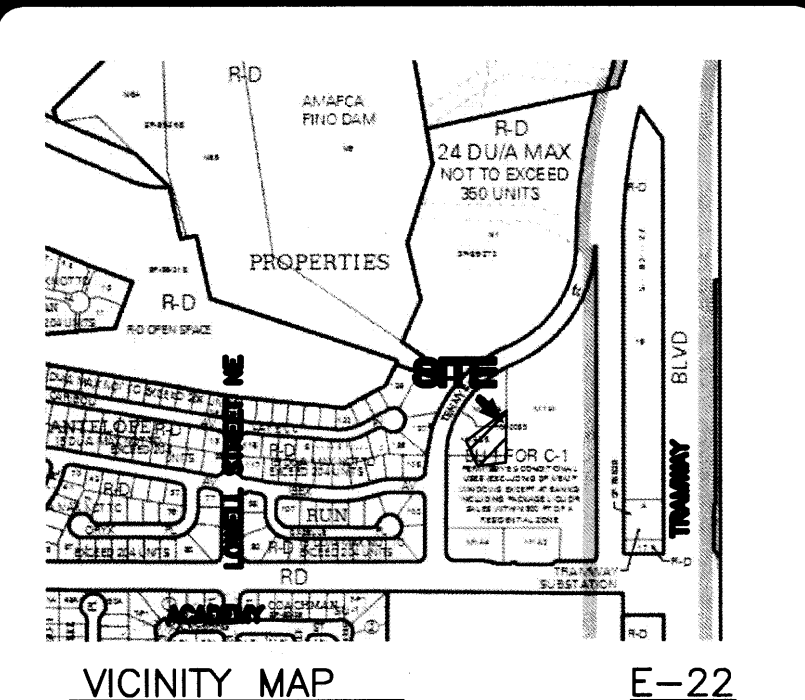
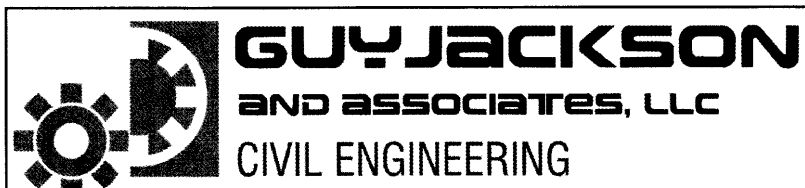
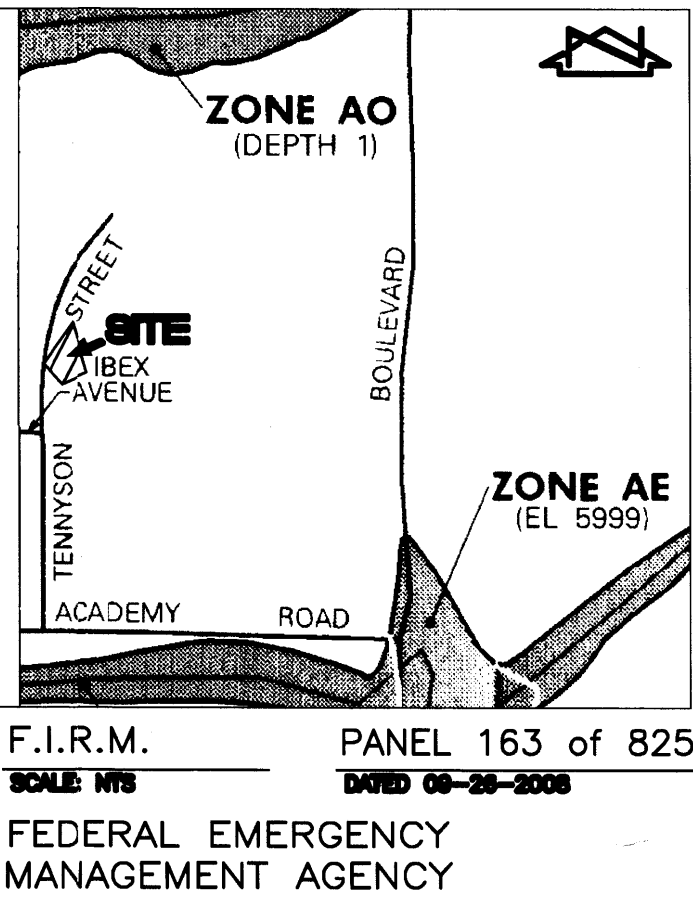


GENERAL NOTES:

- A. REFER TO SHEET C-G.0 "CIVIL CONSTRUCTION NOTES" TO ACCOMMODATE THIS PLAN
- B. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "11-E22", HAVING AN ELEVATION OF 5945.844, NAVD 1988.



- LEGEND
- DIRECTION OF FLOW
 - PROPOSED BASIN BOUNDARY
 - PROPOSED SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR

Case Number: Z-96-38-2

REV.	DESCRIPTION	DATE

GUY C. JACKSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
13289
12-27-2013
ENGINEER

ARCHITECT

ACADEMY STORAGE

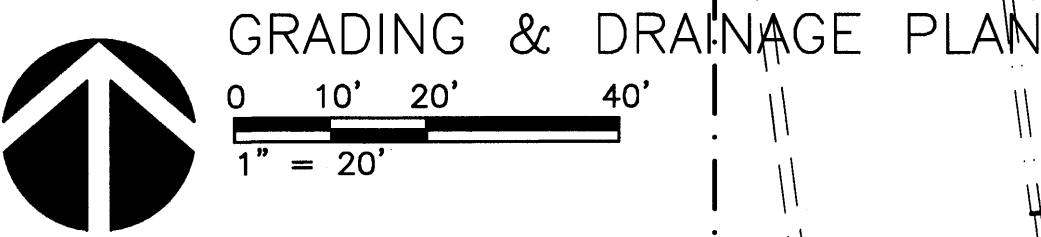
PROJECT NO. NOVEMBER 2013

GRADING & DRAINAGE PLAN

DRAWING NO.

C-2.1

RECEIVED
DEC 03 2013
LAND DEVELOPMENT SECTION



DRAINAGE ANALYSIS

PROJECT DESCRIPTION:
THE PROJECT SITE (TRAMWAY STORAGE) IS LOCATED BEHIND THE EXISTING ALBERTSONS GROCERY STORE AT 12201 ACADEMY, NE. AN AMENDED SITE DEVELOPMENT PLAN FOR A MINI STORAGE WAS APPROVED IN 1999 AND AN ADMINISTRATIVE AMENDMENT WAS APPROVED FOR THE PROPOSED INDOOR VEHICLE STORAGE AREAS APPROVED IN OCTOBER 2013.

THE PROJECT WILL CONSIST OF APPROX. 10,170SF OF SINGLE-STORY INDOOR VEHICLE STORAGE. THERE WILL BE 9 UNITS WITH OVERHEAD GARAGE DOORS WITH ACCESS TO THE EXISTING PAVED PRIVATE ACCESS NORTH AND WEST OF THE PROPOSED BUILDINGS.

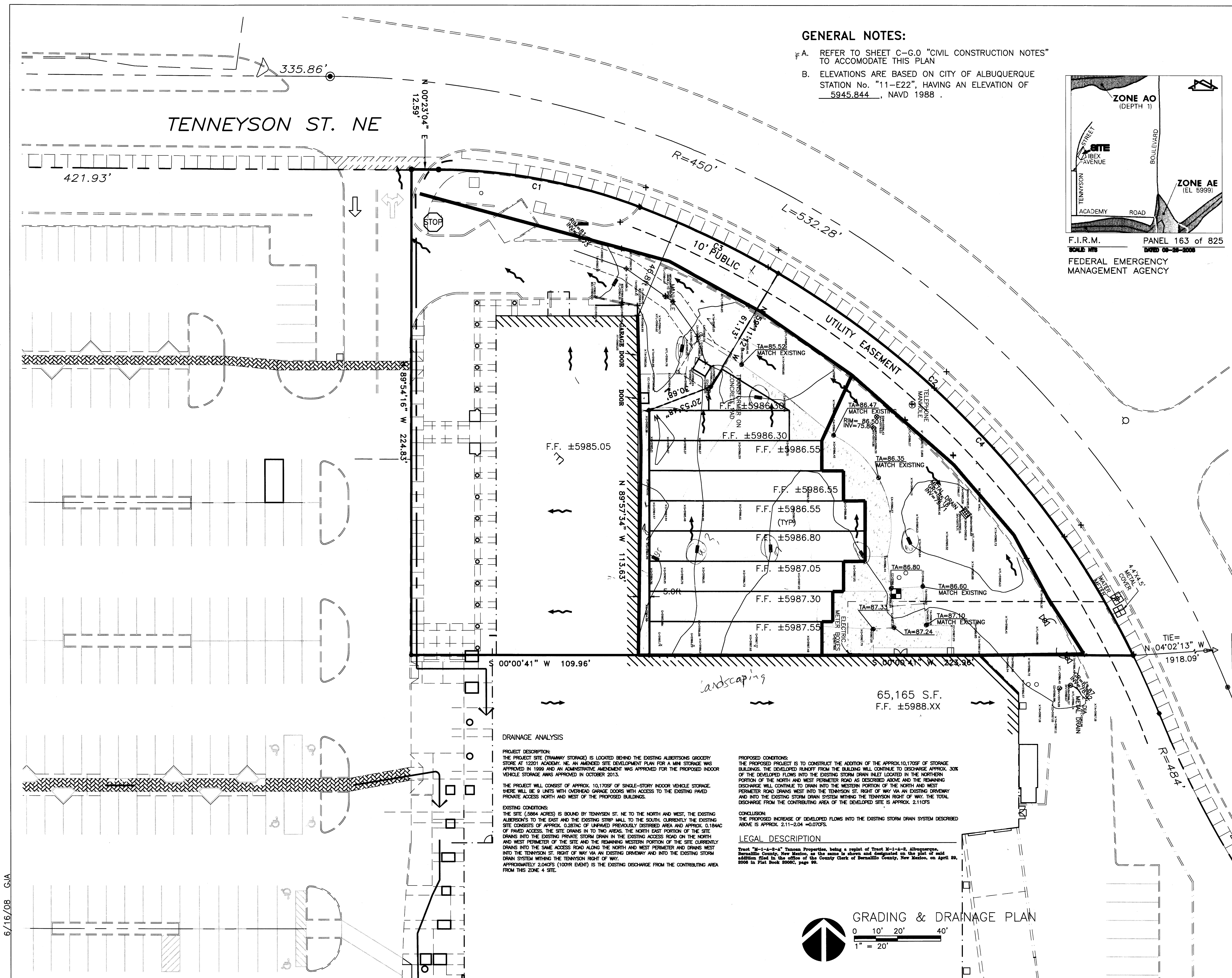
EXISTING CONDITIONS:
THE SITE (.5864 ACRES) IS BOUND BY TENNEYSON ST. NE TO THE NORTH AND WEST, THE EXISTING ALBERTSONS TO THE EAST AND THE EXISTING STRIP MALL TO THE SOUTH. CURRENTLY THE EXISTING SITE CONSISTS OF APPROX. 0.287AC OF UNPAVED PREVIOUSLY DISTURBED AREA AND APPROX. 0.184AC OF PAVED ACCESS. THE SITE DRAINS IN TO TWO AREAS. THE NORTH EAST PORTION OF THE SITE DRAINS INTO THE EXISTING PRIVATE STORM DRAIN IN THE EXISTING ACCESS ROAD ON THE NORTH AND WEST PERIMETER OF THE SITE AND THE REMAINING WESTERN PORTION OF THE SITE CURRENTLY DRAINS INTO THE SAME ACCESS ROAD ALONG THE NORTH AND WEST PERIMETER AND DRAINS WEST INTO THE TENNEYSON ST. RIGHT OF WAY VIA AN EXISTING DRIVEWAY AND INTO THE EXISTING STORM DRAIN SYSTEM WITHIN THE TENNEYSON RIGHT OF WAY.

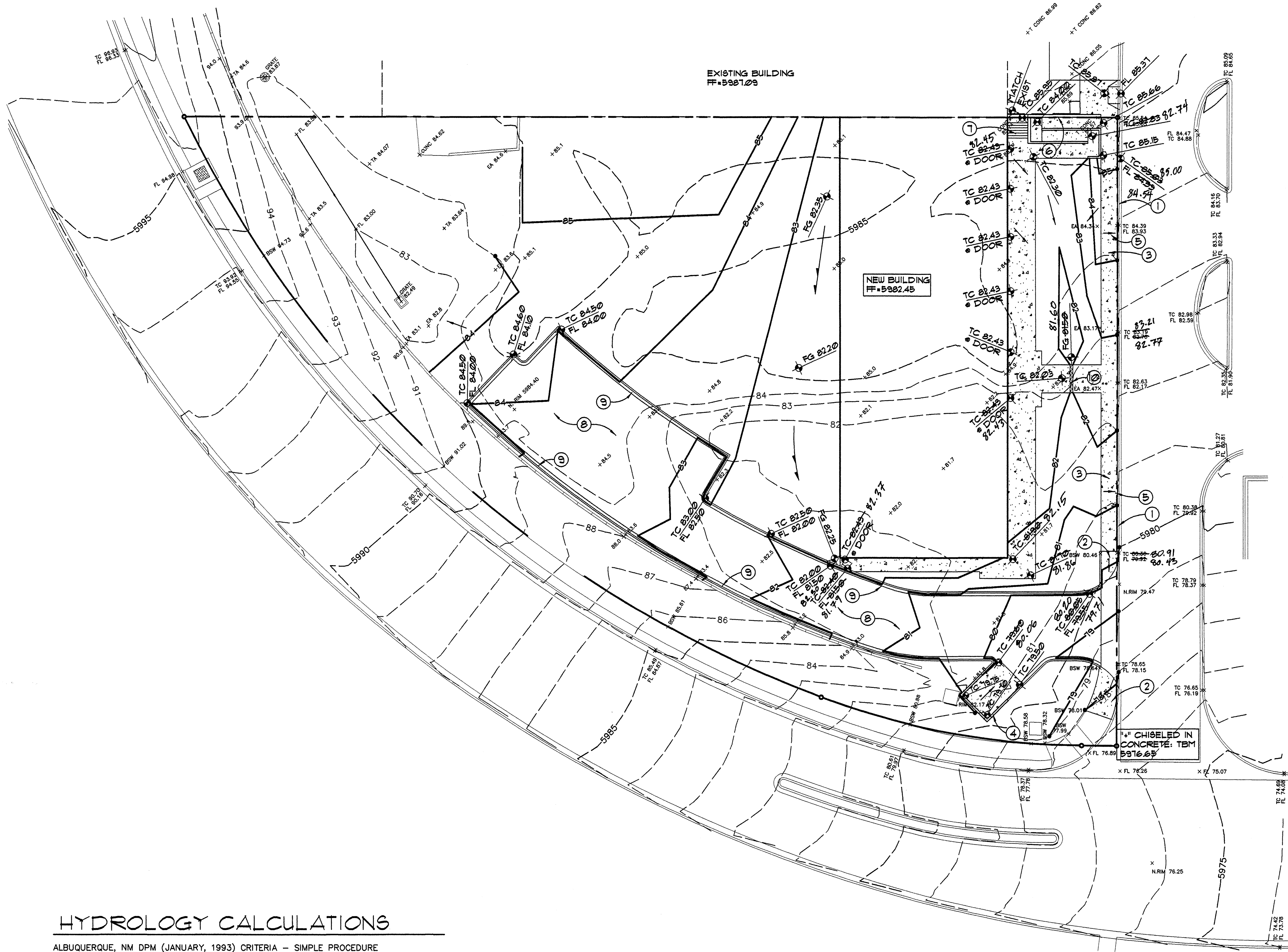
APPROXIMATELY 2.04CFS (100% EVENT) IS THE EXISTING DISCHARGE FROM THE CONTRIBUTING AREA FROM THIS ZONE 4 SITE.

PROPOSED CONDITIONS:
THE PROPOSED PROJECT IS TO CONSTRUCT THE ADDITION OF THE APPROX. 10,170SF OF STORAGE BUILDINGS. THE DEVELOPED RUNOFF FROM THE BUILDING WILL CONTINUE TO DISCHARGE APPROX. 30% OF THE DEVELOPED FLOW INTO THE EXISTING STORM DRAIN INLET LOCATED IN THE NORTHERN PORTION OF THE NORTH AND WEST PERIMETER ROAD AS DESCRIBED ABOVE AND THE REMAINING DISCHARGE WILL CONTINUE TO DRAIN INTO THE WESTERN PORTION OF THE NORTH AND WEST PERIMETER ROAD DRAINS WEST INTO THE TENNEYSON ST. RIGHT OF WAY VIA AN EXISTING DRIVEWAY AND INTO THE EXISTING STORM DRAIN SYSTEM WITHIN THE TENNEYSON RIGHT OF WAY. THE TOTAL DISCHARGE FROM THE CONTRIBUTING AREA OF THE DEVELOPED SITE IS APPROX. 2.11CFS.

CONCLUSION:
THE PROPOSED INCREASE OF DEVELOPED FLOWS INTO THE EXISTING STORM DRAIN SYSTEM DESCRIBED ABOVE IS APPROX. 2.11-2.04 = 0.07CFS.

LEGAL DESCRIPTION
Tract "M-1-A-2-4" Tancos Properties, being a replat of Tract M-1-A-2, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 2008 in Plat Book 2008C, page 90.





HYDROLOGY CALCULATIONS

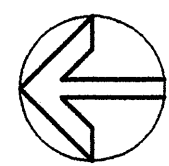
ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 4 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.23 2.90 3.65 4.70 5.95

EXISTING CONDITIONS		TREATMENT AREA		AREA	P6	Q	Q	V6	V24	V4day	V10day
CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.00	0%	0.80	2.20	0.00	0	0	0	0	0	0
B	0.843	100%	1.08	2.92	2.46	3,305	3,305	3,305	3,305	3,305	3,305
C	0.00	0%	1.46	3.73	0.00	0	0	0	0	0	0
D	0.00	0%	2.64	5.25	0.00	0	0	0	0	0	0
TOTALS	0.843	100%			2.46	3,305	3,305	3,305	3,305	3,305	3,305

DEVELOPED CONDITIONS		TREATMENT AREA		AREA	P6	Q	Q	V6	V24	V4day	V10day
CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.086	10%	0.80	2.20	0.19	250	250	250	250	250	250
B	0.312	37%	1.08	2.92	0.91	1,223	1,223	1,223	1,223	1,223	1,223
C	0.000	100%	1.46	3.73	0.00	0	0	0	0	0	0
D	0.445	53%	2.64	5.25	2.34	4,265	5,476	7,172	9,191		
TOTALS	0.843	100%			3.44	5,737	6,949	8,645	10,664		

GRADING AND DRAINAGE PLAN

1"=20'

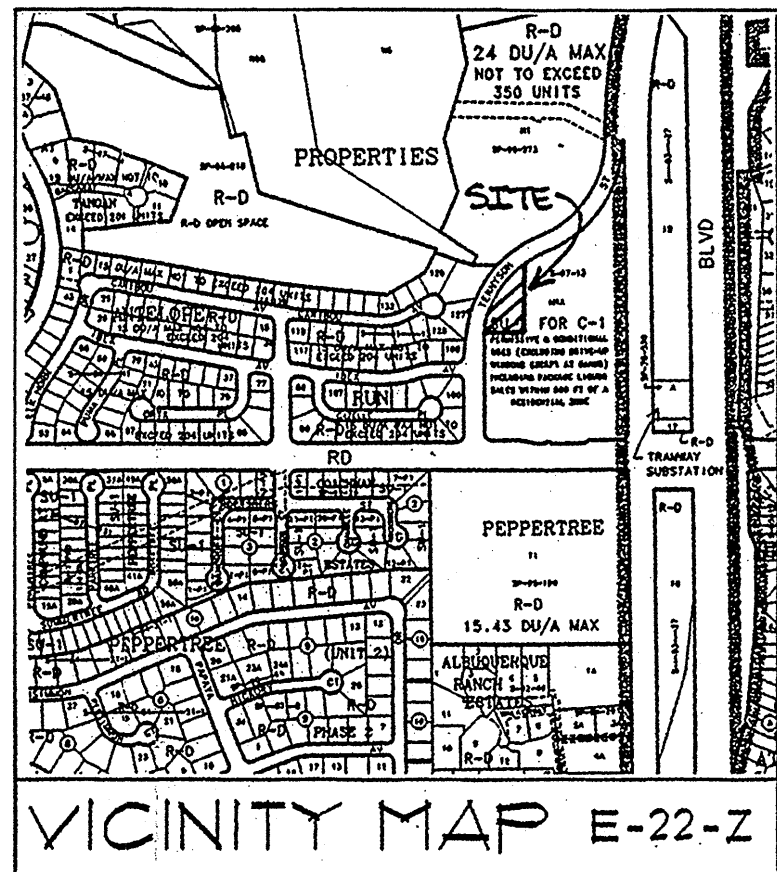
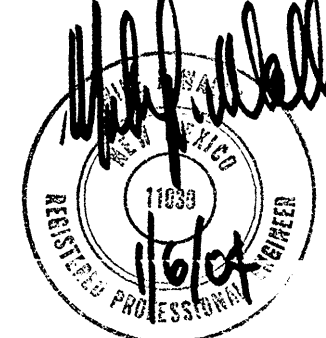


DRAINAGE CERTIFICATION

I, MIKE J. WALLA, NMPE 11030, OF THE FIRM WALLA ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/16/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MIKE J. WALLA, NMPS 11030, OF THE FIRM WALLA ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/06/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF COMPLETION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Mike J. Walla
11/6/04
DATE



GENERAL NOTE

NO OFFSITE FLOWS AFFECT THE DRAINAGE ON THIS SITE. ROOF DRAINAGE FROM THE BUILDING ADJACENT TO THIS SITE IS DIRECTED SOUTH. DRAINAGE IN THE NORTH PAVED AREA IS DIRECTED TO STORM DRAINS SOUTH OF THE SITE.

LEGAL DESCRIPTION

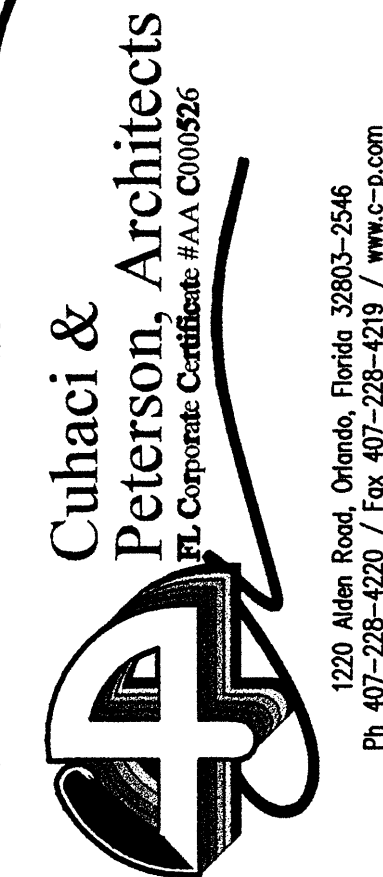
TRACT M-1-A-2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS M-1-A-1, M-1-A-2, M-1-A-3 AND M-1-A-4, TANGAN PROPERTIES, FILE IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2002, IN BOOK 2002C, PAGE 335

KEYED NOTES

- EXISTING CURB TO REMAIN
- HANDICAP RAMP W/CONCRETE CURB
- NEW CONCRETE WALK PER DETAIL 1/C102 PROVIDE CONTROL JOINTS @ 6'-0" O.C. AND CONSTRUCTION JOINTS @ 18'-0" O.C.
- 6'-0" TALL CMU WALL @ REFUSE ENCLOSURE W/6" THICK CONCRETE SLAB - CONSTRUCT PER CITY OF ALBUQUERQUE STANDARD DETAIL
- 2% CROSS SLOPE
- 8" CONCRETE RETAINING WALL PER DETAIL 2/C102
- CONCRETE STEPS PER DETAIL 3/C102
- NEW ASPHALT PAVED DRIVE AND PARKING PER DETAIL 4/C102
- NEW CONCRETE CURB AND GUTTER PER DETAIL 5/C102
- 12" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DETAIL 2236

LEGEND

- EXISTING BUILDING LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- NEW SWALE DIRECTION
- FF FINISHED FLOOR
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- EXTENT OF NEW CONCRETE PAVING
- AS BUILT SPOT ELEVATION



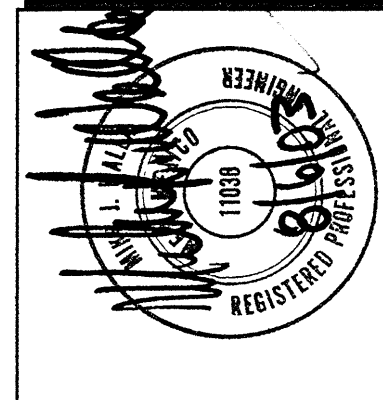
Cuhaei &
Peterson, Architects
P.E. Corporate Certificate #AA C000526

1220 Main Road, Colorado, Florida 32803-2546
Ph 407-228-4220 / Fax 407-228-4219 / www.c-p.com

Can Am Development, LLC
2930 E. CAMELBACK ROAD, SUITE 195
PHOENIX, ARIZONA 85016

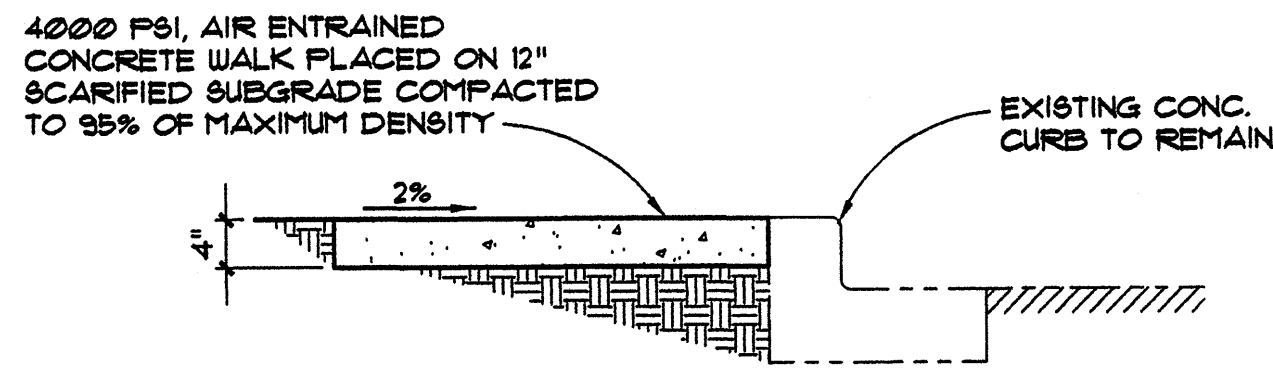
Inline Retail Building
Albuquerque, NM

GRADING AND DRAINAGE PLAN

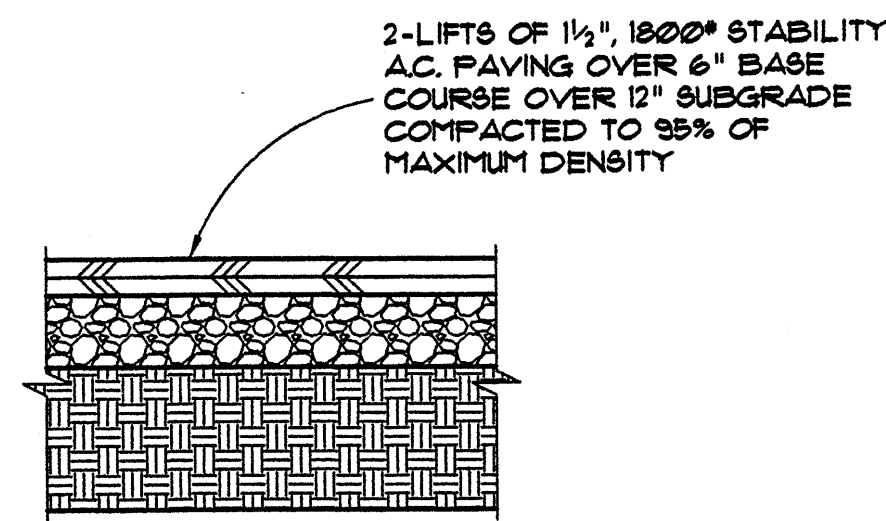


PROJECT NO.	201255
ISSUE DATE	12/06/03
DRAWN	LEK
CHECKED	MJM

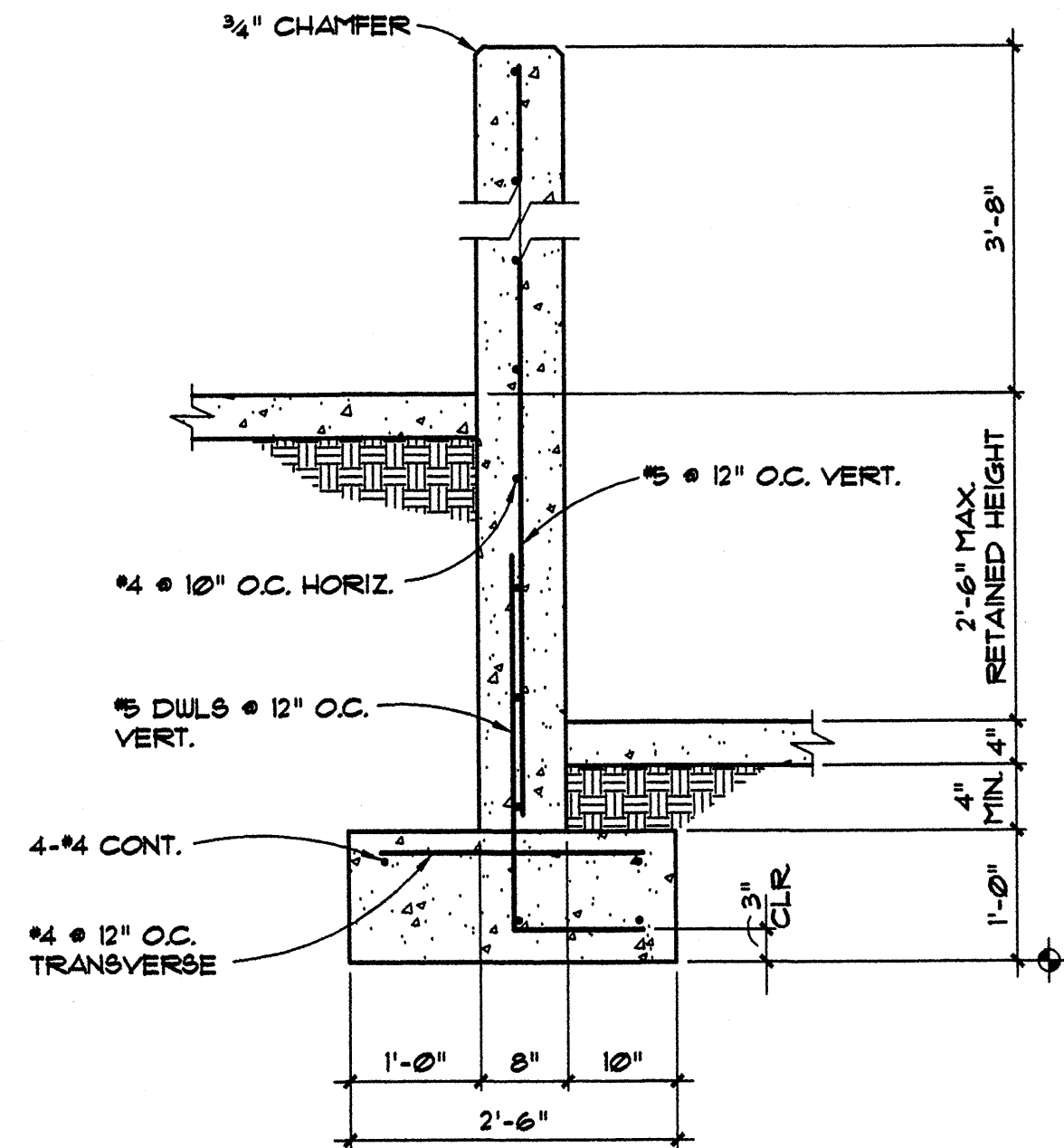
C101



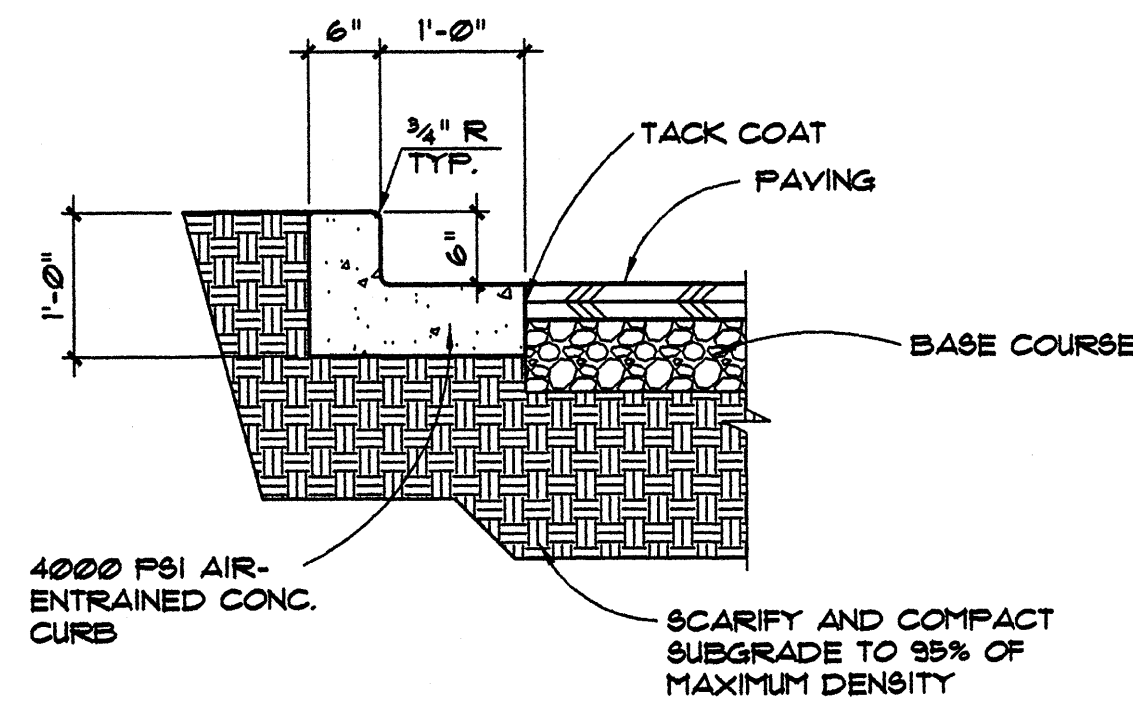
1 NEW SIDEWALK SECTION
3/4" = 1'-0"



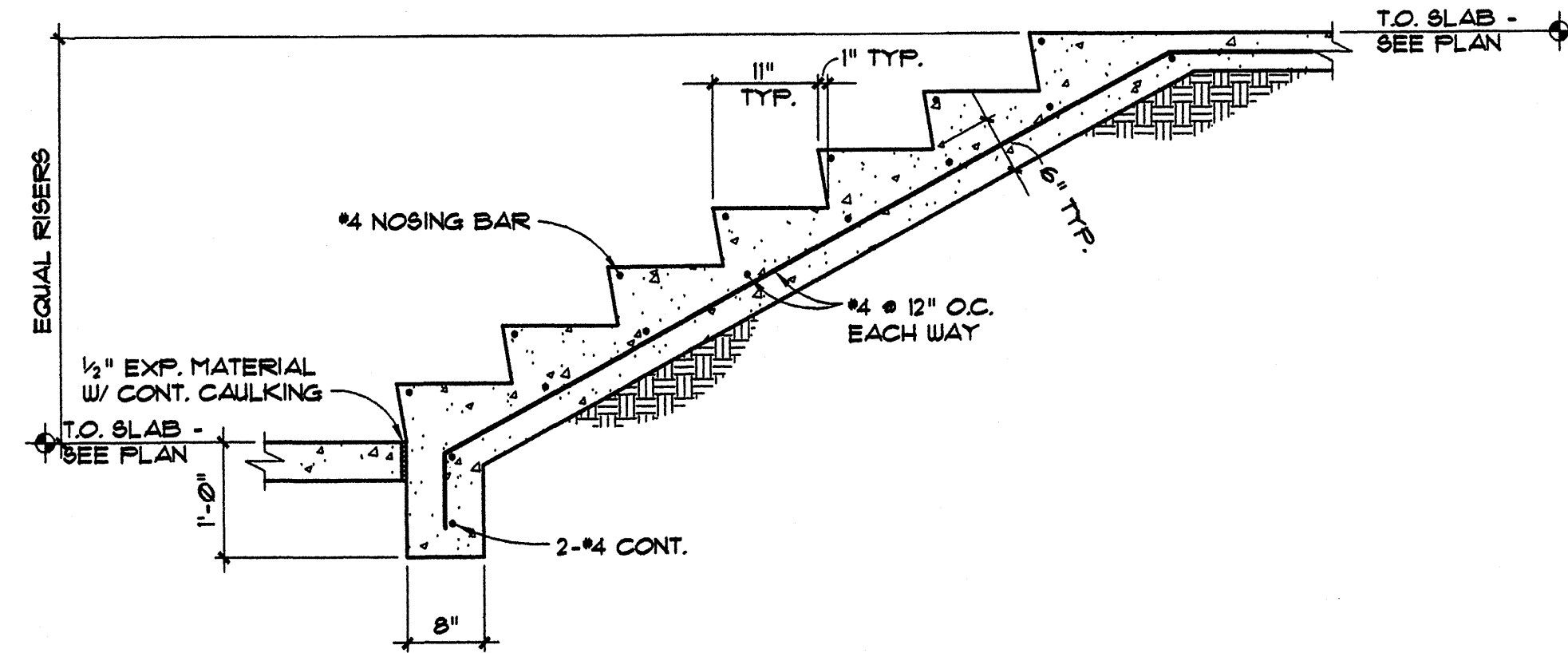
4 TYPICAL PAVING SECTION
3/4" = 1'-0"



2 RETAINING WALL SECTION
3/4" = 1'-0"

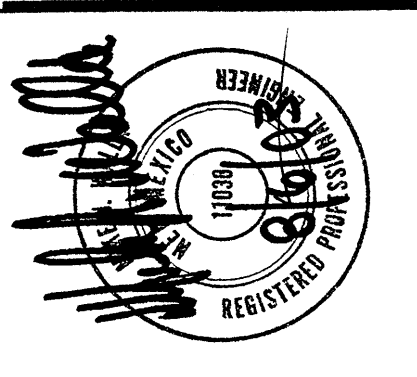


5 CURB SECTION
3/4" = 1'-0"



3 CONCRETE STAIR SECTION
3/4" = 1'-0"

PROJECT NO. 207255
ISSUE DATE 12/06/03
DRAWN LEX
CHECKED MMW



1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1

PROJECT NO.	207255
ISSUE DATE	12/06/03
DRAWN	LEX
CHECKED	MMW

PROJECT NAME
Inline Retail Building
Albuquerque, NM

CLIENT NAME
Can Am Development, LLC
2830 E. CAMELBACK ROAD, SUITE 195
PHOENIX, ARIZONA 85016

Cuhaci & Peterson, Architects
FL Corporate Certificate #AA C00026

SHEET TITLE
GRADING AND DRAINAGE SECTIONS AND DETAILS

1220 Alden Road, Orlando, Florida 32803-2546
Ph 407-228-4220 / Fax 407-228-4219 / www.c-p.com

C102

