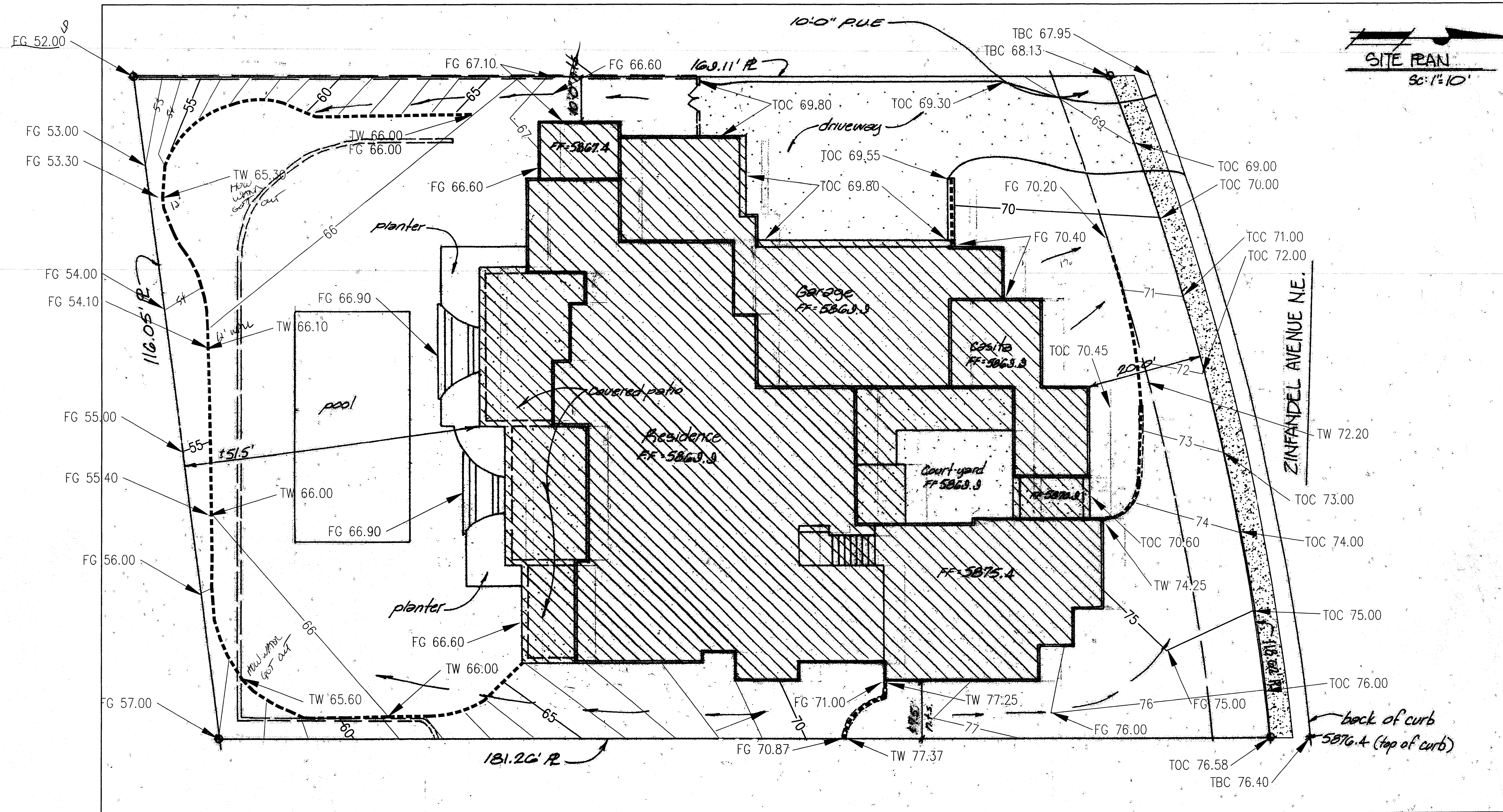


1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN EXACT LOCATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR HAS NO LIABILITY IN PLANNING AND LOCIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITIES OR LINES PRIOR TO EXCAVATING OR INSPECTION, OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION BERMES AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY CITY OF RIO RANCHO OR SANDOVAL COUNTY FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.
6. DISTURBED GROUND NOT INCLUDED IN THE PROPOSED DRIVEWAY OR SHOWN AS LANDSCAPING SHALL BE RESEEDING IN ACCORDANCE WITH THE CITY OF SANDOVAL STANDARDS. THE RESEEDING SHALL BE DONE TO "LOOSENING" OF THE SEEDBED AND RESEEDING SHALL BE COMPLETED AS SOON AS PRACTICAL FOLLOWING GRADING OPERATIONS.
7. ALL SLOPES ARE A MAXIMUM OF 3:1 EXCEPT THE LOCATION SHOWN ON THE GRADING AND DRAINAGE PLAN THAT REQUIRES SLOPE STABILIZATION.

	EXISTING (INDEX) CONTOUR
	EXISTING (INTERMEDIATE) CONTOUR
	FINISHED (INDEX) CONTOUR
	FINISHED (INTERMEDIATE) CONTOUR
	FLOW DIRECTION ARROW
FG	FINISHED GRADE
TOC	TOP OF CONCRETE
FF	FINISHED FLOOR
TBC	TOP BACK OF CURB
TW	TOP OF WALL
	RETAINING WALL



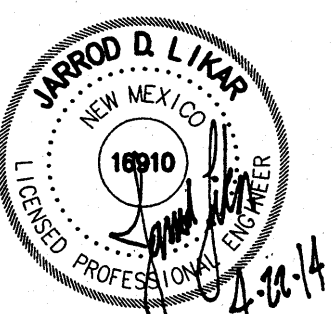
NO.		DESCRIPTION	DATE	BY
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HUNTER
MANAGEMENT, LLC.

PAUL HEDGES

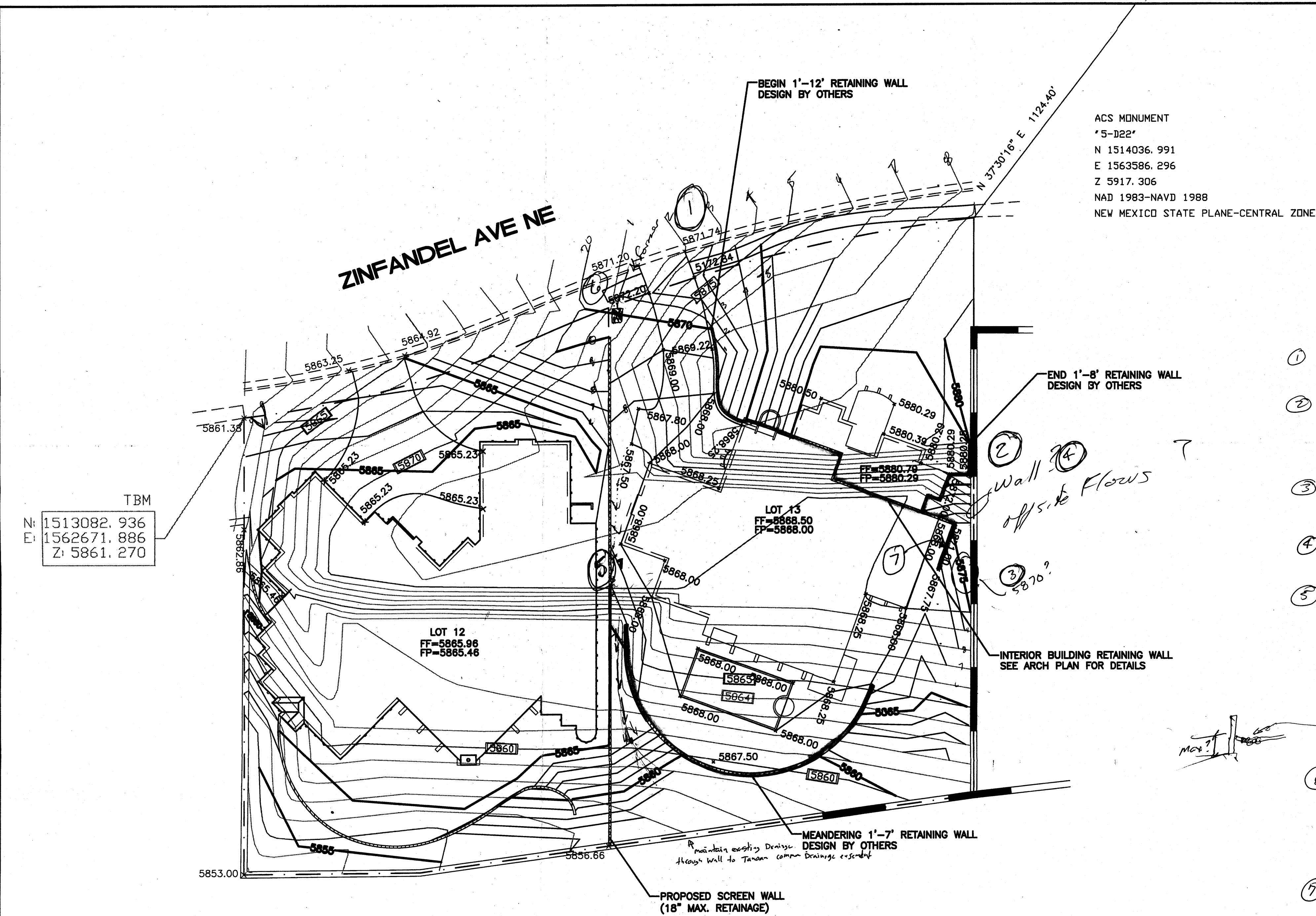
GRADING & DRAINAGE PLAN

SAUVIGNON SUBDIVISION
UNIT 1, LOT 13



PROJECT NO. —
DESIGNED BY: —
DRAWN BY: —
CHECKED BY: —
DATE: APRIL 22, 2014
PW CHK: —
SHEET:

GD 1



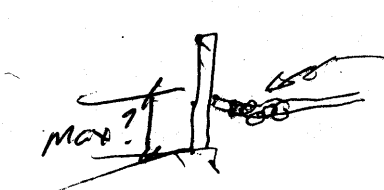
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NEW MEXICO STATE PLANE-CENTRAL ZONE

EROSION CONTROL NOTES:

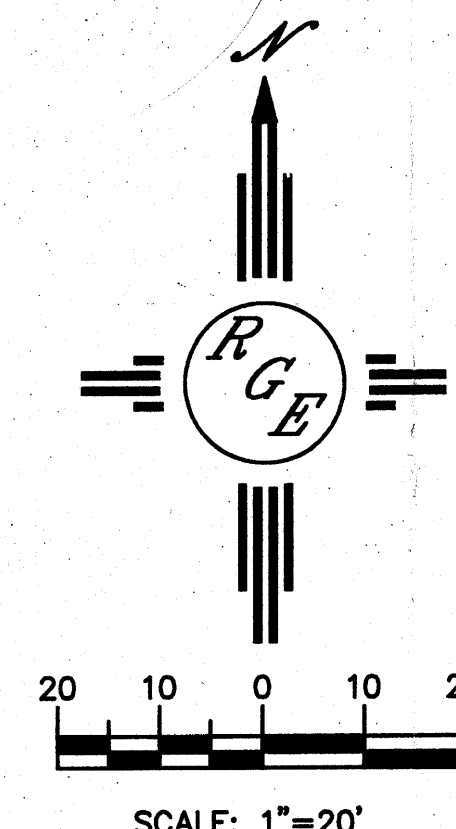
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

- ① Grades within Zinfandel R/W must slope toward the street. missing 5871 contour @ Driveway to street
- ② Clarify Grades and existing wall type at east ft. show that proposed grades will not be too Low (or high) for existing structures
- ③ 5875 Contour at center of east lot appears to be 5870 mislabeled.
- ④ what is the heavy dashed line on the East & South R?
- ⑤ Cobble swale sketched along west R appears to channelize flows (Front yard & driveway runoff) into a narrow path against the "Screen Wall" which also appears to have 2' of fill at narrowest point.
a) check grades for wall design
b) provide detail to keep inlet of swale away from the wall
- ⑥ Grading @ NW corner of Lot 13 different from that shown on Lot 12 appeared recently. It also proposes 1'-2' cut at a location currently occupied by a Power Transformer (Not shown)
- ⑦ Drainage toward Back of Retaining wall on East side. Is wall design adequate?

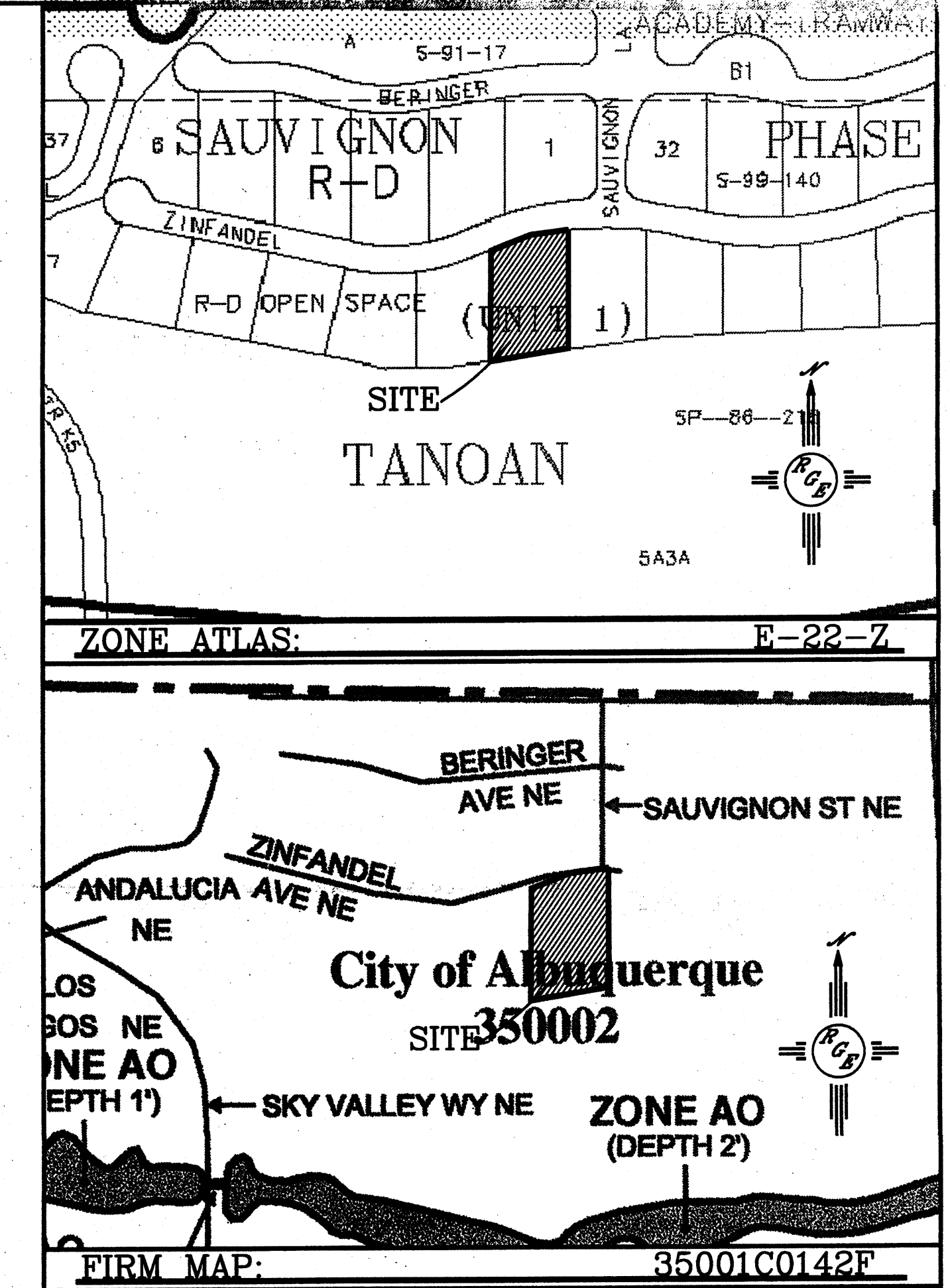


1000001

Swale Detail



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



LEGAL DESCRIPTION:

LOT NUMBERED 13 OF THE SAUVIGNON SUBDIVISION UNIT 1

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- 5414 — EXISTING CONTOUR
- 5415 — EXISTING INDEX CONTOUR
- 5414 — PROPOSED CONTOUR
- 5415 — PROPOSED INDEX CONTOUR
- SLOPE TIE
- x 4048.25 EXISTING SPOT ELEVATION
- x 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- LOT LINE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
- EXISTING EDGE OF ROAD
- EXISTING BUILDING
- FLOODPLAIN
- EXISTING AMAFCA EASEMENT
- 1' Cobble Swale - see separate info landscape plan

	ENGINEER'S SEAL	LOT 13 THE SAUVIGNON SUBDIVISION	DRAWN BY WCUJ
		GRADING AND DRAINAGE PLAN	DATE 5-24-12
			21219-LAYOUT-5-24-12
			SHEET #
			JOB # 21219