

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

November 21, 2019

Levi Valdez, PE  
12800 San Juan NE  
Albuquerque, NM 87123

RE: **Pitcher Residence**  
**12000 San Antonio NE**  
**Grading Plan Stamp Date: 11/14/19**  
**Hydrology File: E22D007H1**

Dear Mr. Valdez:

Based on the submittal received on 11/18/19, the grading plan cannot be approved until the following corrections are made:

PO Box 1293

Prior to Grading Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Show all easements of record and any utilities.
2. Do not cut the grade or place and buildings in the PUE.
3. Provide written and signed permission from PNM for grading, paving and building construction in their easement.
4. Provide written and signed permission from the property owner to the south to discharge to their property. Per the approved conceptual grading and drainage plan for this site, no discharge to the south was permitted.
5. Along the south property line, why are the spot elevations on the golf course property shown as several feet higher than the contours? If these are proposed elevations, provide written and signed permission from the adjoining property owner for grading their property. If this is new

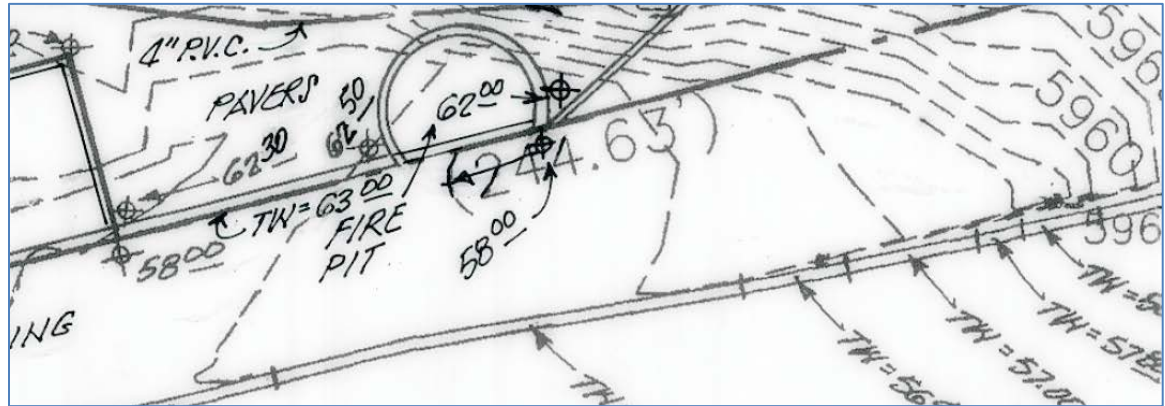
## CITY OF ALBUQUERQUE

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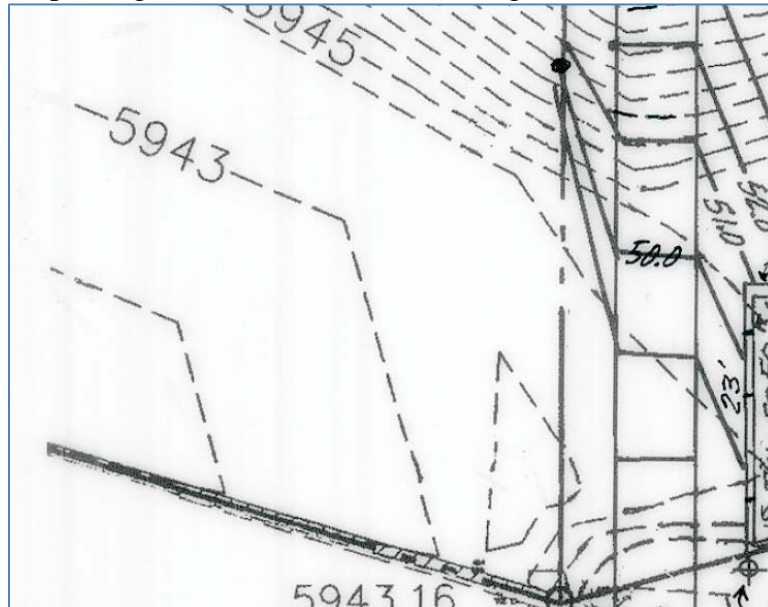
survey, then the contours should match:



6. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.

PO Box 1293

7. Proposed grades do not tie-in to existing at the SW corner:



8. Include project datum; all elevation need to be provided in NAVD88.

Prior to Building Permit (For Information):

9. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required (Pad Certification).

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10. City acceptance and close-out of the public Work Order (if any) will be required, unless a financial guarantee has been posted.

Prior to Certificate of Occupancy (For Information):

11. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades along the property lines were not disturbed during home construction.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** PITCHER FAMILY RESIDENCE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TRACT 'C-2-A-1-C', SALVIGNON SUBDIVISION  
**City Address:** 12000 SAN ANTONIO DRIVE N.E., ALBUQUERQUE, NEW MEXICO  
**Applicant:** LEVI J. VALDEZ / GEORGE T. RODRIGUEZ-CONSULT. **Contact:** LEVI VALDEZ / GEORGE RODRIGUEZ  
**Address:** 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123  
**Phone#:** 505-610-0593 **Fax#:** \_\_\_\_\_ **E-mail:** pawrod@hotmail.com  
**Owner:** JOHN PITCHER **Contact:** JOHN PITCHER  
**Address:** 12000 SAN ANTONIO DR., N.E., ALBUQUERQUE, NEW MEXICO  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 11-15-19 **By:** GEORGE T. RODRIGUEZ / LEVI J. VALDEZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



DRAINAGE NARRATIVE :

THIS SITE IS LOCATED ON THE SOUTH SIDE OF SAN ANTONIO DRIVE N.E. BETWEEN LOWELL DRIVE N.E. AND TENNYSON STREET N.E., IN THE CITY OF ALBUQUERQUE, NEW MEXICO, AND CONTAINS 0.90 ACRES (MORE OR LESS); THE SITE IS LOCATED ON F.E.M.A. FIRM MAP NO. 35001C0142 H, EFFECTIVE DATE AUGUST 16, 2012, THAT SHOWS THE SITE TO BE LOCATED IN ZONE 'X' (NO FLOOD HAZARD) AND THAT NO PORTION OF THE SITE IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN.

THIS SUBJECT SITE, 1.) IS A VACANT RESIDENTIAL PROPERTY THAT IS TO HAVE A SINGLE FAMILY RESIDENCE CONSTRUCTED THEREON (TOGETHER WITH ASSOCIATED IMPROVEMENTS , 2.) DOES CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES TO THE WEST (THE PROPOSED DEVELOPED FLOWS WILL BE DIRECTED TO WATER HARVESTING PONDS LOCATED ONSITE), 3.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE.

DRAINAGE CALCULATIONS :

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 0.90 ACRE

PRECIPITATION ZONE: FOUR (4) TABLE A-1

"LAND TREATMENT METHOD" FOR CALCULATIONS OF "Qp", TABLES A-8 & A-9  
"LAND TREATMENT FACTORS", TABLE A-4.

PRECIPITATION : 360 = 2.90 IN.  
1440 = 3.65 IN.  
10DAY = 5.95 IN.

	EXCESS PRECIPITATION	PEAK DISCHARGE
TREATMENT A	0.80 IN.	2.20 CFS/AC.
TREATMENT B	1.08 IN.	2.92 CFS/AC.
TREATMENT C	1.46 IN.	3.73 CFS/AC.
TREATMENT D	2.64 IN.	5.25 CFS/AC.

EXISTING CONDITIONS: ( ORIGINAL )

	AREA	NEW EXISTING CONDITIONS:	AREA
TREATMENT A	0.90 AC.		0.00 AC.
TREATMENT B	0.00 AC.		0.00 AC.
TREATMENT C	0.00 AC.		0.37 AC.
TREATMENT D	0.00 AC.		0.53AC.

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.80)(0.90)+(1.08)(0.00)+(1.46)(0.00)+(2.64)(0.00) / 0.90 = 0.80 IN.

V100-360 = (0.80)(0.90) / 12 = 0.06000 AC.-FT. = 2,613.6 CF

EXISTING PEAK DISCHARGE:

Q100 = (2.20)(0.90)+(2.92)(0.00)+(3.73)(0.00)+(5.25)(0.00) = 1.98 CFS

PROPOSED EXCESS PRECIPITATION:

WEIGHTED E = (0.80)(0.00)+(1.08)(0.00)+(1.46)(0.37)+(2.64)(0.53) / 0.90 = 2.16 IN.

V100-360 = (2.16)(0.90) / 12 = 0.16200 AC.-FT. = 7,056.7 CF

PROPOSED PEAK DISCHARGE:

Q100 = (2.20)(0.00)+(2.92)(0.00)+(3.73)(0.37)+(5.25)(0.53) = 4.16 CFS

Q100 = 2.18 CFS (INCREASE)

V100-360 = 4,443.1 CF (INC)

WASTE WATER HARVESTING POND VOLUME REQUIRED:

PROPOSED 'D' = 23,087.0 SQ. FT.; 0.34" (0.03") x 23,087.0 SQ. FT. = 692.6 CU. FT.

692.6 CU. FT. REQUIRED POND VOLUME

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

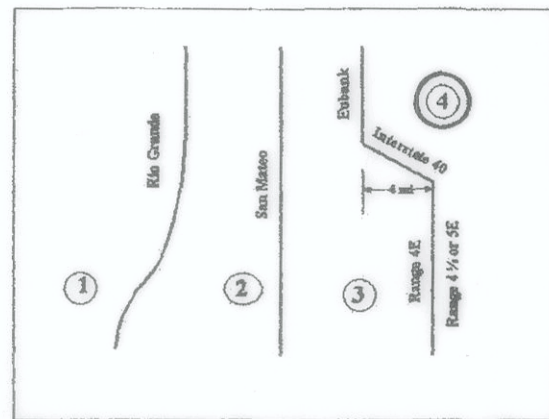
A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40 and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity (IN/HR at t <sub>e</sub> =0.2 hour)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)

Zone	TABLE A-9. PEAK DISCHARGE (cfs/acre)			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.33, 0.76)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.09)	5.02 (2.04, 3.39)
4	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.78 (1.00, 2.26)	5.25 (2.17, 3.57)



BASIN 'A' (NORTHERLY PORTION):  
PROPOSED "D" = 14,100.0 SQ. FT.  
0.34"(0.03")X14,100.0 = 423.0 CU. FT. (REQ. VOL.)

BASIN 'B' (SOUTHERLY PORTION):  
PROPOSED "D" = 8,987.0 SQ. FT.  
0.34"(0.03")X8,987.0 = 269.6 CU. FT. (REQ. VOL.)

BASIN 'A' (POND VOLUME PROVIDED):  
3:1 SIDE SLOPES, MEAN DIMENSIONS  
25'X25'X2.0' DEPTH = 968.0 CU. FT.

BASIN 'B' (POND VOLUME PROVIDED):  
WALLED POND WITH 1" WEEP HOLES AT  
5.0' O.C. ON WEST POND WALL.  
15' X 20' = 300.0 SQ. FT. X 1.5' DEPTH = 450.0 CU. FT.

NOTE: PROPOSED 12" SQUARE (VARIABLE DEPTH) CATCH BASINS WITH GRATES ARE REFERRED TO "NDS" DRAINAGE PRODUCTS CATALOG ITEMS PROVIDED BY SOUTHWEST PIPING SUPPLIES, INC., 7928 EDITH N.E., ALBUQUERQUE, NEW MEXICO, (505-898-7473 ).

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

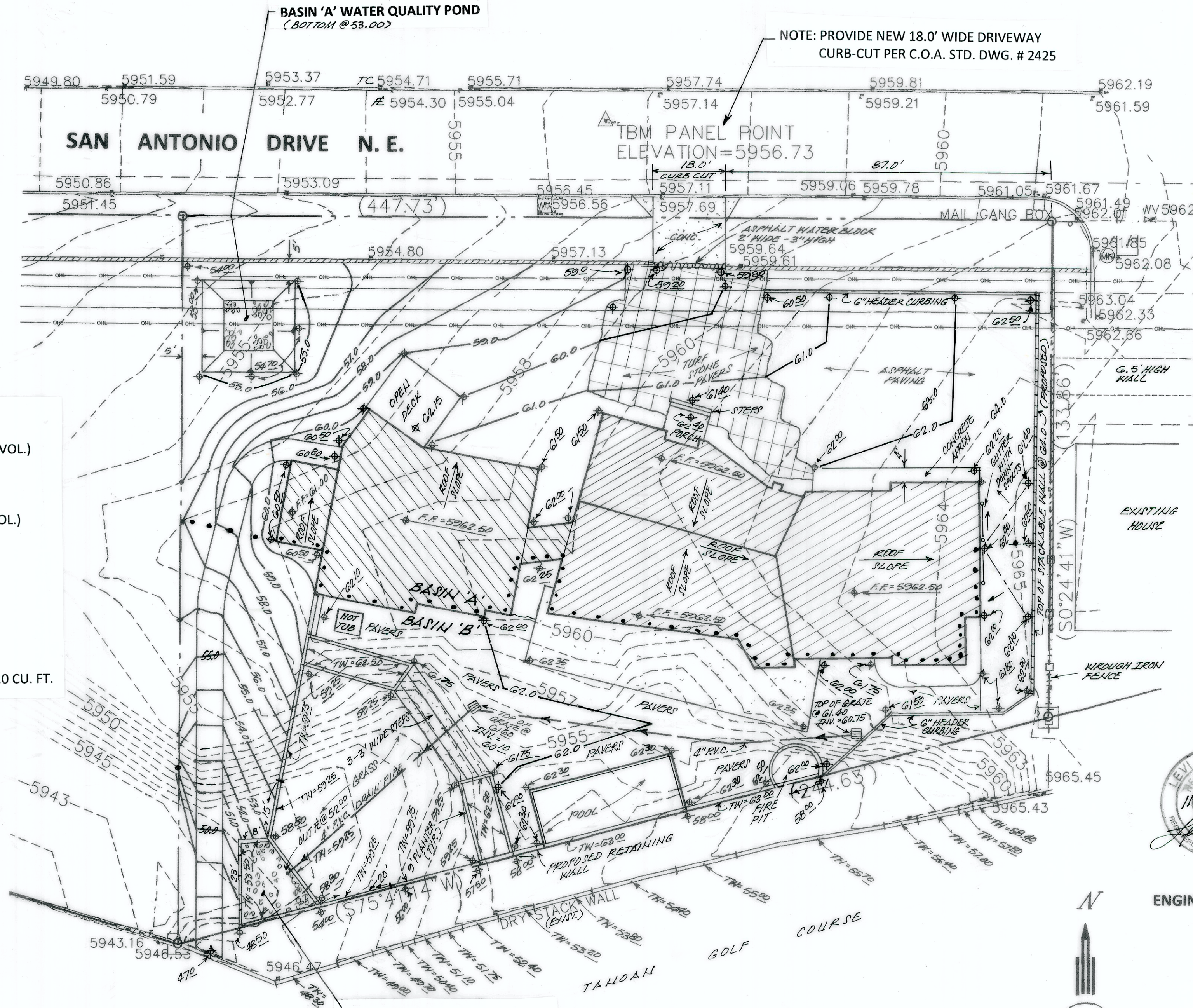
TOP OF CURB ELEVATION = TC 5954.71  
CURB FLOWLINE ELEVATION = FE 5954.30  
EXISTING SPOT ELEVATION = 5954.8  
EXISTING CONTOUR ELEVATION = 5950  
PROPOSED SPOT ELEVATION = 5925  
PROPOSED CONTOUR ELEVATION = 61.0  
PROPOSED OR EXISTING CONCRETE SURFACE =  
EXISTING FENCE LINE =

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cephals, United Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (sheet landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

LEGAL DESCRIPTION : TRACT 'C-2-A-1-C', SAUVIGNON SUBDIVISION, ALBUQUERQUE, NEW MEXICO.

GENERAL NOTES

- CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITY ENTRANCES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE LOCATIONS IN SUCH A MANNER TO ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF CONNECTION TO THEIR FACILITIES.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL FOLLOW ALL LOCAL, TRIBAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
- REPAIR UTILITY TRENCHES AND FINISH GRADE FOR DRAINAGE.
- THE CONTRACTOR SHALL CONFORM TO ALL TRIBAL, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FORM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ON TO OTHER PROPERTIES BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OF PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.



BASIN 'B' WATER QUALITY POND  
( BOTTOM @ 51.50 )

ENGINEER'S STATEMENT

I, THE ENGINEER OF RECORD CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE AND THE EXISTING GRADES AND CONTOURS DEPICTED ON THIS PLAN MATCH WHAT PRESENTLY EXISTS AT THIS LOCATION.

LEVI J. VALDEZ, NMPE NO. 5693

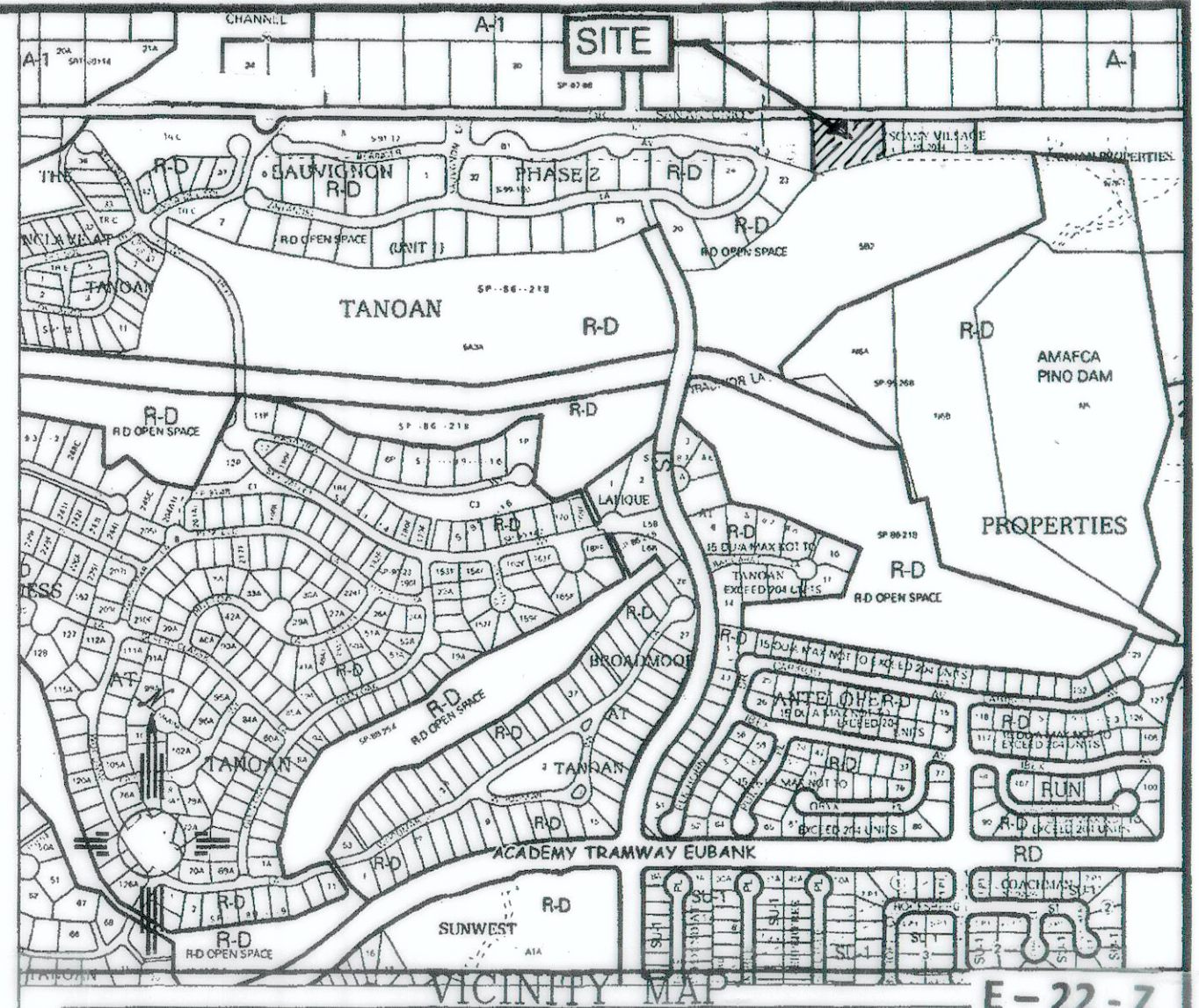
UTILITY PRECAUTIONS  
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

F.E.M.A. NOTE :

THIS PROPERTY IS LOCATED IN ZONE 'X', (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), PER F.E.M.A. FLOOD INSURANCE RATE MAP 35001C0142H, EFFECTIVE DATE AUGUST 16, 2012.



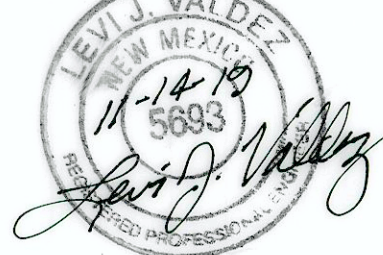
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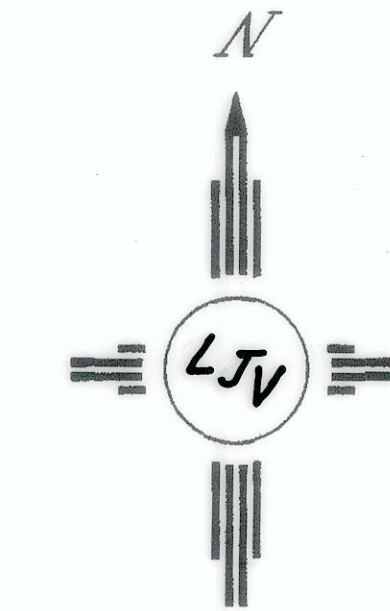
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY COMMUNITY SCIENCES, DATED AUGUST 2018
- ALL DISTURBED AREAS MUST BE RESEED OR LANDSCAPED PRIOR TO FINAL C.O..
- ALL AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED WITH NATIVE MIX
- DUE TO EXISTING TOPOGRAPHY AND UNDEVELOPED NATURE OF THE DOWN STEAM AREA, PERIODIC MAINTENANCE OF PONDS AND SWALES ARE REQUIRED.

LEGEND

- 5411 --- EXISTING CONTOUR
- 5410 --- EXISTING INDEX CONTOUR
- 5411 --- PROPOSED CONTOUR
- 5410 --- PROPOSED INDEX CONTOUR
- ..... BASIN LINE



ENGINEER'S SEAL



GRAPHIC SCALE



SCALE: 1"=20'

A PROPOSED PLAN  
FOR  
PITCHER FAMILY RESIDENCE  
12000 SAN ANTONIO DRIVE N.E.  
ALBUQUERQUE, NEW MEXICO

GRADING AND DRAINAGE PLAN