

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 30, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 11906 San Antonio Dr. NE
Grading & Drainage Plan
Engineer's Stamp Date: 07/09/21
Hydrology File: E22D007H2**

Dear Mr. Soule:

Based upon the information provided in your submittal received 07/14/2021, the Grading and Drainage Plan is approved for Grading Permit.

PO Box 1293

Please note that is lot is currently being re-platted. Please show the new proposed lot lines on the pad certification/Building Permit submittal. Also prior to approval in support of Permanent Release of Occupancy by Hydrology, the plat will need to be recorded.

Albuquerque

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

NM 87103

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 11906 SAN ANTONIO **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT C-2-A-1 SAUVIGNON SUBDIVISION
City Address: 11906 SAN ANTONIO

Applicant: MR. BARNESLEY **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: ___ PLAT RESIDENCE ___ DRB SITE ___ ADMIN SITE

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE
___ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

BUILDING PERMIT APPROVAL
___ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

___ ENGINEER/ARCHITECT CERTIFICATION
___ PAD CERTIFICATION
___ CONCEPTUAL G & D PLAN
 GRADING PLAN
___ DRAINAGE REPORT
___ DRAINAGE MASTER PLAN
___ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
___ ELEVATION CERTIFICATE
___ CLOMR/LOMR
___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ TRAFFIC IMPACT STUDY (TIS)
___ STREET LIGHT LAYOUT
___ OTHER (SPECIFY) _____
___ PRE-DESIGN MEETING?

___ PRELIMINARY PLAT APPROVAL
___ SITE PLAN FOR SUB'D APPROVAL
___ SITE PLAN FOR BLDG. PERMIT APPROVAL
___ FINAL PLAT APPROVAL

___ SIA/ RELEASE OF FINANCIAL GUARANTEE
___ FOUNDATION PERMIT APPROVAL
___ GRADING PERMIT APPROVAL
___ SO-19 APPROVAL
___ PAVING PERMIT APPROVAL
___ GRADING/ PAD CERTIFICATION
___ WORK ORDER APPROVAL
___ CLOMR/LOMR
___ FLOODPLAIN DEVELOPMENT PERMIT
___ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes ___ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

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June 30, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 11906 San Antonio Dr. NE
Grading & Drainage Plan
Engineer's Stamp Date: 06/10/21
Hydrology File: E22D007H2

Dear Mr. Soule:

Based upon the information provided in your submittal received 06/10/2021, the Grading & Drainage Plan **is not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

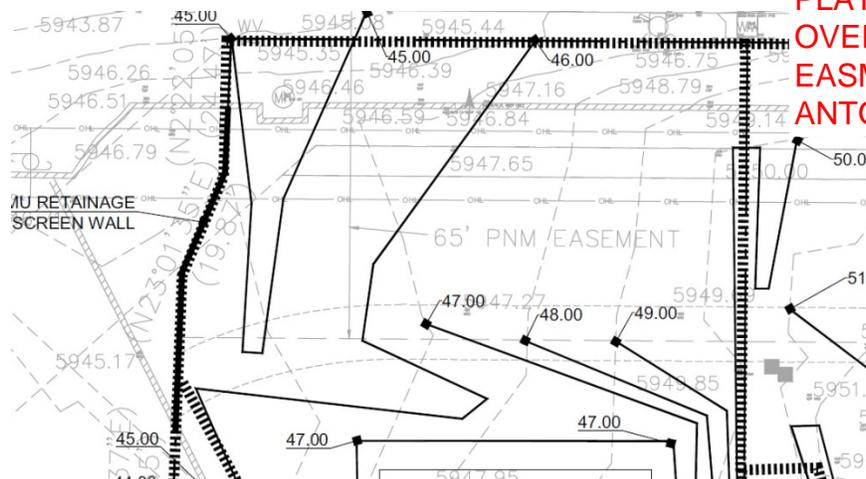
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1. Please provide the existing 65 feet PNM Easement in the front of the property. Also please show the existing overhead power lines. (See Below) **ADDED, ACCORDING TO PLAT AND SURVEY IT OVERLAPS THE ACCESS EASEMENT THAT IS SAN ANTONIO**



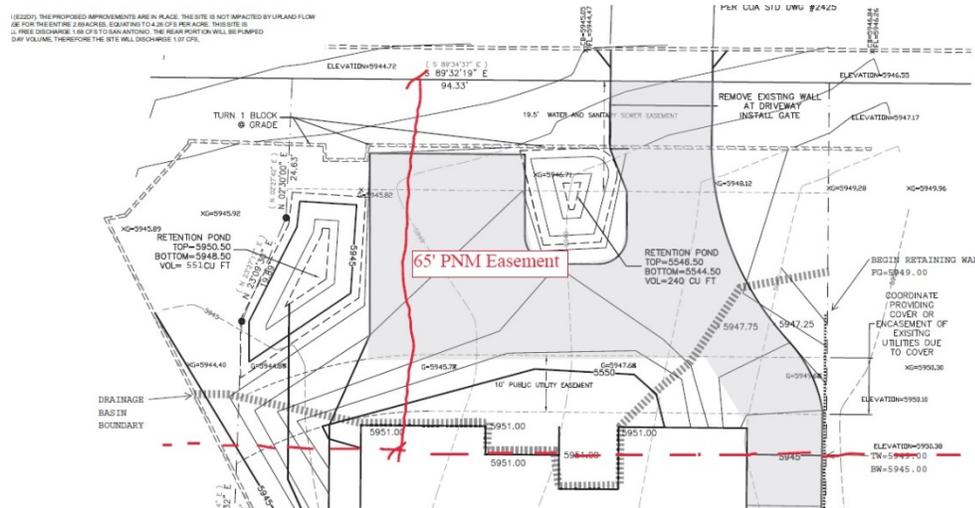
2. The house needs to be relocated out of the existing 65 feet PNM Easement. (See Below) **HOUSE DOES NOT ENCROACH, NORTH EDGE OF 65' EASEMENT DOES NOT CORRESPOND TO PROPERTY LINE, EASEMENT HAS BEEN SHOW PER SURVEY AND PLAT**

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Brennon Williams, Director



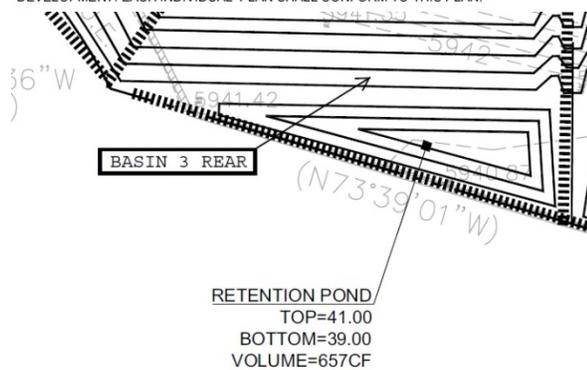
Mayor Timothy M. Keller



- Per the approval letter for Prichard Subdivision dated December 17, 2018 (Attached), Hydrology will need written permission from PNM for any grading within their 65 feet Easement. **IF PLAN IS ACCEPTABLE, PERMISSION WILL BE OBTAINED AND WE PROPOSE AT PAD CERT**
- Also according the approved Conceptual Grading & Drainage Plan for Prichard Subdivision (E22D007H), a retention pond is required to hold the 100yr-6hr storm. (See Below) Therefore this lot needs a retention pond volume of 657 CF. **WE HAVE INCREASED RETENTION VOLUME AS REQUIRED**

DRAINAGE NARRATIVE

THIS SITE IS A PREVIOUSLY APPROVED SUBDIVISION. THE PROPOSED IMPROVEMENTS ARE LESS INTENSE THAT THE PREVIOUSLY APPROVED PLAN BASED UPON DISCUSSION WITH CITY HYDROLOGY THE SITE SHALL DIRECT ALL BUILDING ROOF DRAINAGE AND FRON AND SIDE YARDS TO SAN ANTONIO. THE REAR YARD SHALL RETAIN THE ENTIRE 100-YEAR, 6-HOUR VOLUME GENERATED. DUE TO THE NATURE OF THE LOTS EACH LOT WILL SUBMIT A SITE SPECIFIC GRADING PLAN AT TIME C DEVELOPMENT. EACH INDIVIDUAL PLAN SHALL CONFORM TO THIS PLAN.



- The proposed drainage narrative provided violated this previous approved Conceptual Grading & Drainage Plan for Prichard Subdivision. (See Below) Therefore this will have to conform with this plan. **WE HAVE REVISED NARRATIVE**

DRAINAGE NARRATIVE
THIS SITE IS THE LAST THIS SITE IS A PREVIOUSLY APPROVED SUBDIVISION (E22D7). THE PROPOSED IMPROVEMENTS ARE IN PLACE. THE SITE IS NOT IMPACTED BY UPLAND FLOW BY BH (E22-0007G). THE APPROVED REPORT PROPOSED 11.47 CFS DISCHARGE FOR THE ENTIRE 2.69 ACRES, EQUATING TO 4.26 CFS PER ACRE. THIS SITE IS .340 ACRES THEREFORE CAN DISCHARGE 1.44 CFS. THE DEVELOPMENT WILL FREE DISCHARGE 1.68 CFS TO SAN ANTONIO. THE REAR PORTION WILL BE PUMPED TO A POND IN THE FRONT. THE POND IS SIZED TO RETAIN THE 100-YEAR 10 DAY VOLUME, THEREFORE THE SITE WILL DISCHARGE 1.07 CFS.

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Mayor Timothy M. Keller

Standard review fee of \$75 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year, 6-hr.		10-day	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E	Volume	Flow	Volume	Flow			
TOTAL SITE EXISTING	14802	0.340	0%	0.0000	30.0%	0.0581	70.0%	0.1798	0.0%	0.0000	0.957	0.027	0.84	0.027	0.84	0.027	0.84	0.027	0.84			
PROPOSED REAR	4982	0.114	0%	0.0000	37.0%	0.0423	63.0%	0.0721	0.0%	0.0000	1.319	0.013	0.39	0.013	0.39	0.013	0.39	0.013	0.39			
PROPOSED FRONT	8820	0.225	0%	0.0000	7.0%	0.0158	21.0%	0.0473	72.0%	0.1623	2.283	0.043	1.07	0.043	1.07	0.043	1.07	0.043	1.07			
TOTAL SITE PROPOSE	14802.00																					

Equations:
Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)

Volume = Weighted D * Total Area

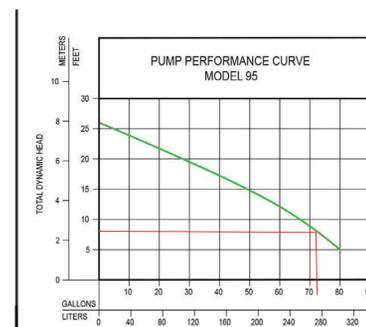
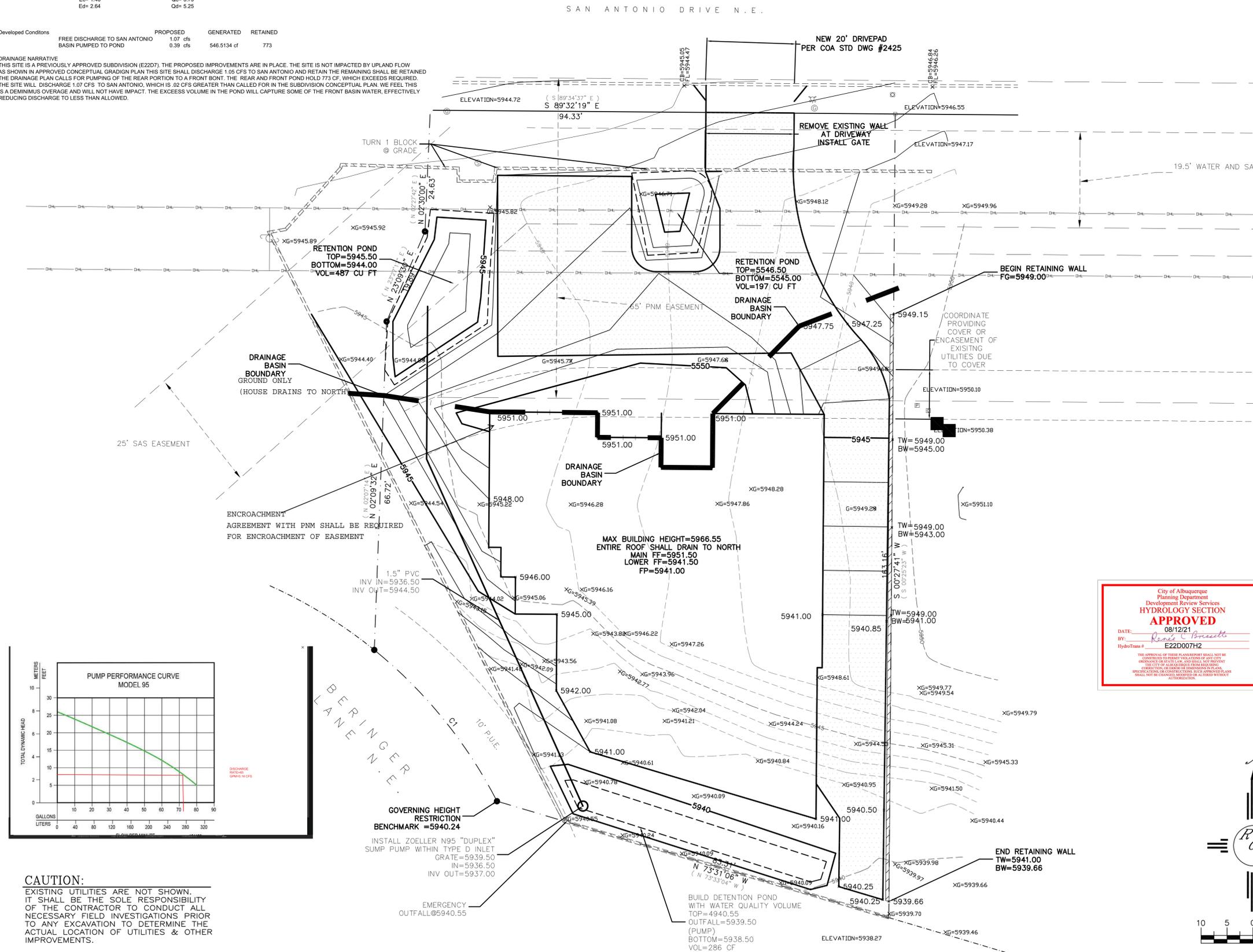
Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

Where for 100-year, 6-hour storm

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.84	Qd= 5.25

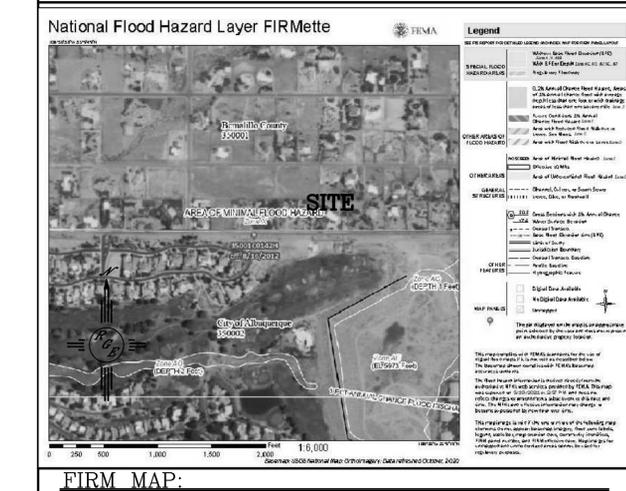
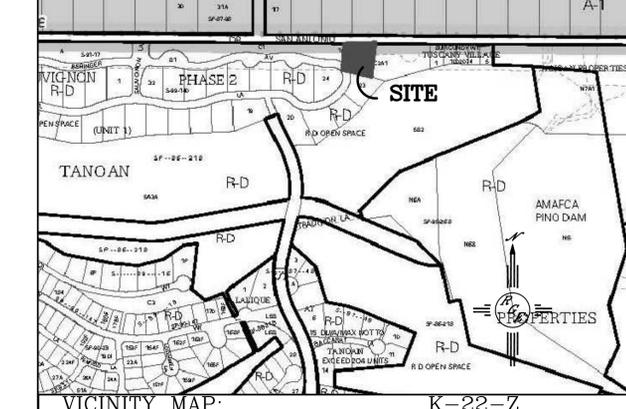
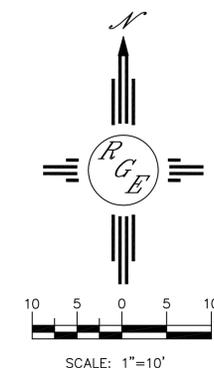
Developed Conditions	PROPOSED	GENERATED	RETAINED
FREE DISCHARGE TO SAN ANTONIO	1.07 cfs		
Basin Pumped to Pond	0.39 cfs	546.5134 cf	773

DRAINAGE NARRATIVE
THIS SITE IS A PREVIOUSLY APPROVED SUBDIVISION (E22D7). THE PROPOSED IMPROVEMENTS ARE IN PLACE. THE SITE IS NOT IMPACTED BY UPLAND FLOW AS SHOWN IN APPROVED CONCEPTUAL GRADIN PLAN THIS SITE SHALL DISCHARGE 1.05 CFS TO SAN ANTONIO AND RETAIN THE REMAINING SHALL BE RETAINED. THE DRAINAGE PLAN CALLS FOR PUMPING OF THE REAR PORTION TO A FRONT BONT. THE REAR AND FRONT POND HOLD 773 CF, WHICH EXCEEDS REQUIRED. THE SITE WILL DISCHARGE 1.07 CFS TO SAN ANTONIO, WHICH IS .02 CFS GREATER THAN CALLED FOR IN THE SUBDIVISION CONCEPTUAL PLAN. WE FEEL THIS IS A DEMINIMUS OVRAGE AND WILL NOT HAVE IMPACT. THE EXCESS VOLUME IN THE POND WILL CAPTURE SOME OF THE FRONT BASIN WATER, EFFECTIVELY REDUCING DISCHARGE TO LESS THAN ALLOWED.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 08/12/21
BY: *Renee C. Bruneau*
HydroTeam # E22D007H2



LEGAL DESCRIPTION:
TRACT C-2-A-1-A, SAUVIGNON SUBDIVISION

- NOTES:**
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 - ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

---XXXX---	EXISTING CONTOUR
- - - - -	EXISTING INDEX CONTOUR
-----	PROPOSED CONTOUR
---XXXX---	PROPOSED INDEX CONTOUR
-----	SLOPE TIE
• XXXX	EXISTING SPOT ELEVATION
+ XXXX	PROPOSED SPOT ELEVATION
-----	LOT LINE
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED 4" PVC SD
-----	GRAVEL LINED SWALE
=====	EXISTING CURB AND GUTTER
=====	COMPACTED GRAVEL DRIVEWAY

ENGINEER'S SEAL DAVID SOULE P.E. #14522	TRACT C-2-A-1-A SAUVIGNON SUBDIVISION	DRAWN BY: WCVJ DATE: 5-21-21
	GRADING AND DRAINAGE PLAN	210210054-LAYOUT-5-20-21
7/9/21	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	SHEET # --- JOB # 21021054