



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 26, 2003

Chris Weiss, PE
C.L. Weiss Engineering
PO Box 97
Sandia Park, NM 87047

**RE: Mangum Residence
Grading and Drainage Plan (E-22/D7F4)
Engineer's Stamp Dated 11-13-02**

Dear Mr. Weiss:

The above referenced grading and drainage plan received 6-13-03 is approved for Building Permit. Please attach a copy of the approved plan to the construction set. Please submit an as-built plan set to Hydrology upon completion of project.

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: File

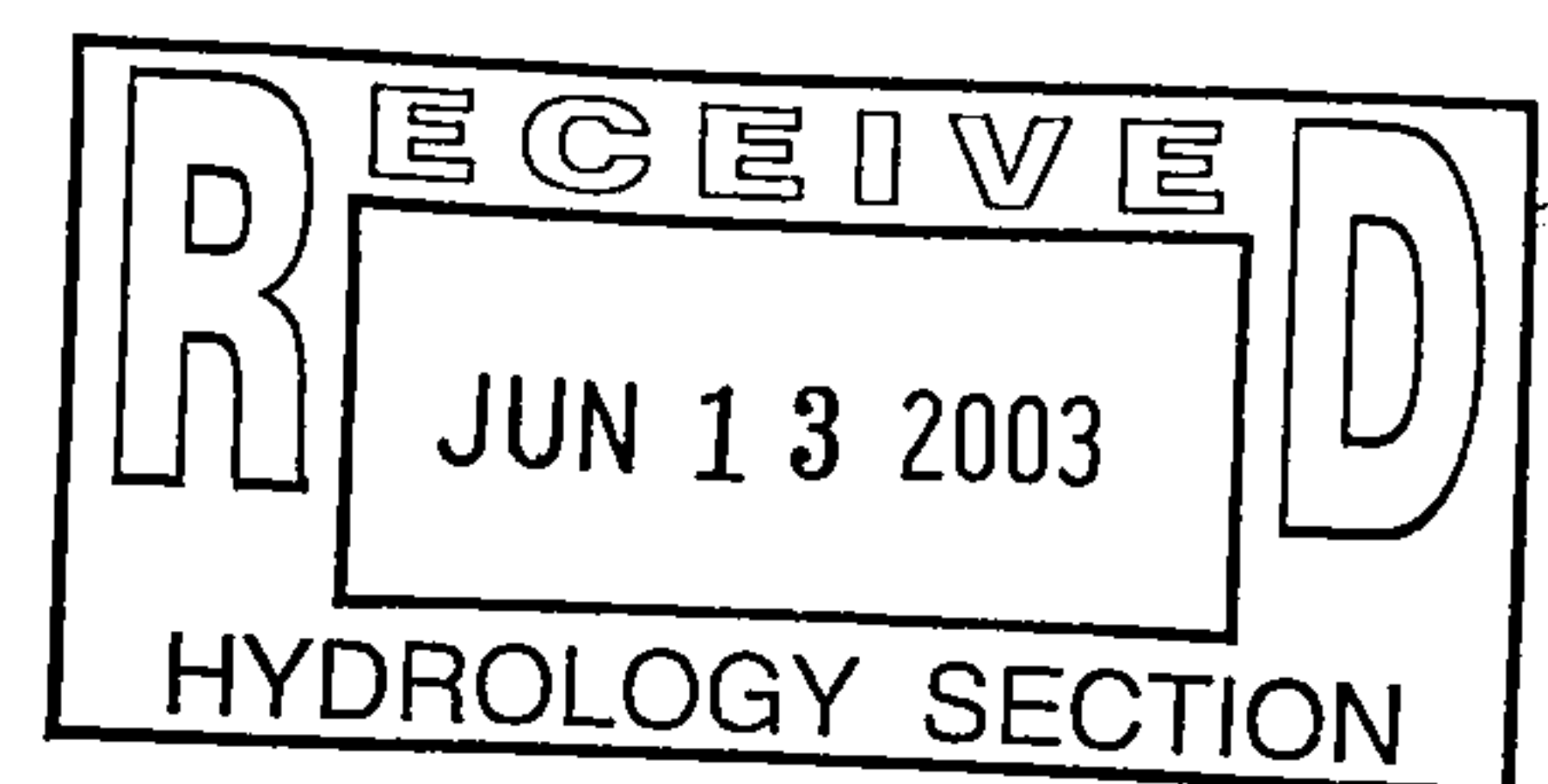
JUNE 12, 2003

SUPPLEMENTAL INFORMATION

FOR

MANGUM RESIDENCE LOT 6 – SAUVIGNON SUBDIVISION

BY



C.L. WEISS ENGINEERING, INC.

Post Office Box 97 * Sandia Park, NM 87047
Phone / Fax (505) 281-1800
1100 Alvarado Dr. NE * Albuquerque, NM 87110
Phone / Fax (505) 266-3444

SCOPE

The proposed improvements include an approx. 3,800 sf. Residential building with associated concrete drive, walks and landscaped areas.

The present site is an undeveloped residential property located in Albuquerque, New Mexico. Zinfandel Ave. NE borders the site to the south, developed residential property borders the site to the west, undeveloped residential property borders the site to the east and Beringer Ave. NE cul-de-sac borders the site to the north.

DRAINAGE PLAN CONCEPT

Flows will drain within proposed cobble swales south to free discharge to Zinfandel Ave. NE.

The property will free discharge flows to the adjacent streets with the majority draining south to Zinfandel Ave. NE. to enter existing storm drain inlets within the cul-de-sac.

The intent of this plan is to show:

- Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- The extent of proposed site improvements, including buildings, walks and pavement.
- The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.
- The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

GENERAL NOTES

LEGAL: Lot #6, Sauvignon Subdivision City Of Albuquerque Bernalillo County, New Mexico

SURVEYOR: Hall Surveying Co. 292-6727

B.M.: Benchmark: AMAFCA BRASS CAP "11-D22" ELEV.= 5878.263 MSLD

OFF-SITE DRAINAGE: No off-site drainage affects this property.

FLOOD HAZARD: Per Bernalillo County FIRM Map #142, the site is not located within a flood zone.

EROSION CONTROL: The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

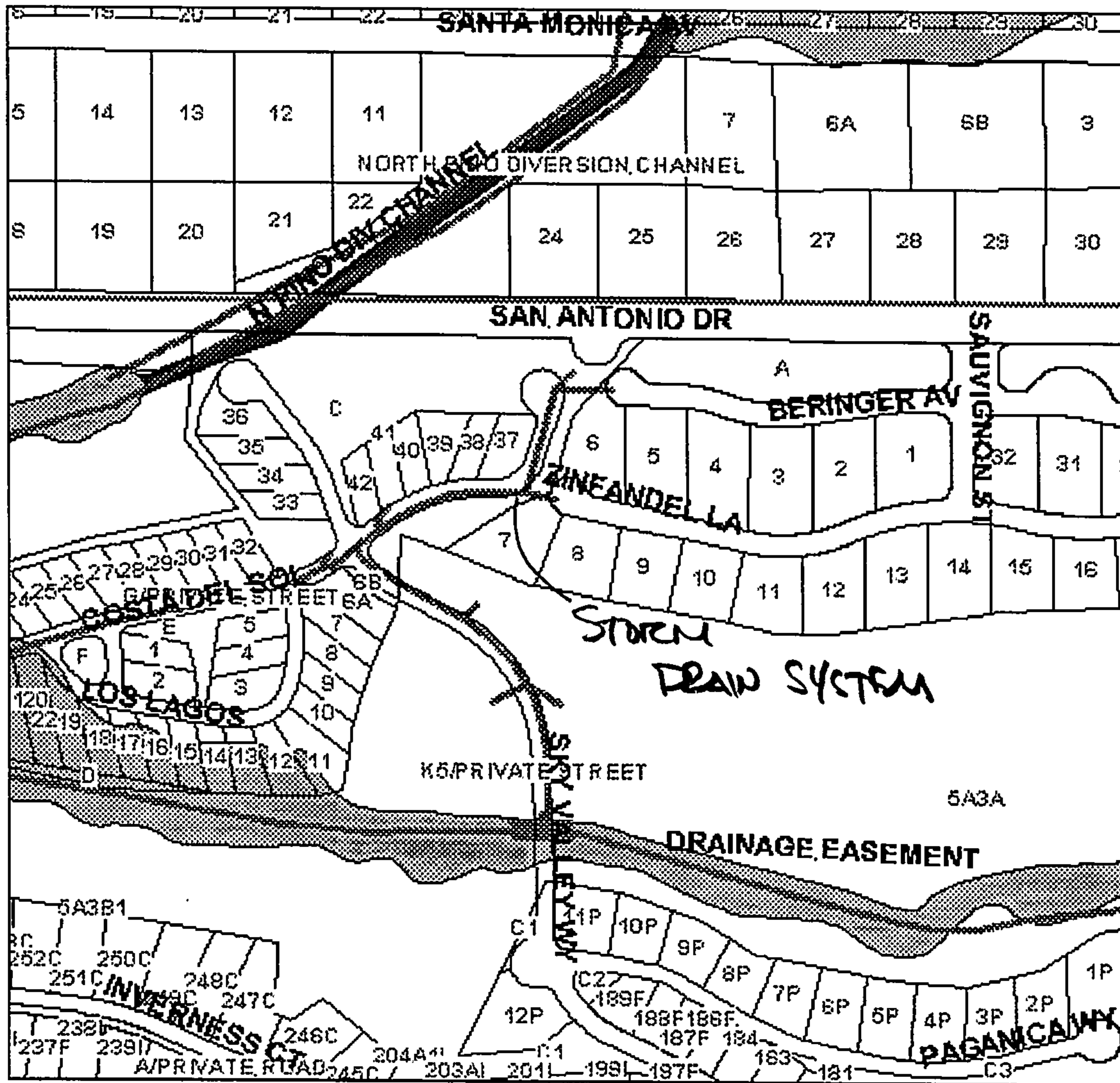
Activate By 'Clicking' on the Map

☒ Zoom In
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 ☐ Id ZM
 ☐ Pan
 ☐ Zoom Out

CITY



LAY



Flood Zones

☒ Zone A
 ☒ Zone AO
 ☒ Zone AH
 ☒ Zone AE

1999 AIR PHOTO (Metro Area Coverage)

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CORONADO
FIRM #142

