



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 10, 1994

James Topmiller
7500 Jefferson NE
Albuquerque, NM 87109

RE: ACADEMY BASEBALL FIELD (E-22/D17) ENGINEER'S STAMP DATED 6/24/94

Dear Mr. Topmiller:

Based upon your 7/27/94 submittal the referenced project is approved for Site Development Plan. The City has no adverse comments to your project and as stated in your cover letter, since this is an AMAFCA facility, it is expected that they will take the lead in analyzing the drainage concerns relating to your project.

If I can be of further assistance, feel free to contact me at 768-3622.

Cordially,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File

(wp+8708)

DRAINAGE INFORMATION SHEET

8708

PROJECT TITLE: ACADEMY BASEBALL FIELD ZONE ATLAS/DRNG. FILE # E-22/017
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: TRACT N-5, TANDAN PROPERTIES
CITY ADDRESS: _____

ENGINEERING FIRM: NONE
~~ROLAND HUSTON, INC.~~

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

OWNER: BROWN & ASSOC.

ADDRESS: PO BOX 3671, ALBUQ 87190

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: JAMES TOPMILLER

PHONE: 823-1000

CONTACT: MIKE ADAMS

PHONE: 983-1674

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

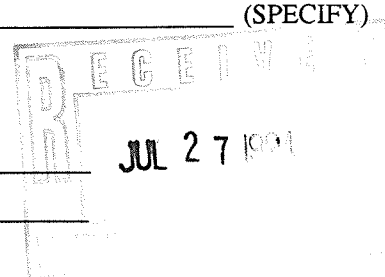
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

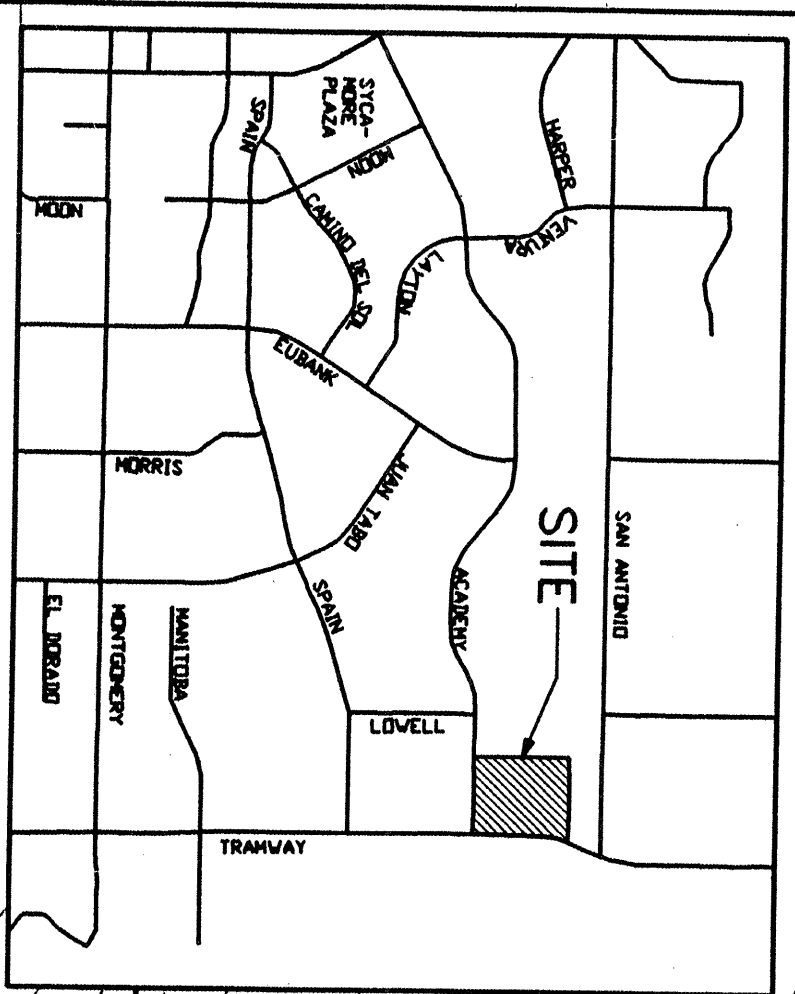
- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/22/94
BY: JAMES TOPMILLER





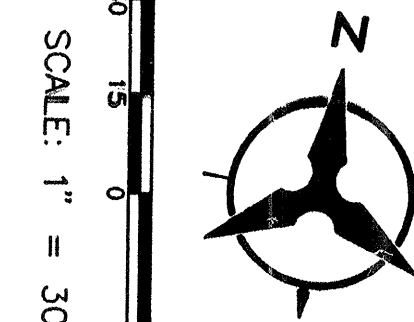
LEGAL DESCRIPTION
TRACT N-1, TANOAN PROPERTIES

TRACT N-1
PROPOSED APARTMENT DEVELOPMENT

NOTE: Slopes steeper than 3:1 will require treatment, i.e., grass or mulch, slope pinning, retaining walls, etc., as approved by AHJ's.

Approximate locations of proposed stormwater treatment structures and parking

EXISTING WATER SERVICE (PRIVATE) TO BUILDING



CONCEPTUAL DRAINAGE/GRADING PLAN

The proposed building is located within the AMFCA Pino Dam floodwater facility. As shown on the vicinity map, the site is located south of the site and dam are located west of Tennyson Boulevard and north of Academy Road.

The site and building lie at an average elevation of 5,933. The elevation places the building approximately 20 feet above the crest of the dam. The site is located on a slope of approximately 1:1. The site is located on a slope of approximately 1:1. The site is located on a slope of approximately 1:1.

The site has been graded to maintain maximum slopes of 3:1 in most cases. An exception to this is a 2:1 slope proposed for the eastern edge of the building, adjacent to the proposed stormwater treatment structure. The use of additional retaining walls, gravel mulch, slope pinning, etc., will be required for these slopes. The Site Plan for this field continues AMFCA access to both the top and bottom of the dam. The site is located on a slope of approximately 1:1.

Drainage from the building will be directed southward to discharge off the building and into the lower dam basin. Flows from the surrounding area will be directed southward to discharge off the building and into the lower dam basin. Flows from the surrounding area will be directed southward to discharge off the building and into the lower dam basin.

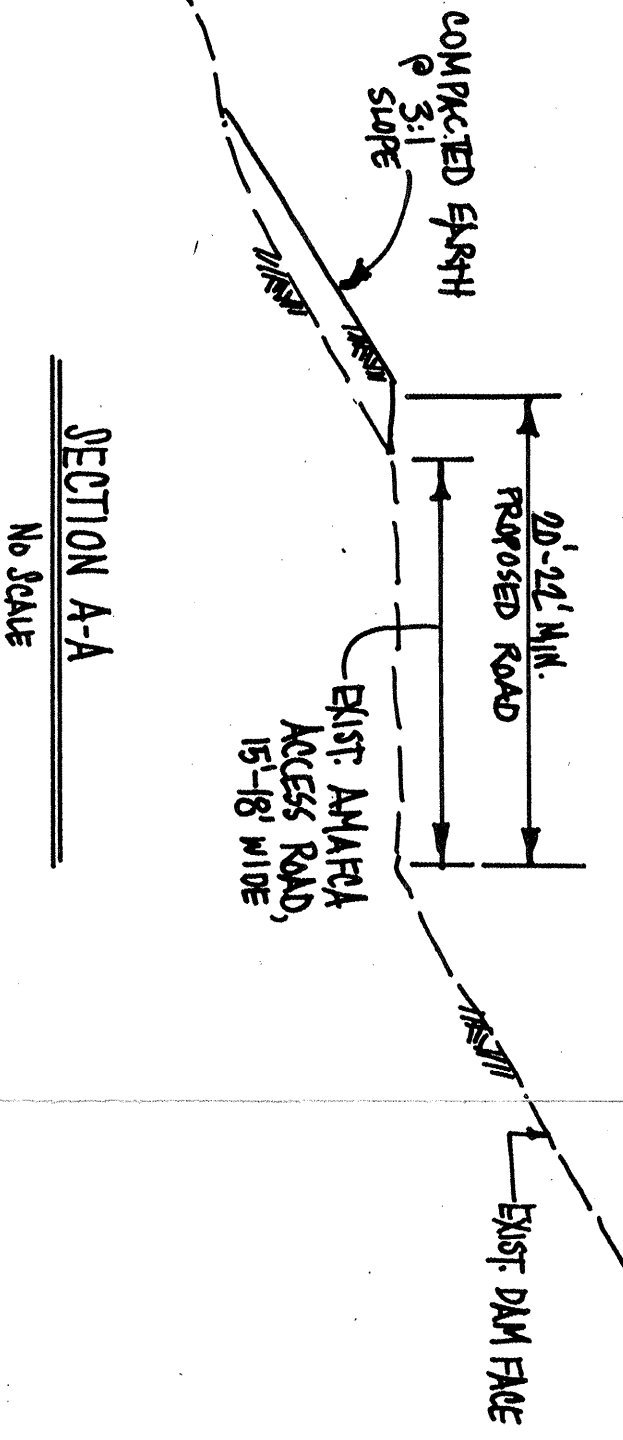
Water and power service are anticipated to be the only utilities required for the building. Water service will be extended from a proposed 10" waterline to be constructed with the proposed apartment development on Tract N-1. Easements across the apartment development and surrounding area will be required for water service. A water and sanitary sewer availability statement has been requested from the City.

All disturbed, graded areas of this project will be seeded with native grasses in accordance with the most recent edition of the City of Albuquerque Standard Specifications.

UTILITY PLAN

Water and power service are anticipated to be the only utilities required for the building. Water service will be extended from a proposed 10" waterline to be constructed with the proposed apartment development on Tract N-1. Easements across the apartment development and surrounding area will be required for water service. A water and sanitary sewer availability statement has been requested from the City.

SECTION A-A
No Scale



ACADEMY BASEBALL FIELD			
CONCEPTUAL GRADING/ DRAINAGE/UTILITY PLAN			
Project No.	Sheet No.	Sheet 2 of 3	
Revision	Date	Scale	
1	6/22/94	1" = 30'	
2	6/22/94	1" = 30'	
3	6/22/94	1" = 30'	

