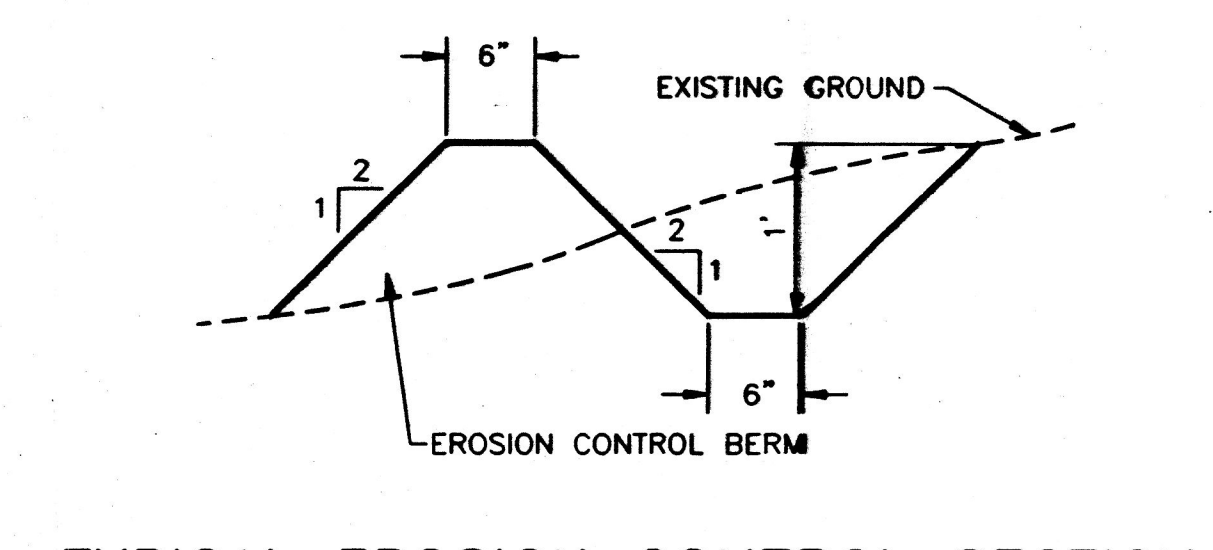
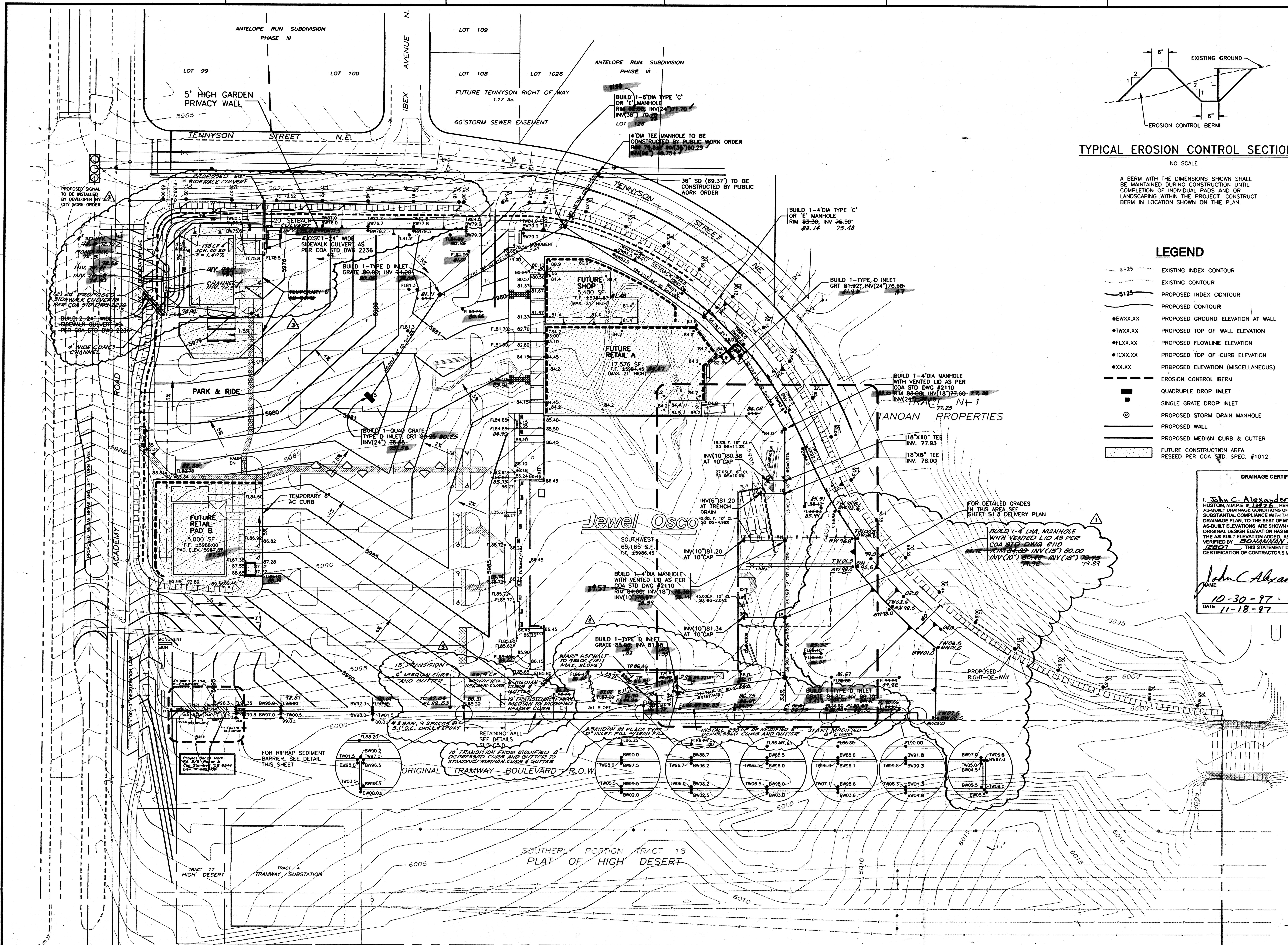




TYPICAL EROSION CONTROL SECTION

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL PADS AND OR LANDSCAPING WITHIN THE PROJECT. CONSTRUCT BERM IN LOCATION SHOWN ON THE PLAN.

LEGEND

- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED GROUND ELEVATION AT WALL
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED ELEVATION (MISCELLANEOUS)
- EROSION CONTROL BERM
- QUADRUPEL DROP INLET
- SINGLE GRATE DROP INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WALL
- PROPOSED MEDIAN CURB & GUTTER
- FUTURE CONSTRUCTION AREA
- RESEED PER COA STD. SPEC. #1012

DRAINAGE CERTIFICATION

I, **John C. Alexander**, of BOHANNAN-HUSTON, INC., hereby certify that the AS-BUILT ELEVATIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE VERIFIED BY **BOHANNAN-HUSTON, INC.** L.S. # **18907**. THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

John C. Alexander
DATE **10-30-97** (Temporary)
DATE **11-18-97** (Permanent)



- GENERAL NOTES:
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SOILS REPORT AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
 2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
 5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
 6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES TO REMAIN (SEE SHEET C4) WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
 7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
 8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
 9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TOPSOIL DISTURBANCE AND EXCAVATION PERMITS, ETC.).
 10. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
 11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
 12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
 13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
 14. CONTRACTOR SHALL REMOVE & DISPOSE OF EXISTING FENCING ON-SITE.
- EROSION CONTROL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. EROSION CONTROL BERMS ARE REQUIRED ALONG WEST AND SOUTH SIDES.
 5. ALL EROSION CONTROL BERMS AND SWALES MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.
 6. RESEED EXCESS DISTURBED AREAS PER COA STANDARD SPEC #1012.
- NOTE:
- THE CONTRACTOR SHALL PERFORM HIS OWN EARTHWORK ANALYSIS FROM THIS GRADING AND DRAINAGE PLAN TO DETERMINE VOLUMES. IF THE CONTRACTOR DETERMINES A CONFLICT WITH THE FOLLOWING ESTIMATE, HE SHALL NOTIFY THE ENGINEER IMMEDIATELY. THE ENGINEER'S ESTIMATE INDICATES APPROXIMATELY 80,000 CY OF CUT AND 5,000 CY OF UNADJUSTED FILL. THIS REQUIRES THAT APPROXIMATELY 2,500 CY OF EXCESS DIRT BE REMOVED FROM THIS SITE. NEGOTIATIONS ARE UNDERWAY WITH ARAFC, ARA FOR A DISPOSAL SITE WITHIN THE PINO DAM, WHICH IS APPROXIMATELY 2,500 FEET FROM THIS SITE, ALONG THE TRAVELED PATH.
- THE SITE CONTRACTOR IS TO LEGALLY DISPOSE OF ALL EXCESS EARTH AND OTHER DEBRIS (BOTH NATURAL AND MAN MADE).
- ACCEPTABLE MATERIALS FOR STORM DRAIN (UNLESS OTHERWISE DESIGNATED):
- HIGH DENSITY POLYETHYLENE PER HANCOCK HI-9 SPECIFICATION OR ENGINEER'S APPROVED EQUAL.
 - SDR 35, PVC FOR STORM DRAIN PIPE LESS THAN 12" DIA.
 - RCP CLASS III

STORM DRAIN COORDINATE LISTING

PT#	X	Y
1	425333.99	1511321.91
2	425381.44	1511291.70
3	425392.51	1511284.81
4	425468.00	1511146.69
5	425580.04	1511071.24
6	425401.44	1511140.04
7	425534.84	1511479.61
8	425615.38	1511527.63
9	425672.53	1511527.80
10	425686.42	1511527.64
11	425738.78	1511527.65
12	425824.03	1511527.67
13	425890.39	1511527.68
14	425907.80	1511411.22
15	425672.54	1511508.81
16	425686.42	1511500.61
17	425738.79	1511482.65
18	425824.04	1511482.67

RIPRAP SEDIMENT BARRIER DETAIL

SCALE 1"=20'

SECTION A-A

SCALE 1"=10'

SECTION B-B

SCALE 1"=5'

REMO GIANNI ARCHITECT

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architects planners engineers

5425 Dempster St. Des Plaines, IL 60018
tel: 708-598-1325 fax: 708-598-8139

Jewel Osco

STORE # 50-435
TRAMWAY & ACADEMY
ALBUQUERQUE, NEW MEXICO

SITE GRADING/DRAINAGE PLAN

AMERICAN STORES
PROPERTY INC.

348 East South Temple
Salt Lake City, Utah 84111

DATE: 11-18-97
BY: [Signature]
CHECKED: [Signature]
IN CHARGE: [Signature]

ISSUE: 50%
DATE: 9/9/96
BY: [Signature]
CHECKED: [Signature]
IN CHARGE: [Signature]

SHEET NO. 435