

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 17, 2020

Levi Valdez
12800 San Juan NE
Albuquerque, NM 87123

RE: 12000 San Antonio Dr. NE
Request for Pad Certification - Approved
Grading Plan Stamp Date: 2/18/20
Certification Dated: 3/16/20
Drainage File: E22D007H

Dear Mr. Valdez:

Based on the submittal received on 3/16/20, this certification is approved for Building Permit.

PO Box 1293

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

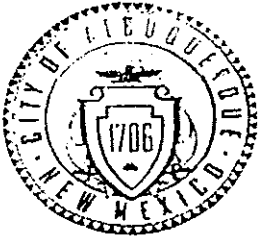
Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Hydrology
Planning Department
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: PITCHER FAMILY RESIDENCE Building Permit #: _____ Hydrology File #: E22D007H1
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: TRACT 'C-2-A-1-C', SALVIGNON SUBDIVISION
 City Address: 12000 SAN ANTONIO DRIVE N.E., ALBUQUERQUE, NEW MEXICO

Applicant: LEVI J. VALDEZ / GEORGE T. RODRIGUEZ CONSULT. Contact: LEVI VALDEZ
GEORGE RODRIGUEZ
 Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123
 Phone#: 505-610-0593 Fax#: _____ E-mail: paurod@hotmail.com
 Owner: JOHN PITCHER Contact: JOHN PITCHER
 Address: 12000 SAN ANTONIO DR., N.E., ALBUQUERQUE, NEW MEXICO
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- * ☒ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

PAD CERTIFICATION: 03-16-2020

DATE SUBMITTED: 11-15-19

By: GEORGE T. RODRIGUEZ / LEVI J. VALDEZ

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE NARRATIVE :

THIS SITE IS LOCATED ON THE SOUTH SIDE OF SAN ANTONIO DRIVE N.E. BETWEEN LOWELL DRIVE N.E. AND TENNYSON STREET N.E., IN THE CITY OF ALBUQUERQUE, NEW MEXICO, AND CONTAINS 0.90 ACRES (MORE OR LESS); THE SITE IS LOCATED ON F.E.M.A. FIRM MAP NO. 35001C0142 H, EFFECTIVE DATE AUGUST 16, 2012, THAT SHOWS THE SITE TO BE LOCATED IN ZONE 'X' (NO FLOOD HAZARD) AND THAT NO PORTION OF THE SITE IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN.

THIS SUBJECT SITE, 1.) IS A VACANT RESIDENTIAL PROPERTY THAT IS TO HAVE A SINGLE FAMILY RESIDENCE CONSTRUCTED THEREON (TOGETHER WITH ASSOCIATED IMPROVEMENTS, 2.) DOES CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES TO THE WEST (THE PROPOSED DEVELOPED FLOWS WILL BE DIRECTED TO WATER HARVESTING PONDS LOCATED ONSITE), 3.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE.

DRAINAGE CALCULATIONS :

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 0.90 ACRE

PRECIPITATION ZONE: FOUR (4) TABLE A-1

"LAND TREATMENT METHOD" FOR CALCULATIONS OF "Qp", TABLES A-8 & A-9
"LAND TREATMENT FACTORS", TABLE A-4.

PRECIPITATION : 360 = 2.90 IN

1440 = 3.65 IN.

10DAY = 5.95 IN.

TREATMENT	PRECIPITATION	EXCESS PRECIPITATION	PEAK DISCHARGE
TREATMENT A	0.80 IN.	0.80 IN.	2.20 CFS/AC.
TREATMENT B	1.08 IN.	1.08 IN.	2.92 CFS/AC.
TREATMENT C	1.46 IN.	1.46 IN.	3.73 CFS/AC.
TREATMENT D	2.64 IN.	2.64 IN.	5.25 CFS/AC.

EXISTING CONDITIONS: (ORIGINAL)

TREATMENT	AREA	NEW EXISTING CONDITIONS:	AREA
TREATMENT A	0.90 AC.		0.00 AC.
TREATMENT B	0.00 AC.		0.00 AC.
TREATMENT C	0.00 AC.		0.37 AC.
TREATMENT D	0.00 AC.		0.53 AC.

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.80)(0.90)+(1.08)(0.00)+(1.46)(0.00)+(2.64)(0.00) / 0.90 = 0.80 IN.

V100-360 = (0.80)(0.90) / 12 = 0.06000 AC.-FT. = 2,613.6 CF

EXISTING PEAK DISCHARGE:

Q100 = (2.20)(0.90)+(2.92)(0.00)+(3.73)(0.00)+(5.25)(0.00) = 1.98 CFS

PROPOSED EXCESS PRECIPITATION:

WEIGHTED E = (0.80)(0.00)+(1.08)(0.00)+(1.46)(0.37)+(2.64)(0.53) / 0.90 = 2.16 IN.

V100-360 = (2.16)(0.90) / 12 = 0.16200 AC.-FT. = 7,056.7 CF

PROPOSED PEAK DISCHARGE:

Q100 = (2.20)(0.00)+(2.92)(0.00)+(3.73)(0.37)+(5.25)(0.53) = 4.16 CFS

Q100 = 2.18 CFS (INCREASE)

V100-360 = 4,443.1 CF (INC)

WASTE WATER HARVESTING POND VOLUME REQUIRED:

PROPOSED 'D' = 23,087.0 SQ. FT.; 0.34" (0.03") x 23,087.0 SQ. FT. = 692.6 CU. FT.

692.6 CU. FT. REQUIRED POND VOLUME

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Foothills, North of Interstate 40 and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Foothills, North of Interstate 40, and East of the East boundary of Range 4 East; South of Interstate 40

Zone	Intensity (100-YR 2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)

PAD CERTIFICATION :

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-18-2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANTHONY L. HARRIS, N.M.P.L.S. NO. 11463, OF THE FIRM HARRIS SURVEYING.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 13, 2020, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR BUILDING PERMIT.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN AN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

NEW EXISTING CONDITIONS:

TREATMENT	AREA	NEW EXISTING CONDITIONS:	AREA
TREATMENT A	0.90 AC.		0.00 AC.
TREATMENT B	0.00 AC.		0.00 AC.
TREATMENT C	0.00 AC.		0.37 AC.
TREATMENT D	0.00 AC.		0.53 AC.

EXISTING EXCESS PRECIPITATION:

WEIGHTED E =

V100-360 =

EXISTING PEAK DISCHARGE:

Q100 =

PROPOSED EXCESS PRECIPITATION:

WEIGHTED E =

V100-360 =

PROPOSED PEAK DISCHARGE:

Q100 =

Q100 =

V100-360 =

WASTE WATER HARVESTING POND VOLUME REQUIRED:

PROPOSED 'D' = 23,087.0 SQ. FT.; 0.34" (0.03") x 23,087.0 SQ. FT. = 692.6 CU. FT.

692.6 CU. FT. REQUIRED POND VOLUME

WATER QUALITY/LANDSCAPE POND:

BASIN 'A', (NORTHERLY PORTION)
PROPOSED 'D' = 14,100.0 SQ. FT.
0.34" (0.03") X 14,100.0 = 423.0 CU. FT. REQUIRED POND VOLUME

POND VOLUME PROVIDED:
26' X 26' WATER QUALITY/LANDSCAPE POND
WITH 3:1 SIDE SLOPES AND 1.0' DEPTH
(MEAN) 23' X 23' = 529.0 SQ. FT.
529.0 SQ. FT. X 1.0' DEPTH = 529.0 CU. FT.
529.0 CU. FT. > 423.0 CU. FT.

SECTION 'A-A' WATER QUALITY/LANDSCAPE POND SCALE: 1" = 4.0'

LEGEND:

TOP OF CURB ELEVATION = TC 5954.71
CURB FLOWLINE ELEVATION = R 5954.30
EXISTING SPOT ELEVATION = 5954.8
EXISTING CONTOUR ELEVATION = 5950
PROPOSED SPOT ELEVATION = 5950
PROPOSED CONTOUR ELEVATION = 5950
PROPOSED OR EXISTING CONCRETE SURFACE = 5950
EXISTING FENCE LINE = 5950

UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

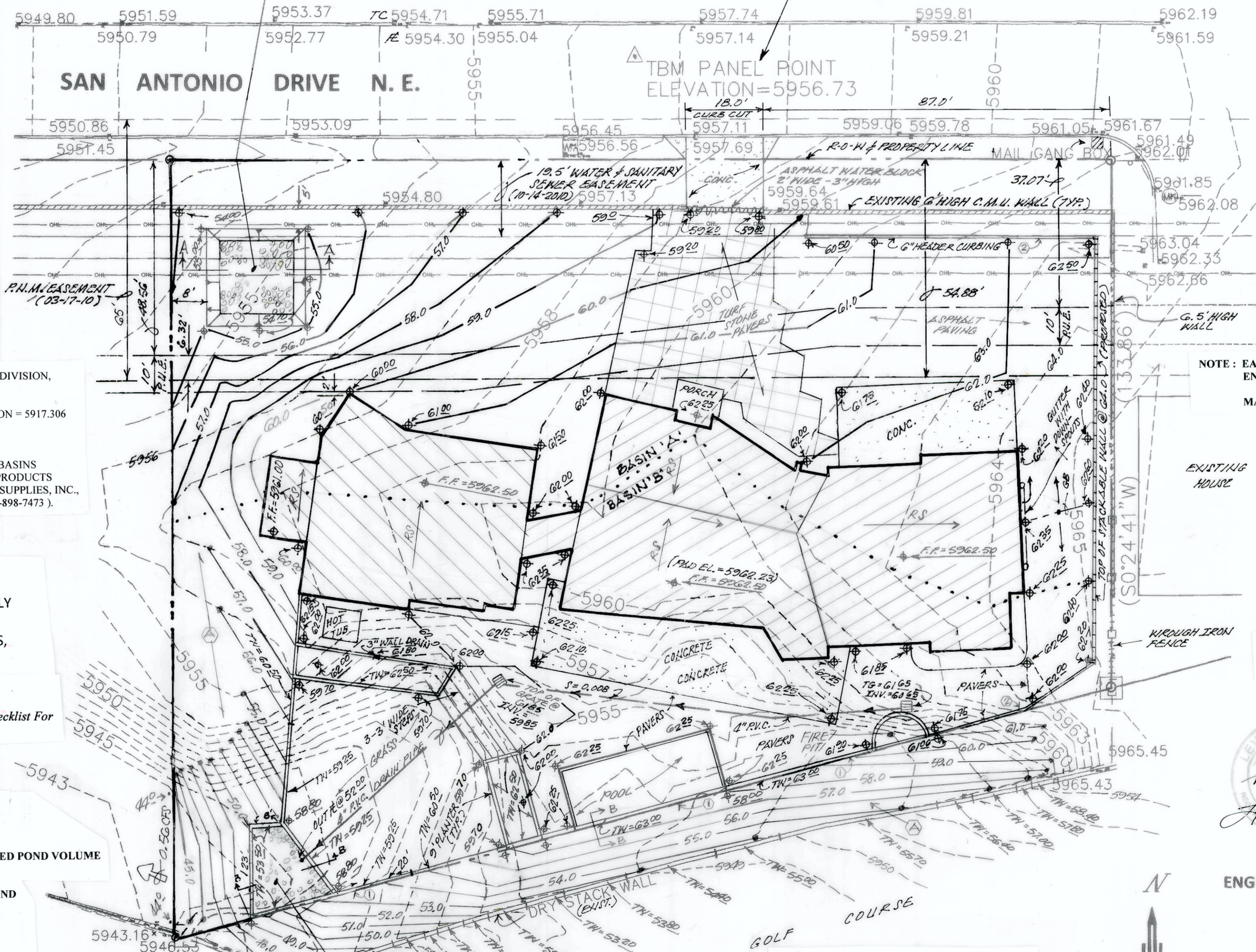
GENERAL NOTES

- CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITY ENTRANCES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE LOCATIONS IN SUCH A MANNER TO ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF CONNECTION TO THEIR FACILITIES.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL FOLLOW ALL LOCAL, TRIBAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
- REPAIR UTILITY TRENCHES AND FINISH GRADE FOR DRAINAGE.
- THE CONTRACTOR SHALL CONFORM TO ALL TRIBAL, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ON TO OTHER PROPERTIES BY CONSTRUCTING TEMPORARY EROSION CONTROL BERM OR INSTALLING SALT FENCES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OF PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

NOTE :
1.) PROPOSED RESIDENTIAL BUILDING LAYOUT IS TO BE PER "ARCHITECTS SITE PLAN" DIMENSIONS.

BASIN 'A' WATER QUALITY POND (BOTTOM @ 54.00)

(REFER TO POND SECTION 'A-A' AND POND CALCULATIONS HEREON).



BASIN 'B' WATER QUALITY POND (BOTTOM @ 54.00)

To: Whom it may concern

This letter is to certify that I, Anthony L. Harris, a Licensed New Mexico Land Surveyor, NMPS 11463 that on March 12, 2020 field verified the building pad located at 12000 San Antonio Drive N.E. and found the average pad elevation of 5962.23 feet.

Feel free to contact me if there are any questions.

Sincerely,

Anthony L. Harris

Anthony L. Harris

Anthony L. Harris

Anthony L. Harris

Anthony L. Harris

Anthony L. Harris

Anthony L. Harris

Anthony L. Harris

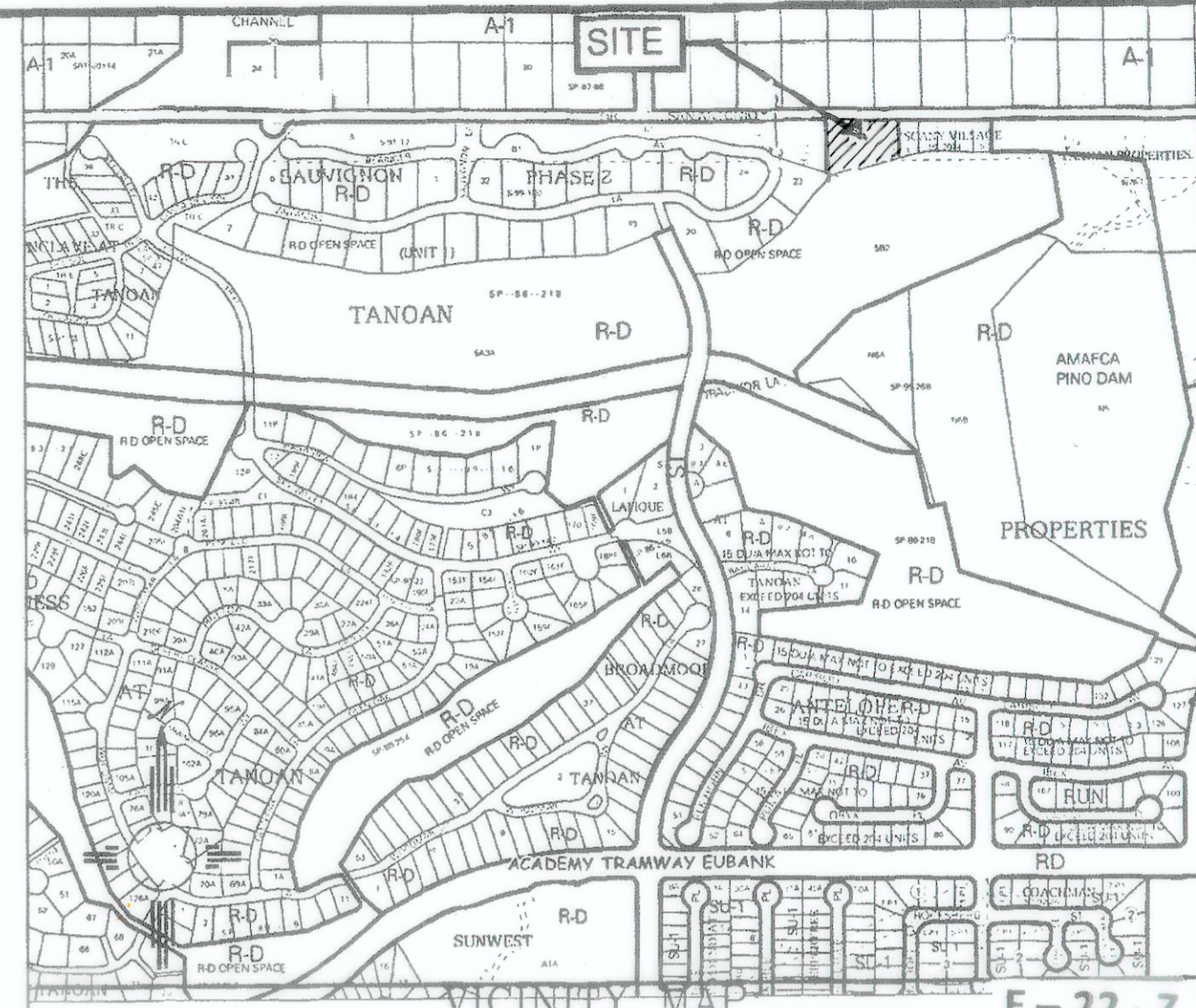
Anthony L. Harris

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

F.E.M.A. NOTE :

THIS PROPERTY IS LOCATED IN ZONE 'X', (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), PER F.E.M.A. FLOOD INSURANCE RATE MAP 35001C0142H, EFFECTIVE DATE AUGUST 16, 2012.



NOTE : EARTH WORK / COMPACTION IS TO BE PERFORMED PER SOILS ENGINEERS' SOILS TEST RECOMMENDATIONS.

MAXIMUM SIDE SLOPES TO BE 3:1

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY COMMUNITY SCIENCES, DATED AUGUST 2018
- ALL DISTURBED AREAS MUST BE RESEED OR LANDSCAPED PRIOR TO FINAL C.O.
- ALL AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED WITH NATIVE MIX
- DUE TO EXISTING TOPOGRAPHY AND UNDEVELOPED NATURE OF THE DOWN STEAM AREA, PERIODIC MAINTENANCE OF PONDS AND SWALES ARE REQUIRED.
- REFERENCE TO EASEMENTS WITHIN THE SUBJECT PROPERTY AND SHOWN ON THE PLAN HEREON ARE PER "FINAL PLAT TRACTS 'C-2-A-1-A', 'C-2-A-1-B', AND 'C-2-A-1-C', SAUVIGNON SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (FILED : 04-11-19).

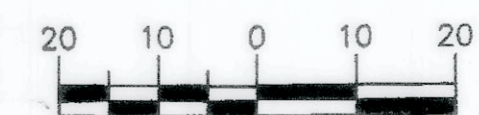
NOTE: RETAINING WALLS SHOWN ON THE PLAN HEREON ARE TO BE DESIGNED BY OTHERS.

11-14-19
Levi J. Valdez
02-18-20

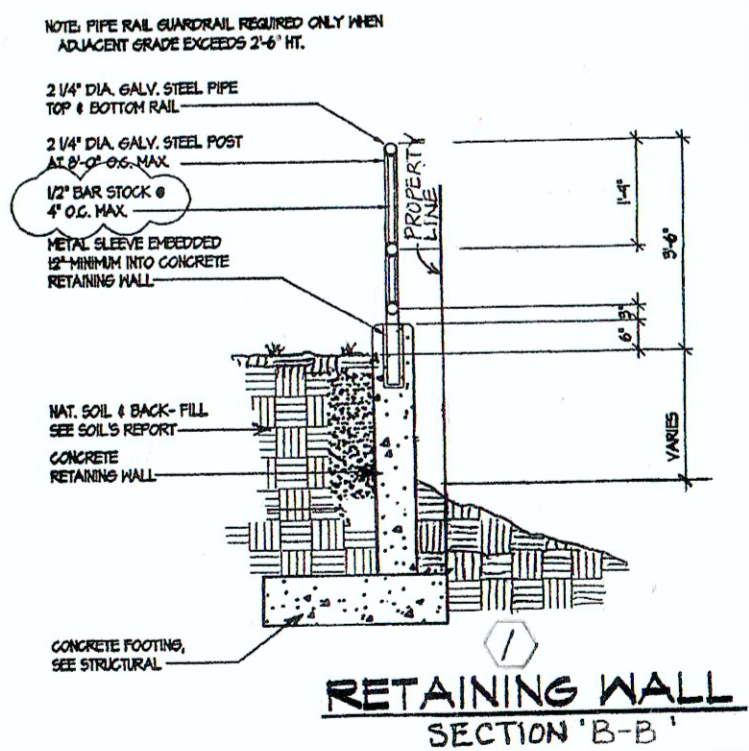
ENGINEER'S SEAL



GRAPHIC SCALE



SCALE: 1"=20'



A PROPOSED PLAN
FOR
PITCHER FAMILY RESIDENCE
12000 SAN ANTONIO DRIVE N.E.
ALBUQUERQUE, NEW MEXICO

GRADING AND DRAINAGE PLAN
(PAD CERTIFICATION)