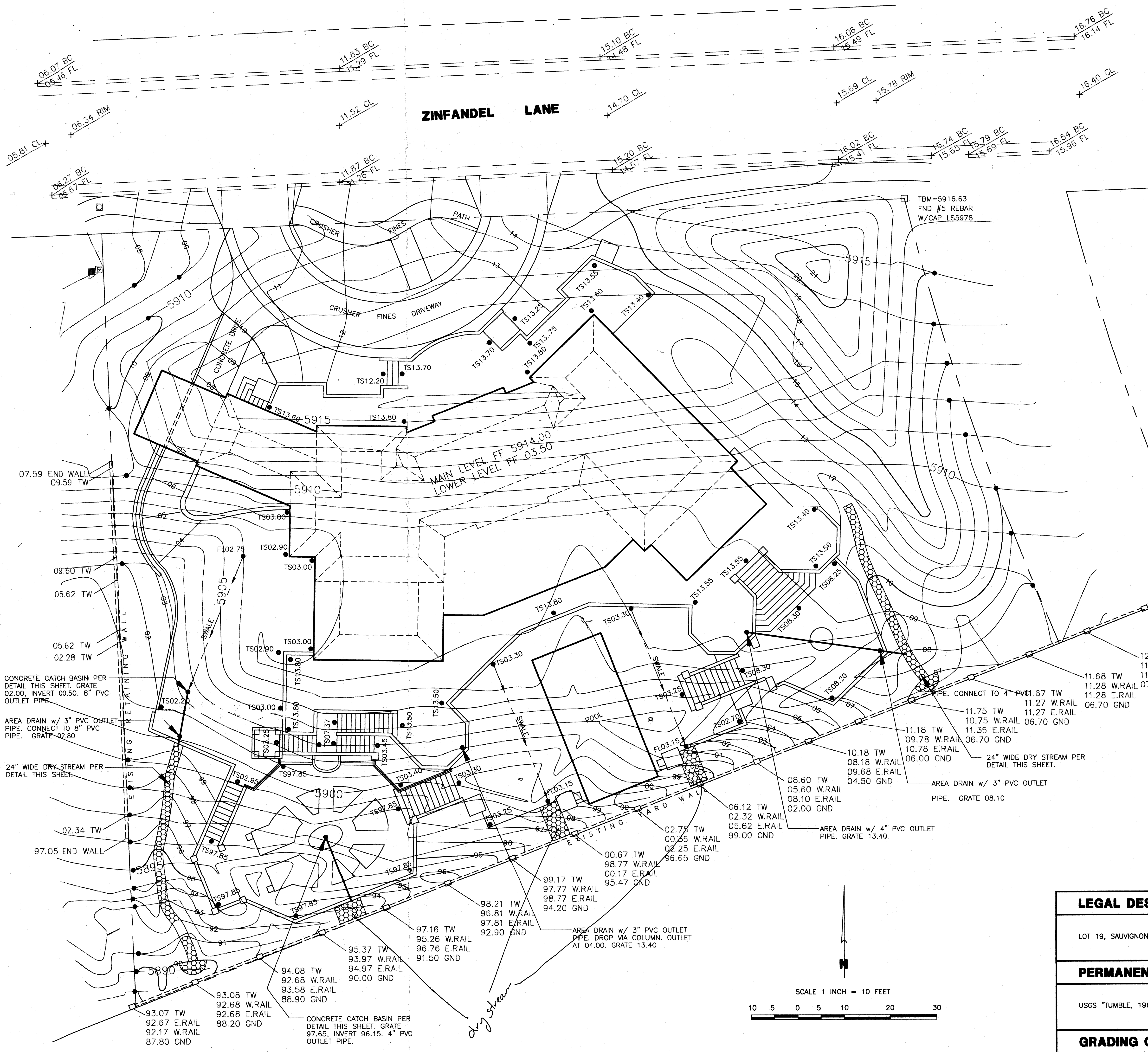
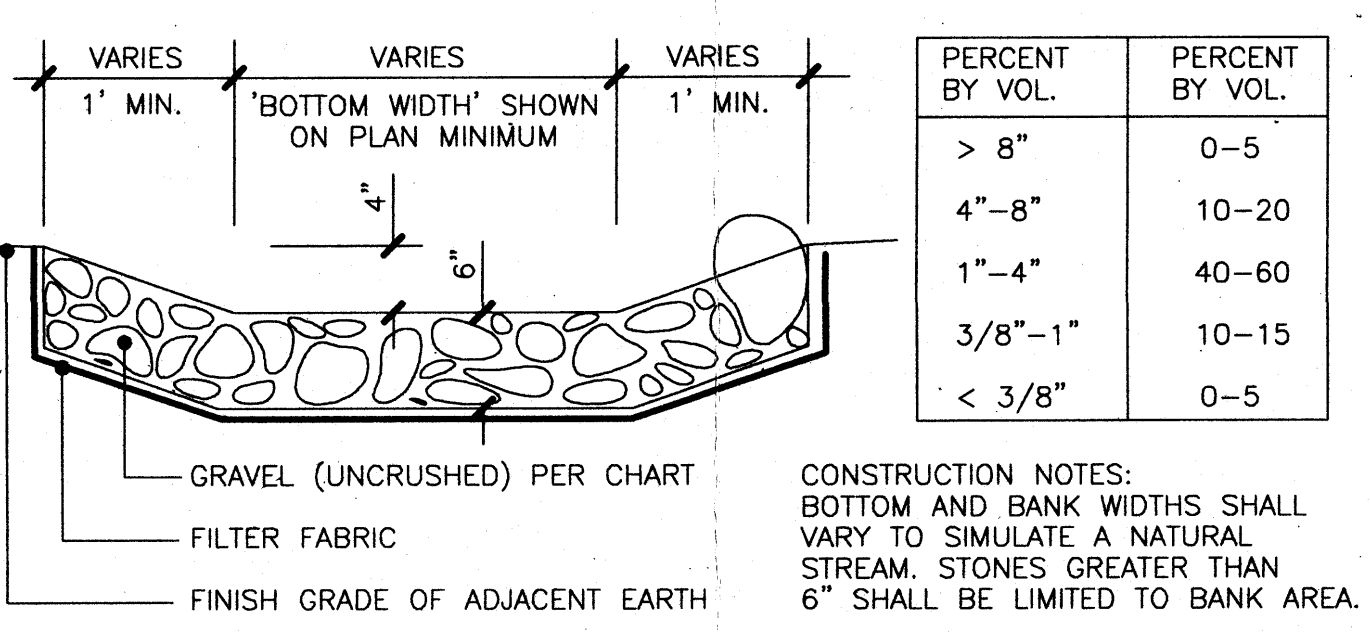
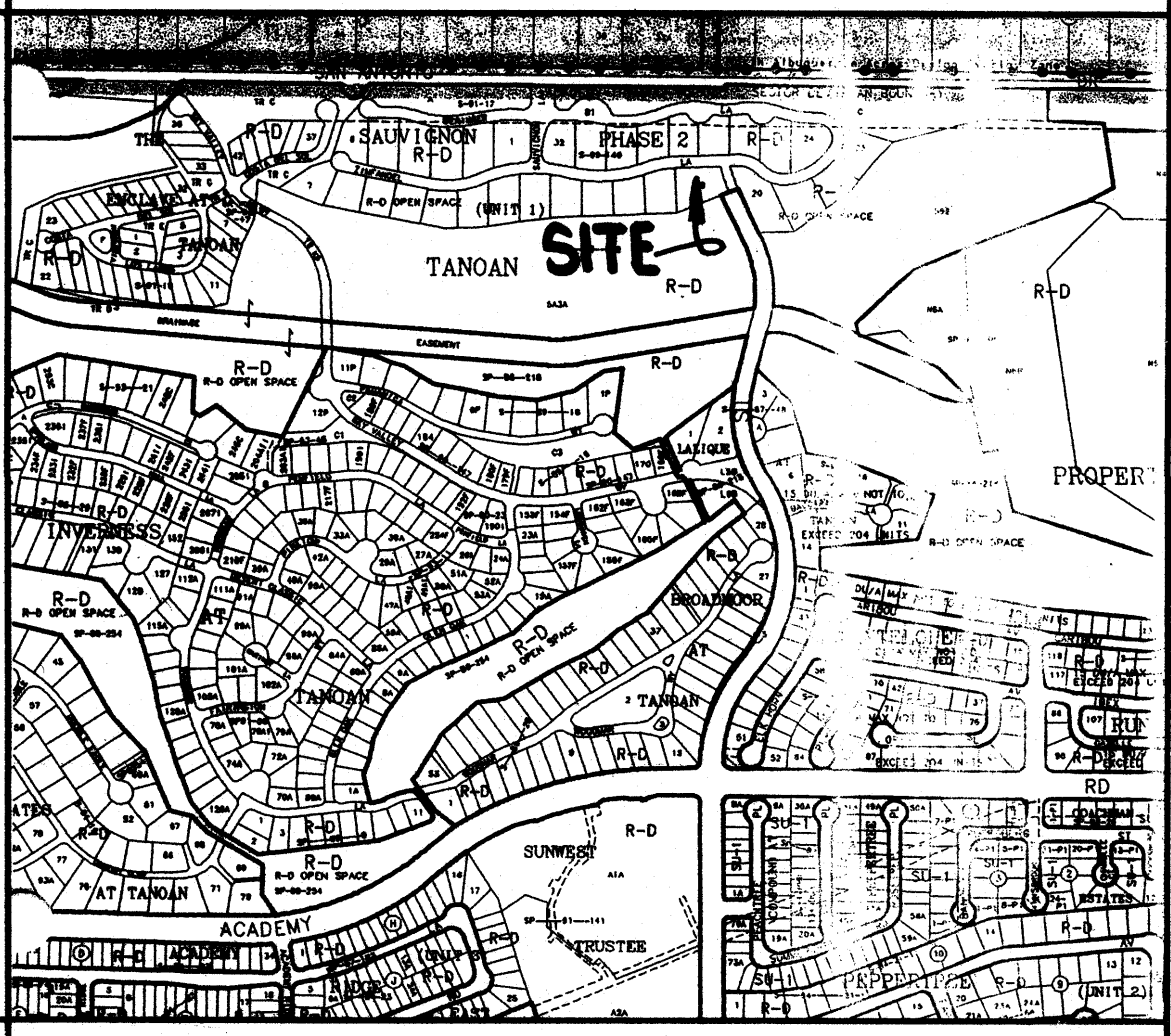




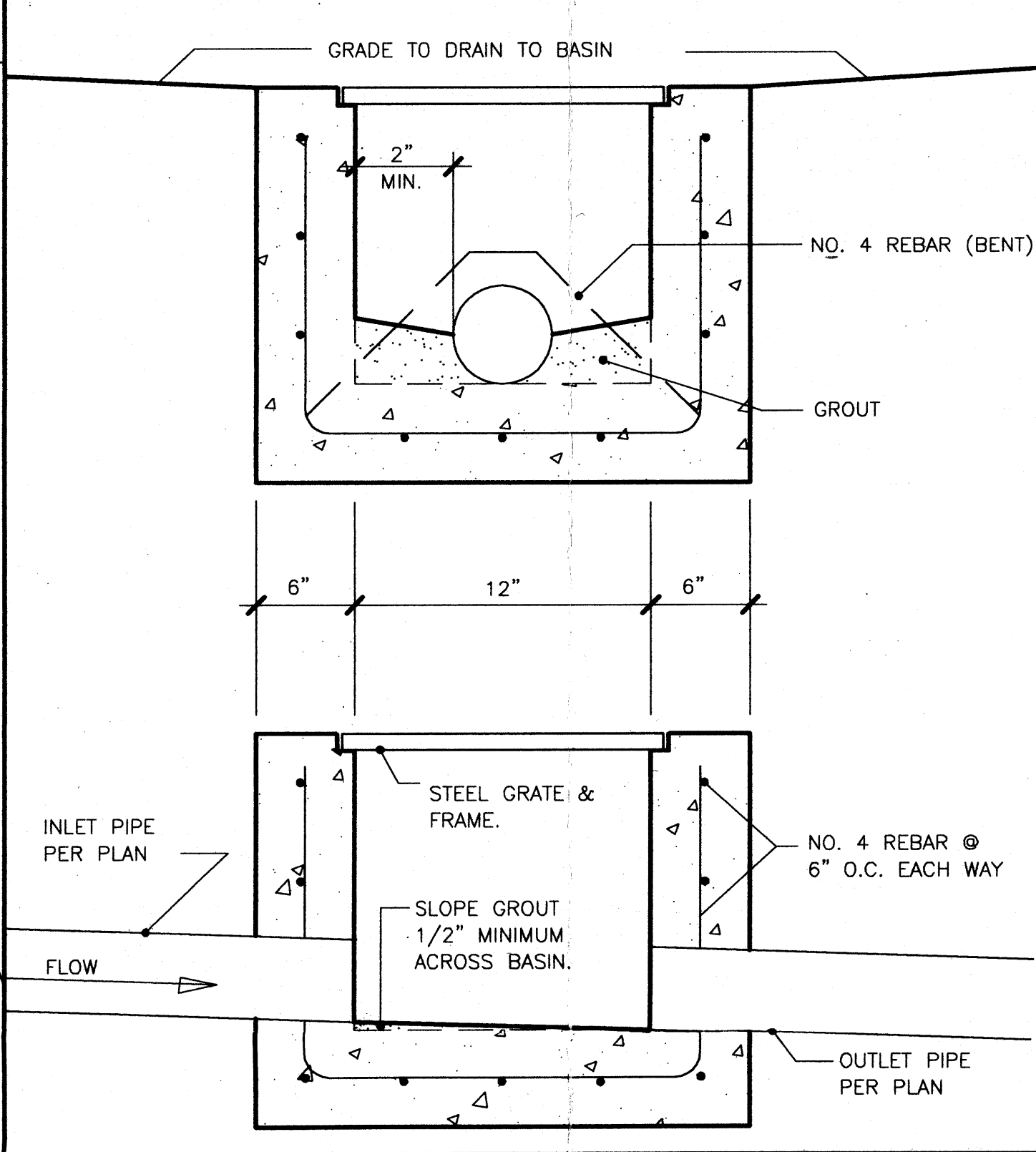
DRY STREAM BED



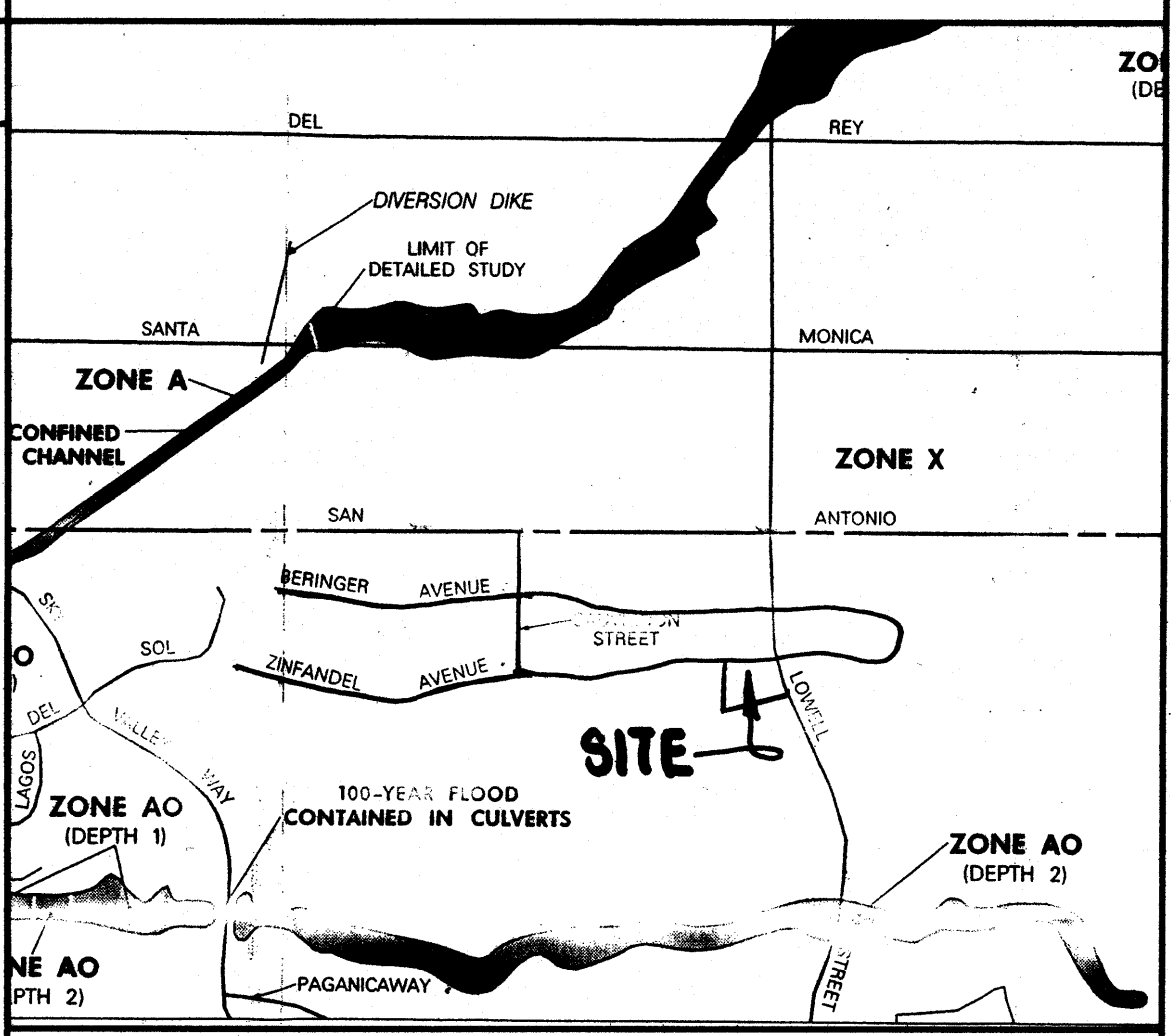
VICINITY MAP NO. E-22



CONCRETE CATCH BASIN



FEMA FIRM PANEL NO. 142



GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND BY SOIL TO PREVENT IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE A 'TOPSOIL DISTURBANCE PERMIT' PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
TP	TOP OF CURB
TS	TOP OF EARTH PAD
TW	TOP OF SIDEWALK
FH	TOP OF WALL
WM	FIRE HYDRANT
WV	WATER METER
MH	WATER VALVE
CB	MANHOLE
GM	CATCH BASIN GRATE
GV	GAS METER
LP	GAS VALVE
PP	LIGHT POLE
GW	POWER POLE
PED	GUY WIRE
RD	ELEC. OR TEL. PEDESTAL
	ROOF DRAINAGE POINT

LEGAL DESCRIPTION

LOT 19, SAUVIGNON SUBDIVISION

PERMANENT BENCHMARK

USGS "TUMBLE, 1969" ELEVATION 6009.155

GRADING CERTIFICATION

I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.

Jean J. Bordenave, NM PE & PS No. 5110

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
EXISTING	10	(table 4)		(table 5)		(table 6)	
		sq. ft.		cu. ft.		cfs	
		A	0	0.28	0.87	0	0.00
		B	25522	0.46	1.45	979	0.00
		C	0	0.73	2.28	0	0.00
		D	0	1.09	3.57	0	0.00
	TOTAL	25522			979	0.00	
	100	A	0		2.20	0	0.00
		B	25522	1.08	2.92	2300	1.71
		C	0	1.46	3.73	0	0.00
		D	0	2.94	5.25	0	0.00
		TOTAL	25522			2300	1.71
DEVELOPED		2	A	0	0.02	0.05	0
	B		2520	0.11	0.38	23	0.22
	C		9015	0.27	1.00	203	0.21
	D		13060	1.01	2.17	1137	0.87
	TOTAL		25040			1363	0.80
	10		A	0	0.28	0.87	0
		B	2520	0.46	1.45	97	0.08
		C	9015	0.73	2.28	548	0.47
		D	13060	1.09	3.57	1902	1.41
		TOTAL	25040			2547	1.68
		100	A	0	0.80	2.20	0
	B		2520	1.08	2.92	227	0.17
C	9015		1.46	3.73	1097	0.77	
D	13060		2.94	5.25	2971	1.65	
TOTAL	25040				4296	2.57	

*ROR AREA OF 512 SF DEDUCTED FROM TOTAL RUNOFF AREA

REVISIONS

project title
**VAUGHAN RESIDENCE
ZINFANDEL LANE NE
ALBUQUERQUE, NM**

sheet title
GRADING & DRAINAGE PLAN

sheet date
09/26/03

design by
JJB

project no.
0322

sheet
of

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