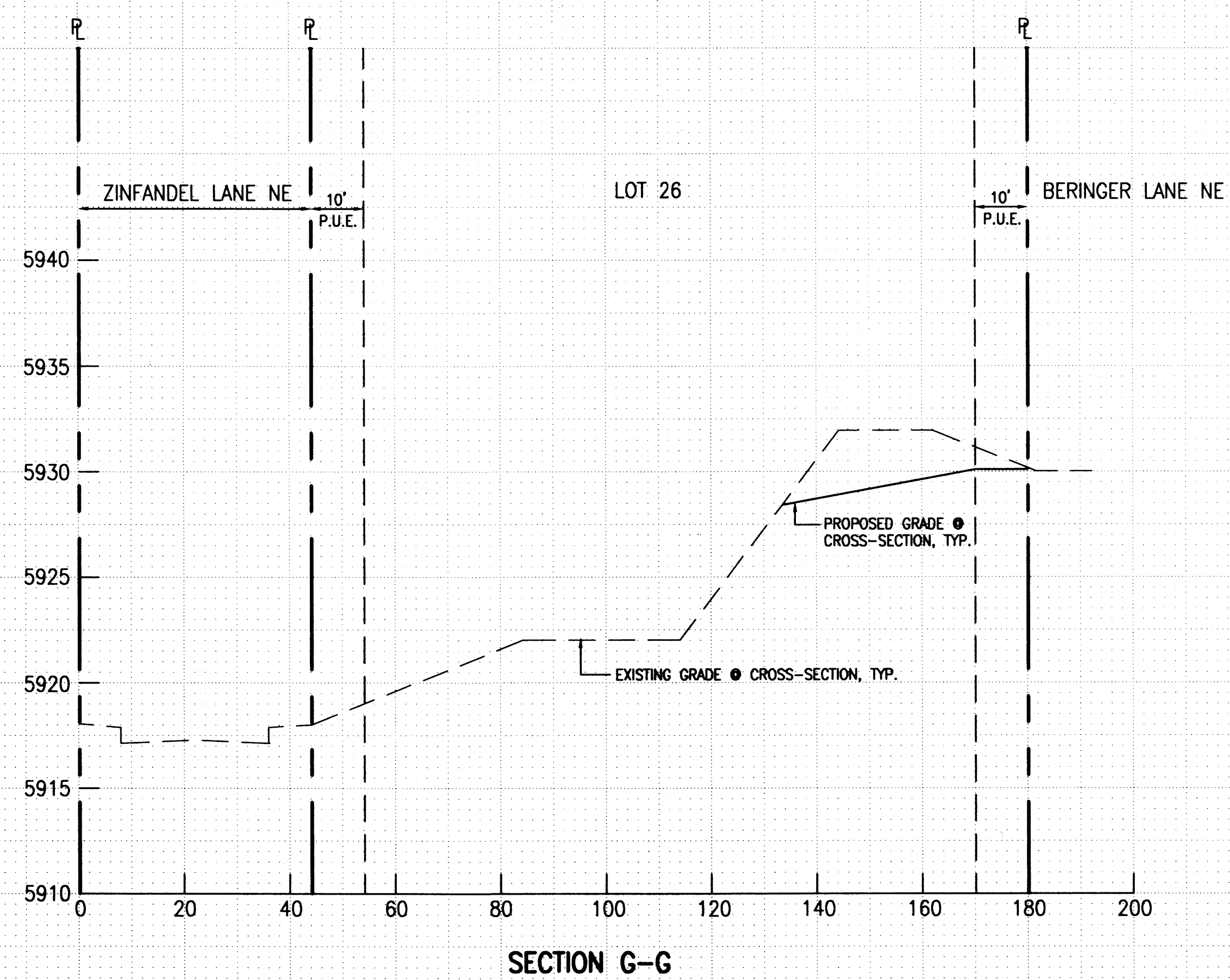
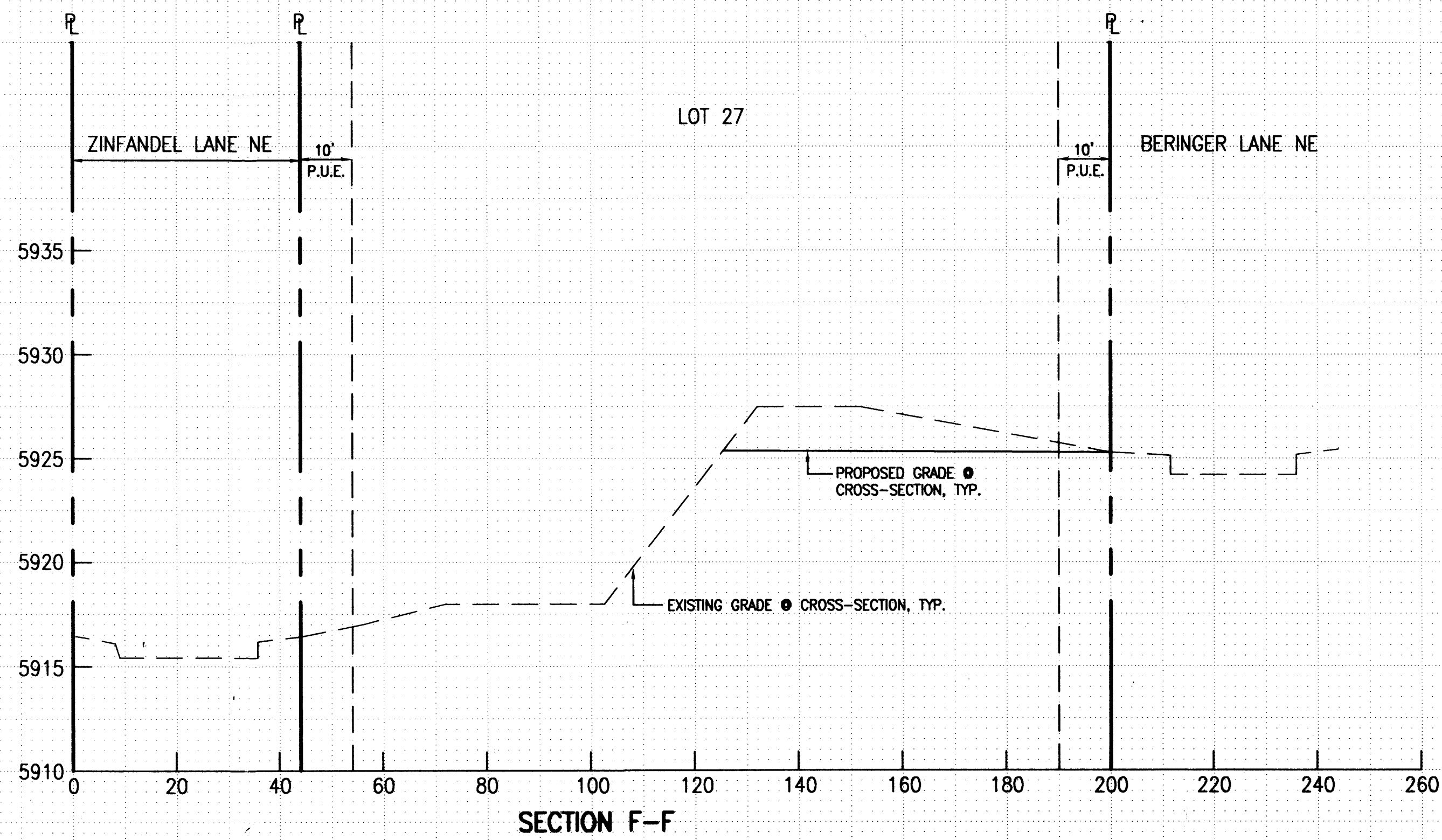
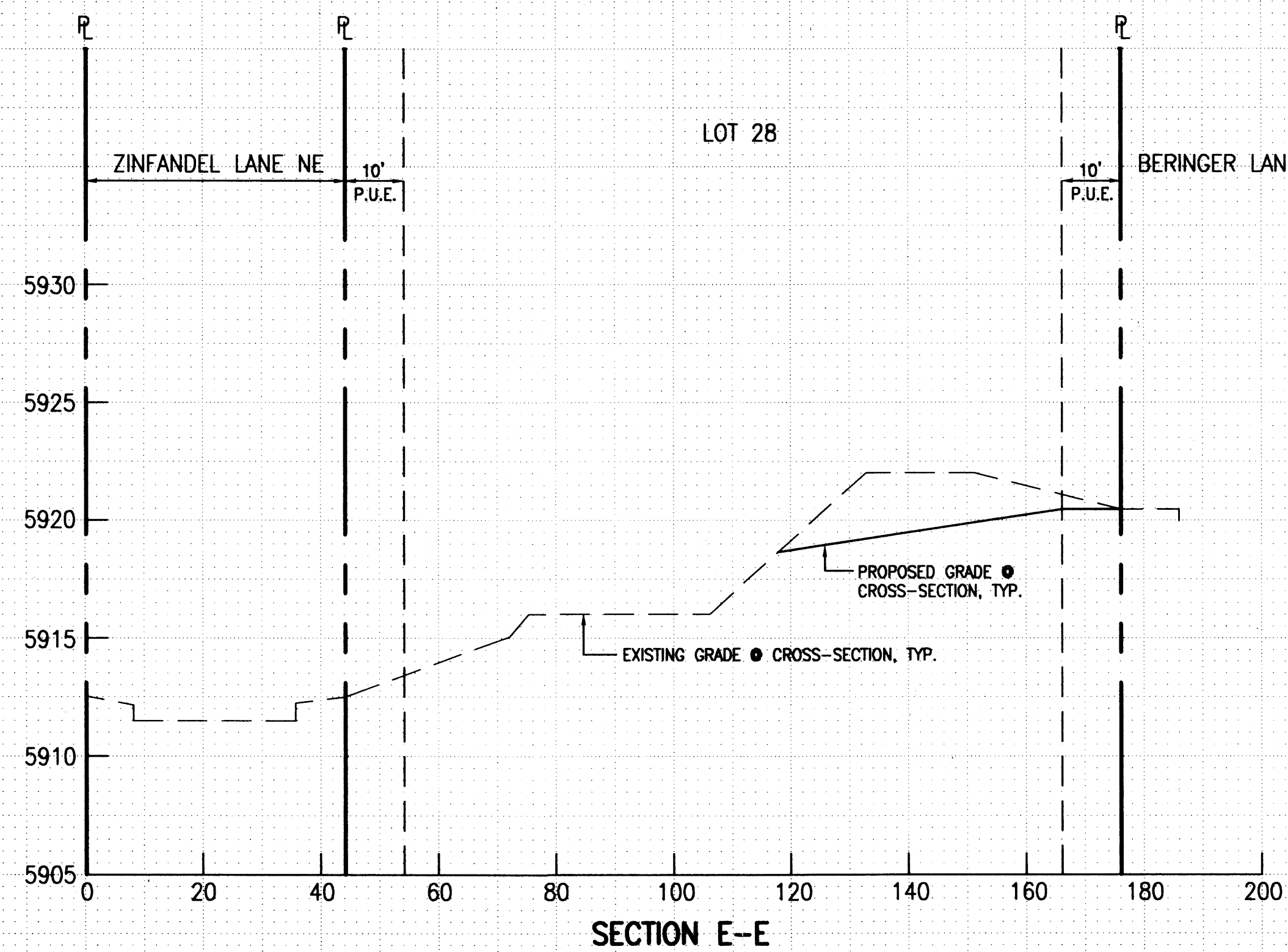
JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NM MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 FAX: 505 345-4254 E-mail: jma@jma.com

GRADING CROSS-SECTIONS SAUVIGNON SUBDIVISION - PHASE 2

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 DRAWN BY: S.G.H.
 APPROVED BY: J.G.M.

NO.	DATE	BY	REVISIONS

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 SHEET 5 OF 6

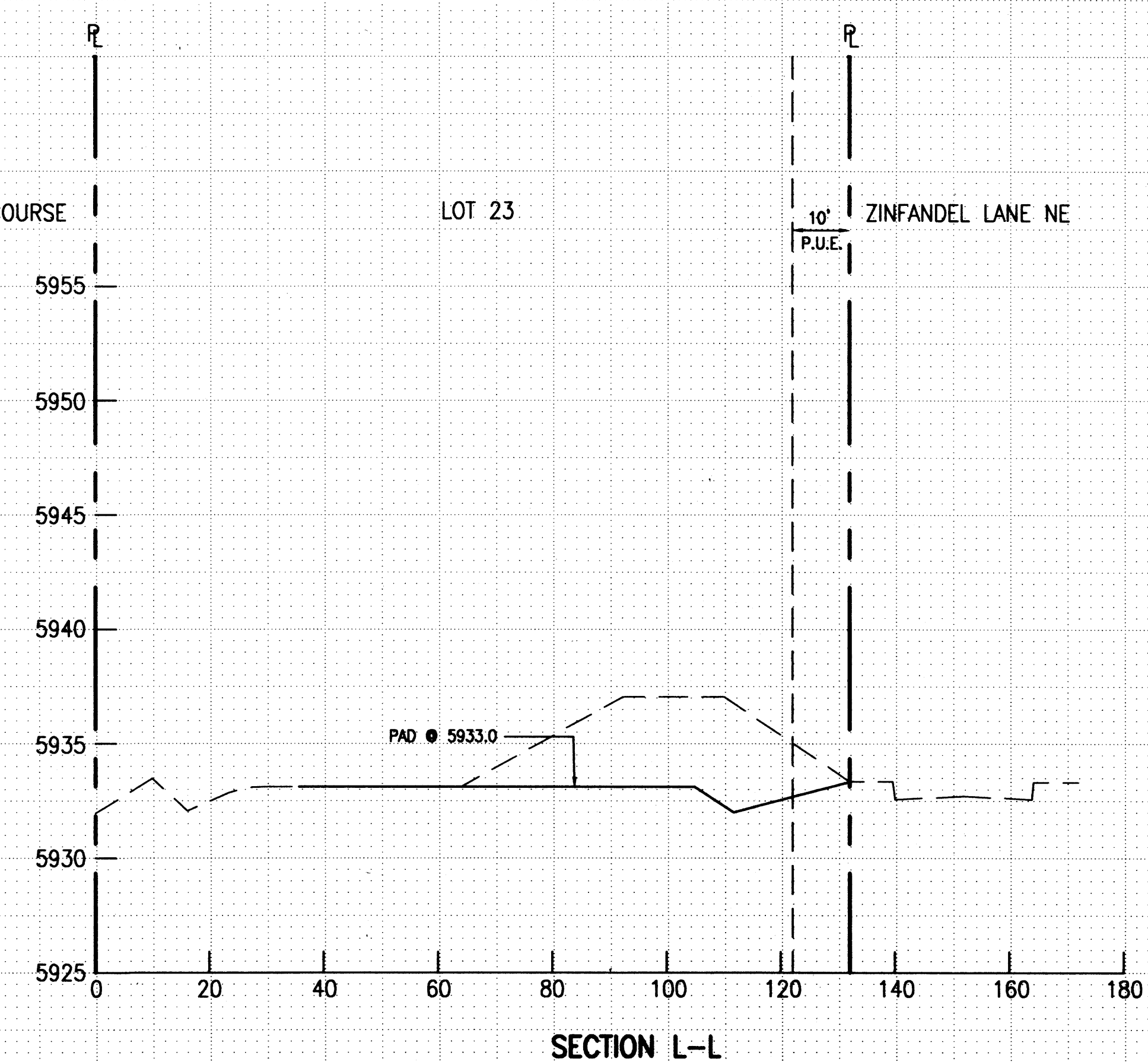
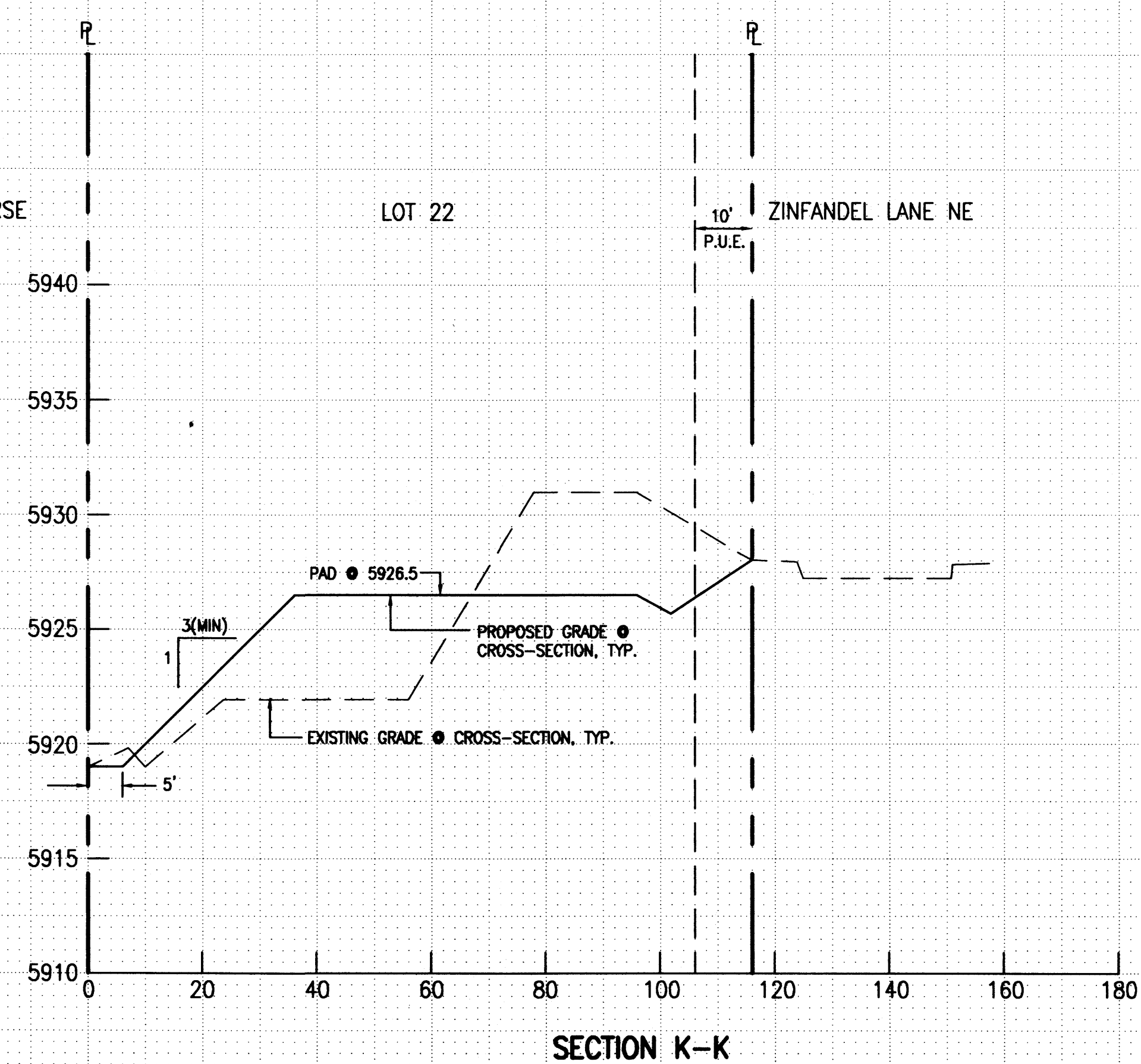
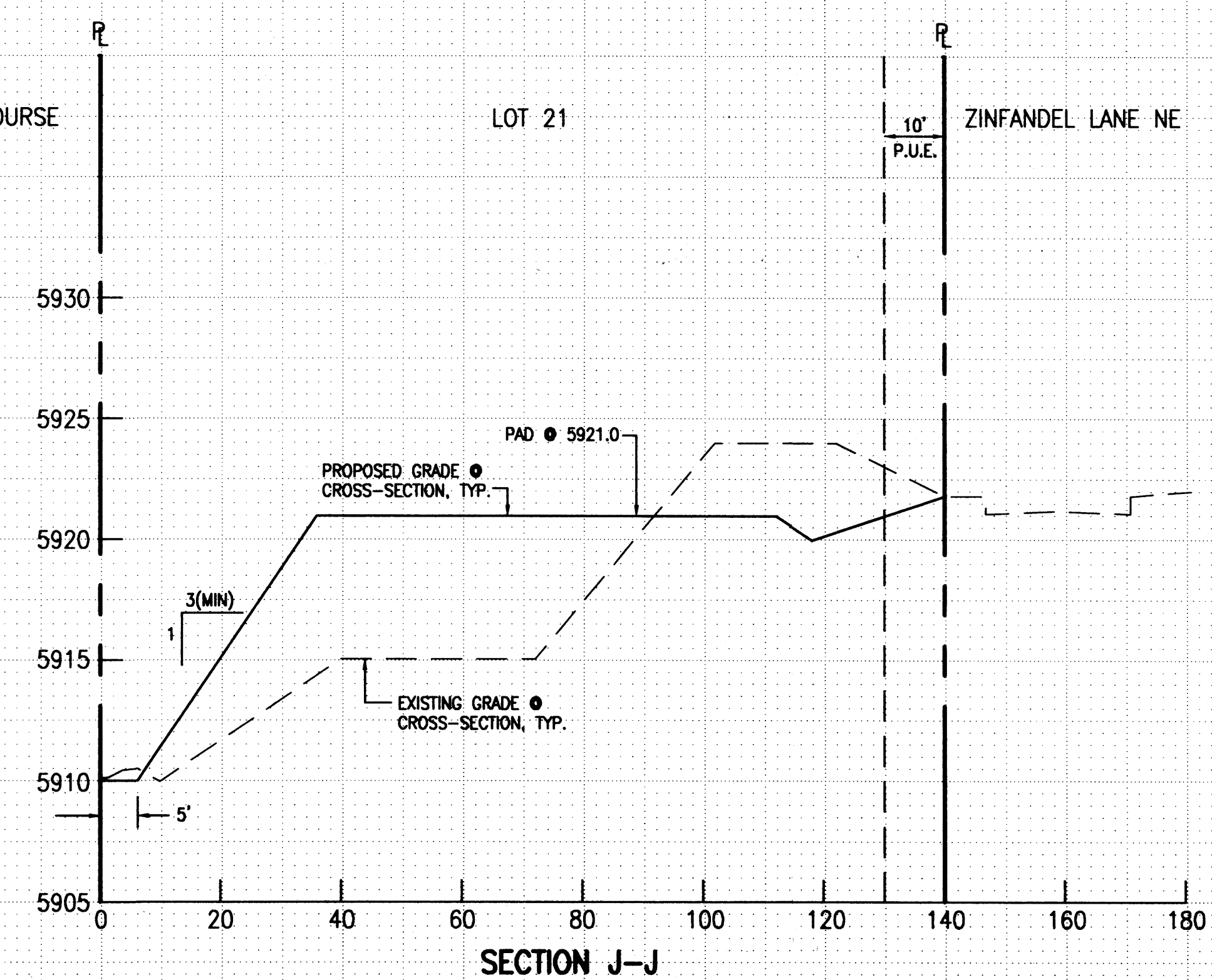
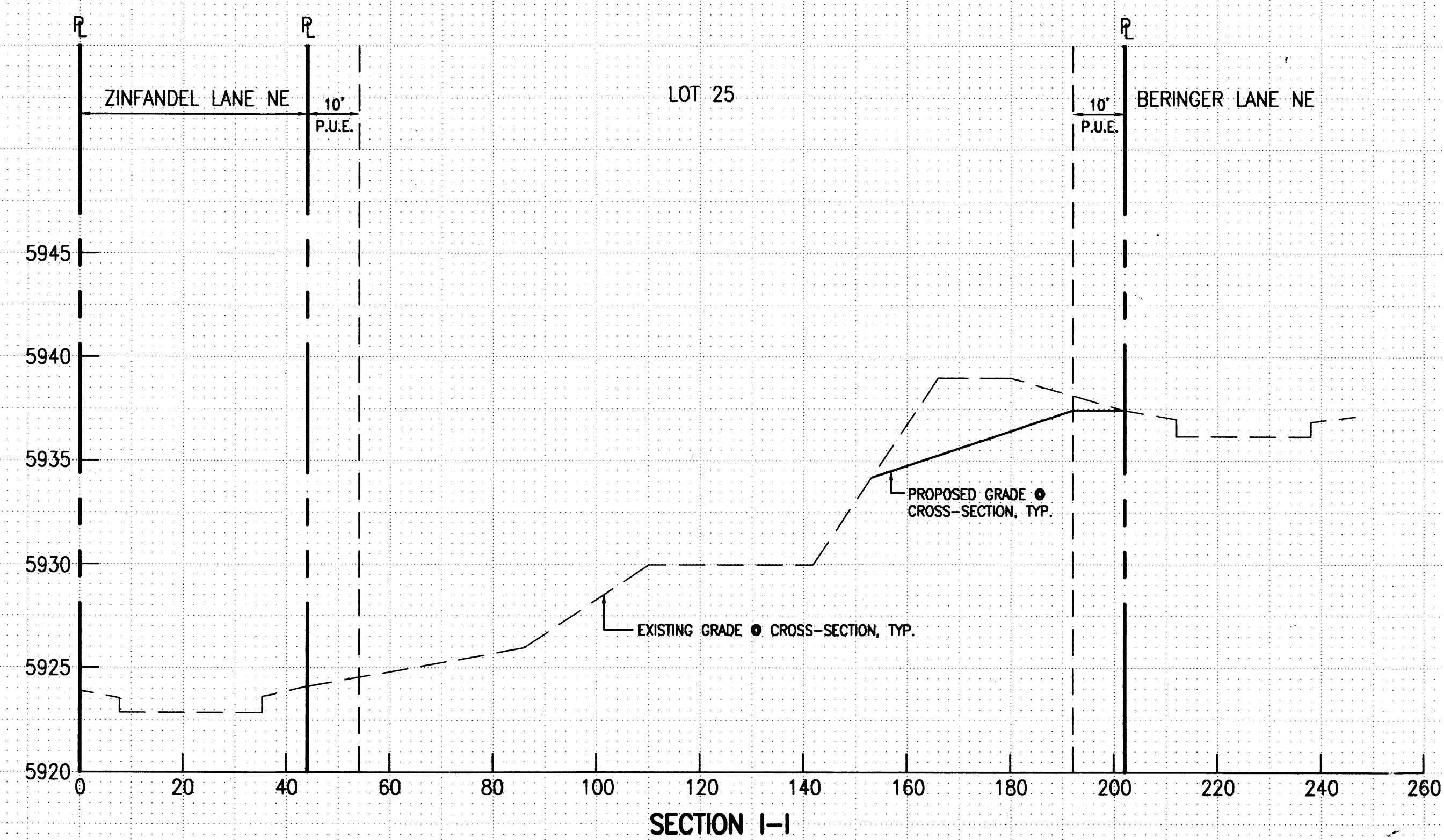


SCALE:
 HORIZONTAL: 1"=20'
 VERTICAL: 1"=5'

05-23-2001

JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NM MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 FAX: 505 345-4254 E-mail: jma@jma.com

HYDROLOGY SECTION



SCALE:
HORIZONTAL: 1"=20'
VERTICAL: 1"=5'

14 MAY 2.5 2001

A 10x10 grid of dots for graphing. The grid is composed of 10 columns and 10 rows of dots. The top-left dot is at the intersection of the first column and the first row. The bottom-right dot is at the intersection of the tenth column and the tenth row.

05-23-2501

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JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 FAX: 505 345-4254 Email: jmainc@swcp.com

GRADING CROSS-SECTIONS
SAUVIGNON SUBDIVISION - PHASE 2

DESIGNED BY G.M.
DRAWN BY S.G.H.
APPROVED BY J.G.M.

[illegible]

JOB NO.	2001.017.2
DATE	05-2001
SHEET	6 OF 6