

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 30, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 11906 San Antonio Dr. NE
Grading & Drainage Plan
Engineer's Stamp Date: 07/09/21
Hydrology File: E22D007H2**

Dear Mr. Soule:

Based upon the information provided in your submittal received 07/14/2021, the Grading and Drainage Plan is approved for Grading Permit.

Please note that is lot is currently being re-platted. Please show the new proposed lot lines on the pad certification/Building Permit submittal. Also prior to approval in support of Permanent Release of Occupancy by Hydrology, the plat will need to be recorded.

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 11906 SAN ANTONIO **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT C-2-A-1 SAUVIGNON SUBDIVISION
City Address: 11906 SAN ANTONIO

Applicant: MR. BARNESLEY **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

June 30, 2021

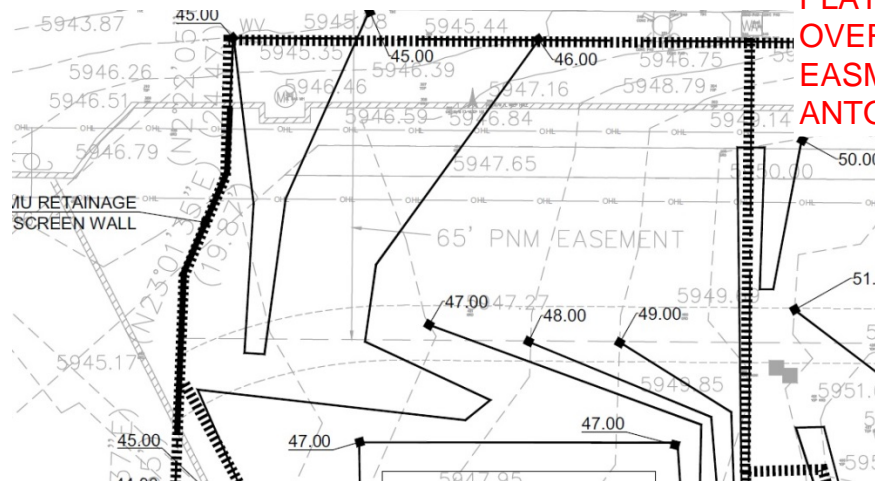
David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 11906 San Antonio Dr. NE
Grading & Drainage Plan
Engineer's Stamp Date: 06/10/21
Hydrology File: E22D007H2

Dear Mr. Soule:

Based upon the information provided in your submittal received 06/10/2021, the Grading & Drainage Plan **is not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please provide the existing 65 feet PNM Easement in the front of the property. Also please show the existing overhead power lines. (See Below) **ADDED, ACCORDING TO PLAT AND SURVEY IT OVERLAPS THE ACCESS EASEMENT THAT IS SAN ANTONIO**



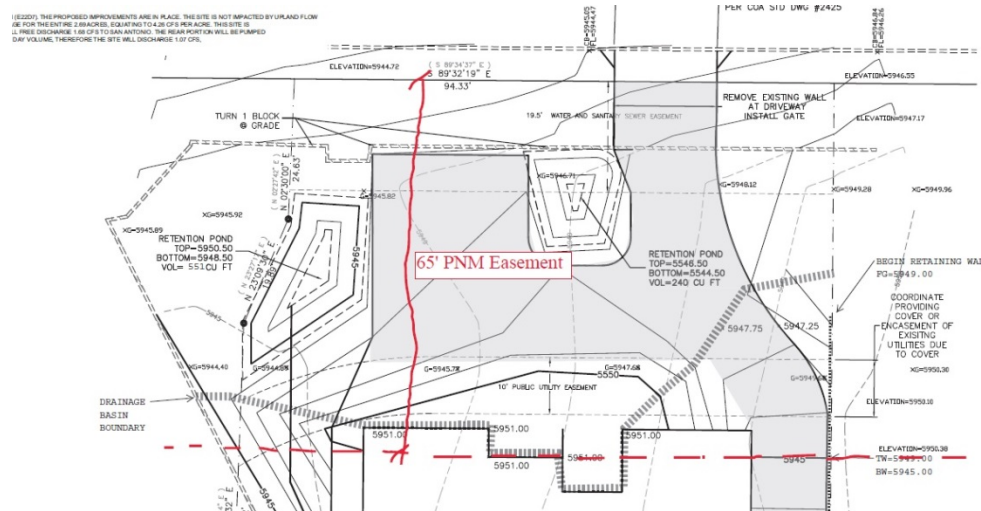
2. The house needs to be relocated out of the existing 65 feet PNM Easement. (See Below) **HOUSE DOES NOT ENCROACH, NORTH EDGE OF 65' EASEMENT DOES NOT CORRESPOND TO PROPERTY LINE, EASEMENT HAS BEEN SHOW PER SURVEY AND PLAT**

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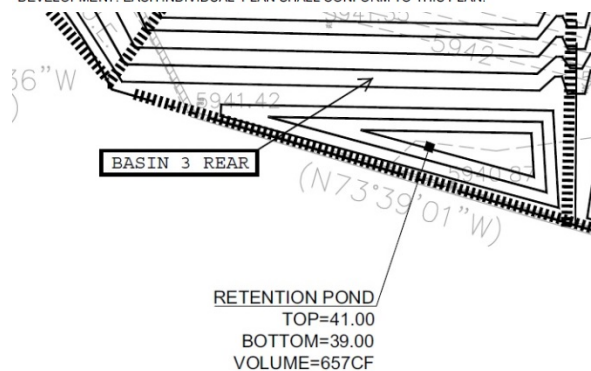
Mayor Timothy M. Keller



3. Per the approval letter for Prichard Subdivision dated December 17, 2018 (Attached), Hydrology will need written permission from PNM for any grading within their 65 feet Easement. **IF PLAN IS ACCEPTABLE, PERMISSION WILL BE OBTAINED AND WE PROPOSE AT PAD CERT**
4. Also according the approved Conceptual Grading & Drainage Plan for Prichard Subdivision (E22D007H), a retention pond is required to hold the 100yr-6hr storm. (See Below) Therefore this lot needs a retention pond volume of 657 CF. **WE HAVE INCREASED RETENTION VOLUME AS REQUIRED**

DRAINAGE NARRATIVE

THIS SITE IS A PREVIOUSLY APPROVED SUBDIVISION. THE PROPOSED IMPROVEMENTS ARE LESS INTENSE THAT THE PREVIOUSLY APPROVED PLAN BASED UPON DISCUSSION WITH CITY HYDROLOGY THE SITE SHALL DIRECT ALL BUILDING ROOF DRAINAGE AND FRON AND SIDE YARDS TO SAN ANTONIO. THE REAR YARD SHALL RETAIN THE ENTIRE 100-YEAR, 6-HOUR VOLUME GENERATED. DUE TO THE NATURE OF THE LOTS EACH LOT WILL SUBMIT A SITE SPECIFIC GRADING PLAN AT TIME C DEVELOPMENT. EACH INDIVIDUAL PLAN SHALL CONFORM TO THIS PLAN.



5. The proposed drainage narrative provided violated this previous approved Conceptual Grading & Drainage Plan for Prichard Subdivision. (See Below) Therefore this will have to conform with this plan. **WE HAVE REVISED NARRATIVE**

DRAINAGE NARRATIVE

THIS SITE IS THE LAST THIS SITE IS A PREVIOUSLY APPROVED SUBDIVISION (E22D7). THE PROPOSED IMPROVEMENTS ARE IN PLACE. THE SITE IS NOT IMPACTED BY UPLAND FLOW BY BHII (E22-0007G). THE APPROVED REPORT PROPOSED 11.47 CFS DISCHARGE FOR THE ENTIRE 2.69 ACRES, EQUATING TO 4.26 CFS PER ACRE. THIS SITE IS .340 ACRES THEREFORE CAN DISCHARGE 1.44 CFS. THE DEVELOPMENT WILL FREE DISCHARGE 1.68 CFS TO SAN ANTONIO. THE REAR PORTION WILL BE PUMPED TO A POND IN THE FRONT. THE POND IS SIZED TO RETAIN THE 100-YEAR 10 DAY VOLUME, THEREFORE THE SITE WILL DISCHARGE 1.07 CFS.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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Mayor Timothy M. Keller

Standard review fee of \$75 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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Weighted E Method

Proposed Developed Basins

Basin	Area (sf)	Area (acres)	Treatment				100-Year, 6-hr.		10-day					
			Treatment A (%)	Treatment B (acres)	Treatment C (acres)	Treatment D (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)				
TOTAL SITE EXISTING	14802	0.340	0%	0.0000	30.0%	0.0581	70.0%	0.1798	0%	0.0000	0.957	0.027	0.84	0.027
PROPOSED REAR	4982	0.114	0%	0.0000	37.0%	0.0423	63.0%	0.0721	0%	0.0000	1.319	0.113	0.39	0.913
PROPOSED FRONT	9820	0.225	0%	0.0000	7.0%	0.0158	21.0%	0.0473	72.0%	0.1623	2.283	0.043	1.07	0.065
TOTAL SITE PROPOSE	14802.00												1.47	

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.8
Eb= 1.08
Ec= 1.46
Ed= 2.64
Qa= 2.2
Qb= 2.92
Qc= 3.73
Qd= 5.25

Developed Conditions
FREE DISCHARGE TO SAN ANTONIO
BASIN PUMPED TO POND

PROPOSED
1.07 cfs
0.39 cfs

GENERATED
546.5134 cf

RETAINED
773

DRAINAGE NARRATIVE
THIS SITE IS A PREVIOUSLY APPROVED SUBDIVISION (E22D7). THE PROPOSED IMPROVEMENTS ARE IN PLACE. THE SITE IS NOT IMPACTED BY UPLAND FLOW AS SHOWN IN APPROVED CONCEPTUAL GRADION PLAN THIS SITE SHALL DISCHARGE 1.05 CFS TO SAN ANTONIO AND RETAIN THE REMAINING SHALL BE RETAINED. THE DRAINAGE PLAN CALLS FOR PUMPING OF THE REAR PORTION TO A FRONT BONT. THE REAR AND FRONT POND HOLD 773 CF, WHICH EXCEEDS REQUIRED. THE SITE WILL DISCHARGE 1.07 CFS TO SAN ANTONIO, WHICH IS .02 CFS GREATER THAN CALLED FOR IN THE SUBDIVISION CONCEPTUAL PLAN. WE FEEL THIS IS A DEMINIMUS OVERAGE AND WILL NOT HAVE IMPACT. THE EXCESS VOLUME IN THE POND WILL CAPTURE SOME OF THE FRONT BASIN WATER, EFFECTIVELY REDUCING DISCHARGE TO LESS THAN ALLOWED.

SAN ANTONIO DRIVE N.E.

NEW 20' DRIVEPAD
PER COA STD DWG #2425

REMOVE EXISTING WALL
AT DRIVEWAY
INSTALL GATE

RETENTION POND
TOP=5546.50
BOTTOM=5545.00
VOL=197 CU FT

DRAINAGE
BASIN
BOUNDARY

BEGIN RETAINING WALL
FG=5949.00

COORDINATE
PROVIDING
COVER OR
ENCASEMENT OF
EXISTING
UTILITIES DUE
TO COVER

DRAINAGE
BASIN
BOUNDARY
GROUND ONLY
(HOUSE DRAINS TO NORTH)

ENCROACHMENT
AGREEMENT WITH PNM SHALL BE REQUIRED
FOR ENCROACHMENT OF EASEMENT

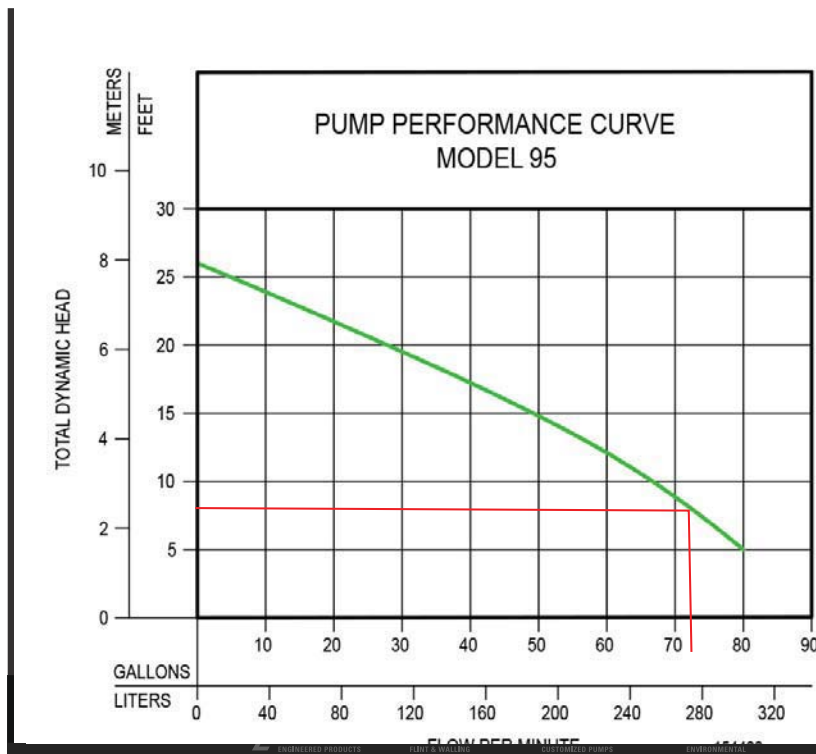
MAX BUILDING HEIGHT=5966.55
ENTIRE ROOF SHALL DRAIN TO NORTH
MAIN FF=5951.50
LOWER FF=5941.00
FP=5941.00

GOVERNING HEIGHT
RESTRICTION
BENCHMARK =5940.24

INSTALL ZOELLER N95 "DUPLX"
SUMP PUMP WITHIN TYPE D INLET
GRATE=5939.50
IN=5936.50
INV OUT=5937.00

EMERGENCY
OUTFALL@5940.55

BUILD DETENTION POND
WITH WATER QUALITY VOLUME
TOP=4940.55
OUTFALL=5939.50
(PUMP)
BOTTOM=5938.50
VOL=286 CF



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

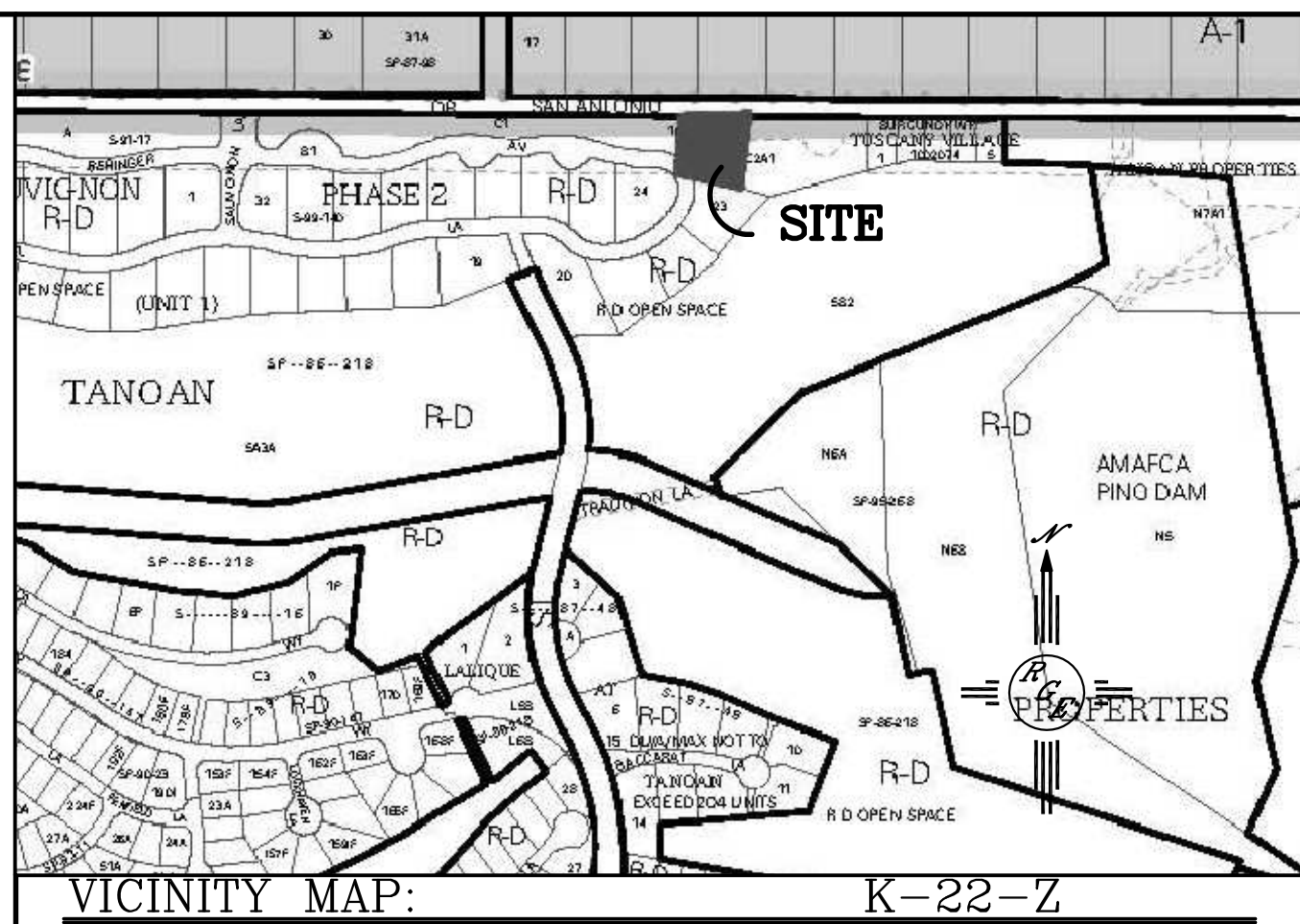
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

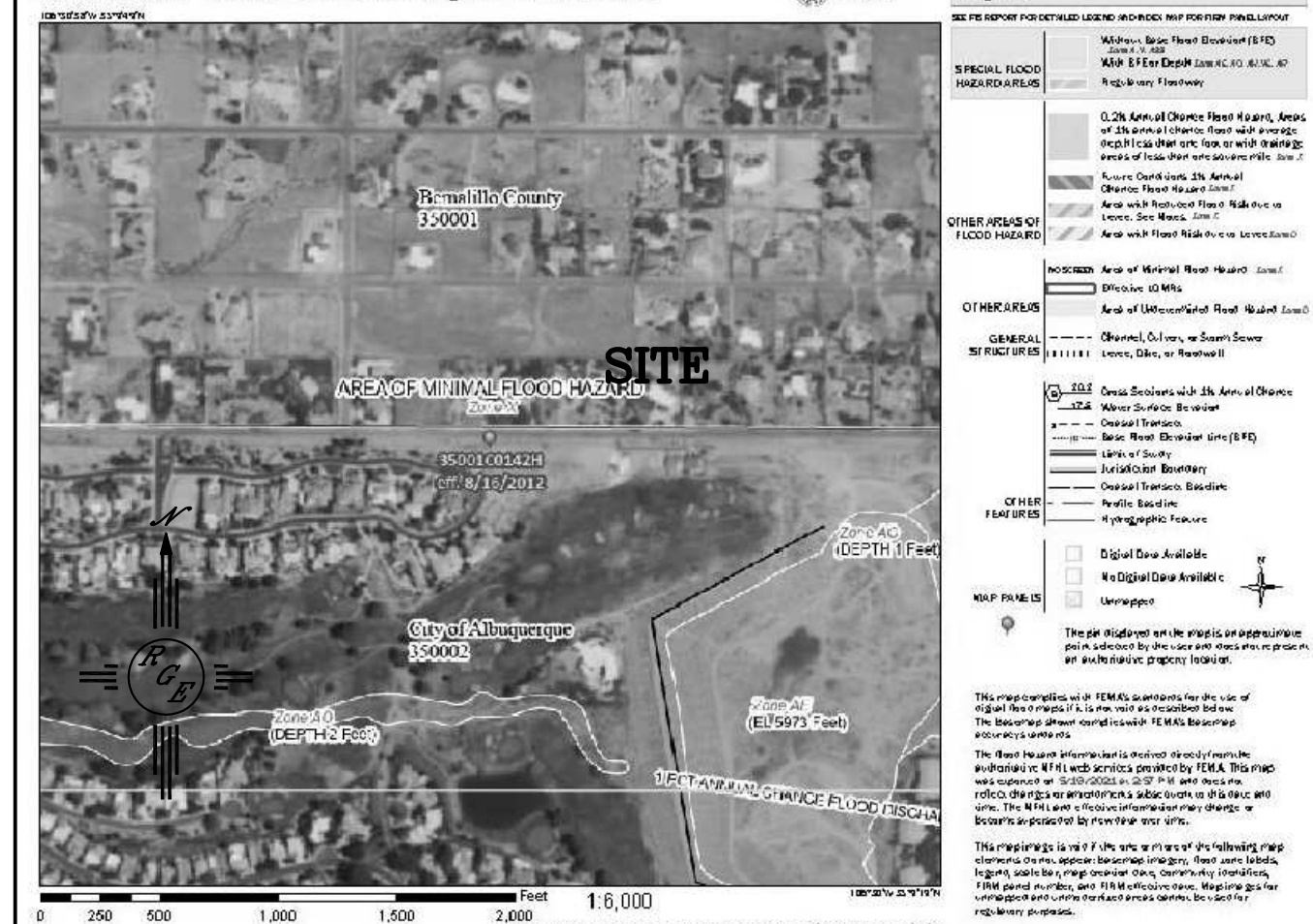
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



National Flood Hazard Layer FIRMette



FIRM MAP:

LEGAL DESCRIPTION:

TRACT C-2-A-1-A, SAUVIGNON SUBDIVISION

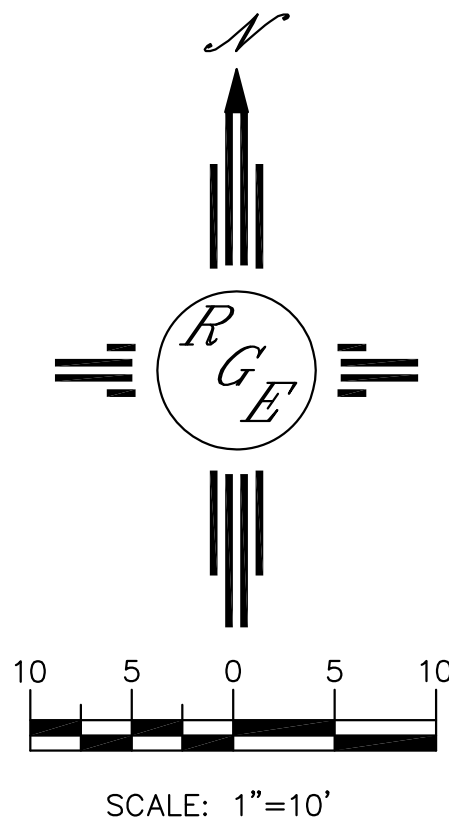
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- GRAVEL LINED SWALE
- EXISTING CURB AND GUTTER
- COMPACTED GRAVEL DRIVEWAY



ENGINEER'S SEAL DAVID SOULE 14522 PROFESSIONAL ENGINEER	TRACT C-2-A-1-A SAUVIGNON SUBDIVISION GRADING AND DRAINAGE PLAN	DRAWN BY: WCMJ DATE: 5-21-21 210210054-LAYOUT-5-20-21
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # —
		JOB # 21021054