

CITY OF ALBUQUERQUE



January 13, 2012

Yolanda Padilla Moyer, P.E.
Bohannon Houston Inc.
7500 Jefferson NE CY 1
Albuquerque, NM 87107

Re: Tuscan Village, Grading Plan
Engineer's Stamp dated 1-11-12 (E22/D007G)

Dear Ms. Moyer,

Based upon the information provided in your submittal received 1-11-12 at the DRB meeting, the above referenced plan was provisionally approved at DRB subject to a safe wall (between pads) solution verified by Zoning. Therefore, the plan is approved for Grading Permit.

Engineer's Certification of this Grading Plan is required for release of Financial Guaranty and Building Permit approval.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

NM 87103

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

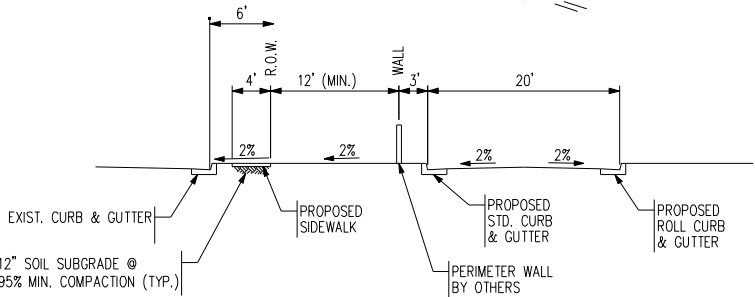
C: e-mail

\$DGN_NAME\$
\$BRAND\$

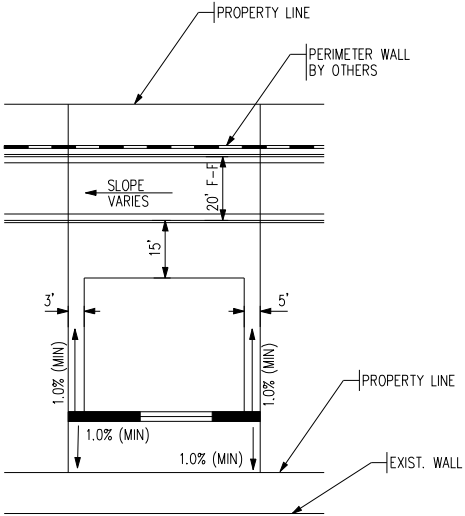
LEGEND	
PROPOSED SPOT	● 5235.25
EXISTING SPOT	○ 5235.25
LIMITS OF GRADING	---
EXISTING CONTOUR	— 5910 —
PROPOSED CONTOUR	— 5910 —
FLOW DIRECTION ARROW	◀
TRACT BOUNDARY	—
HIGH POINT	~~~~~
LOW POINT	▶~~~~▶
RETAINING WALL	▬
GARDEN WALL	▬
WALL IN STEMWALL OF HOUSE	▬
EXISTING WALL	▬

GENERAL NOTES

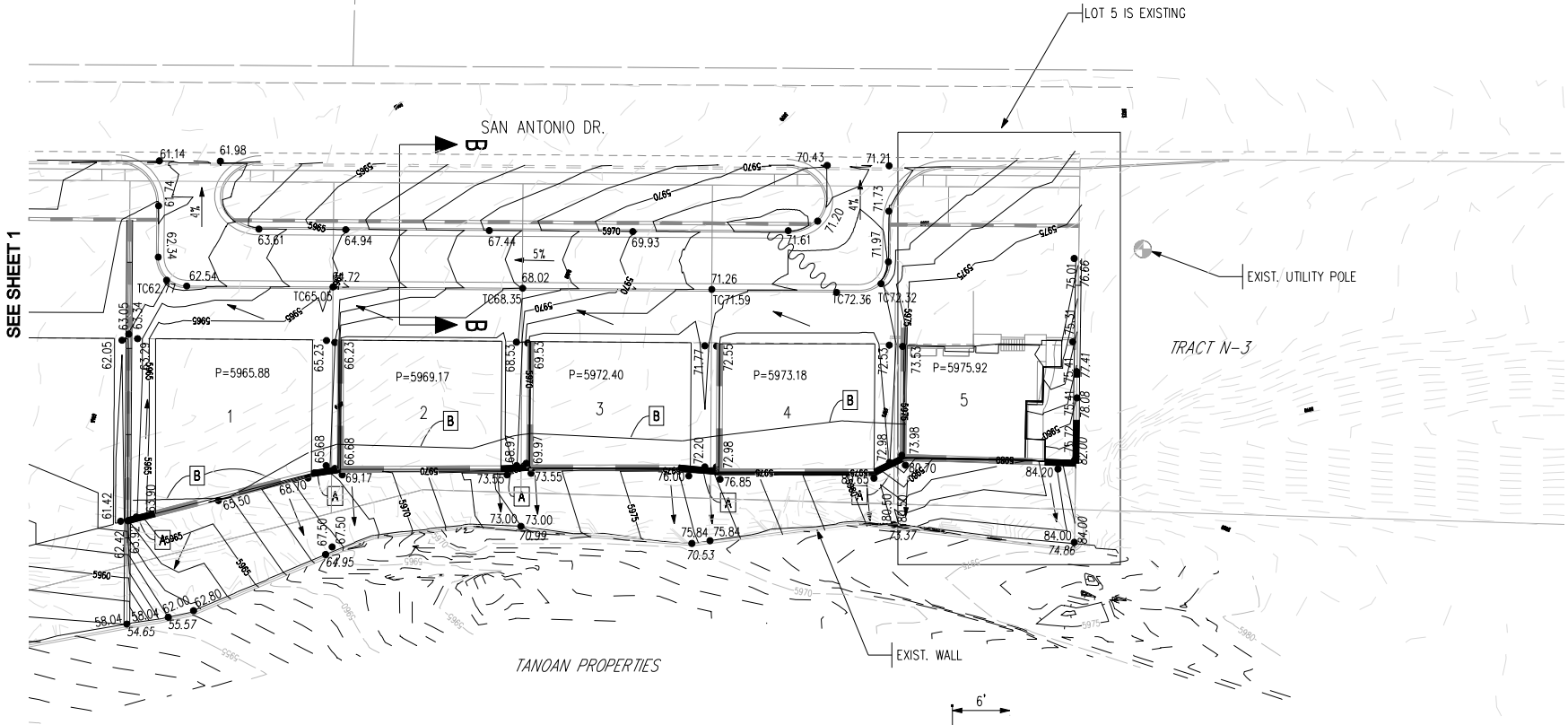
1. A GRADING/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORTS
3. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS, AND APPROVALS.
5. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
7. ALL TIEBACKS ARE 4:1 UNLESS OTHERWISE NOTED
8. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.



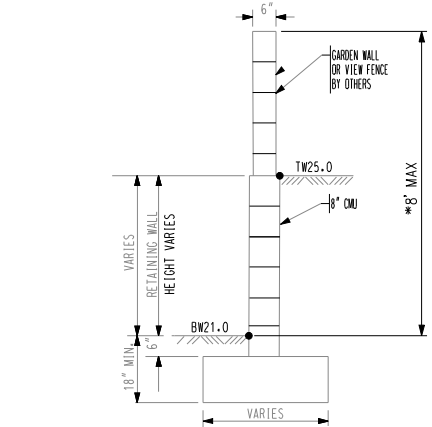
TYPICAL STREET SECTION B-B
NOT TO SCALE



TYPICAL LOT GRADING PLAN
NOT TO SCALE

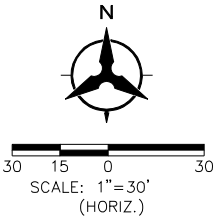


- A RETAINING WALL BY HOMEBUILDER
B TEMPORARY (MAY BE BACK UNTIL RETAINING WALL IS BUILT BY HOMEBUILDER)



TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

*WALL HEIGHTS SHALL BE IN ACCORDANCE WITH ALBUQUERQUE CODE OF ORDINANCE SECTION 14-16-3-19. GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS.



Bohannon & Huston
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
SAUVIGNON PHASE III / TUSCANY VILLAGE
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET OF		
	E-22-Z	2 OF 2		

AS-BUILT INFORMATION	
CONTRACTOR	DATE
STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
US&GS BRASS DISC STAMPED "JUMBLE 1969"	DATE
GEOGRAPHIC POSITION (NAD 83)	DATE
N.M. STATE PLANE COORDINATES	DATE
(CENTRAL ZONE)	DATE
N=1513532.539 E=1565711.295	DATE
GROUND TO GRID = 0.999622682	DATE
DELTA ALPHA = -0008'38.16"	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	DATE

ENGINEER'S SEAL	
YOLANDA PADILLA MOYER	DATE
NEW MEXICO	DATE
16035	DATE
REGISTERED PROFESSIONAL ENGINEER	DATE

REMARKS	
REVISIONS	BY
DESIGN	DATE
YPM / BCP	DATE
ARR	DATE
YPM	DATE