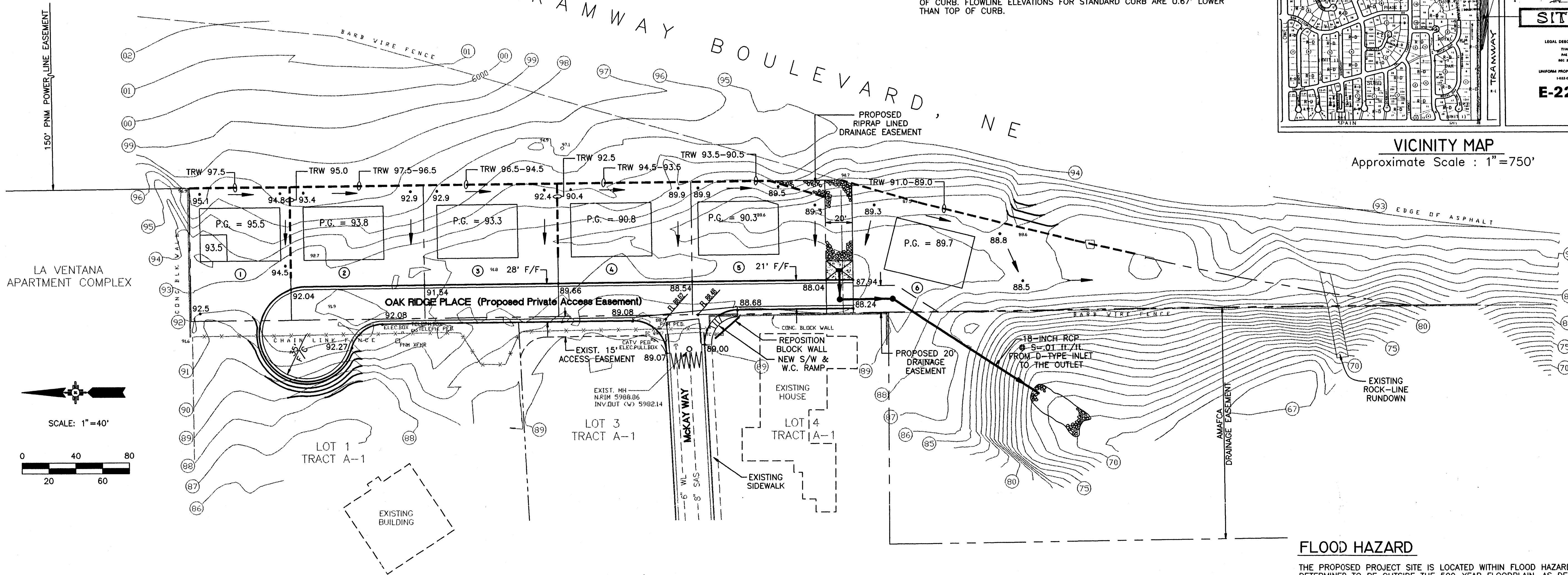


[illegible]

E-22













THE PROPOSED PROJECT SITE IS LOCATED WITHIN FLOOD HAZARD ZONE X, DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, AS DESIGNATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, PANEL NO. 163 OF 825, MAP NO. 35001C0163D, EFFECTIVE DATE SEPTEMBER 20, 1996.

THE PROJECTED IS LOCATED AT THE WEST EDGE OF TRAMWAY BOULEVARD BETWEEN SPAIN ROAD AND ACADEMY. THE SITE IS BOUNDED ON THE NORTH BY THE LA VENTANA APARTMENT COMPLEX, ON THE WEST BY SINGLE FAMILY HOMES AND ON THE EAST AND SOUTH BY TRAMWAY BOULEVARD. LAND IS UNDEVELOPED BUT DISTURBED FROM ADJACENT IMPROVEMENTS. ACCESS TO THE SITE IS FROM THE EAST END OF Mc Kay WAY. AN AMFAC DRAINAGE EASEMENT PARALLELS THE SOUTH WEST EDGE OF THE SITE.

OFF-SITE RUNOFF IS LIMITED TO THE ADJACENT POWER LINE EASEMENT AT THE EAST SIDE OF THE PROPERTY. RUNOFF FROM THE EASEMENT COMBINES WITH SITE RUNOFF AS OVERLAND FLOW THAT CONVERGES AT A ROCK-LINED RUNDOWN INTO THE AMAFCA DRAINAGE EASEMENT AT THE EXTREME SOUTH END OF THE SITE. THE PROPERTY SLOPES EAST TO WEST AT 4.8 PERCENT AND NORTH TO SOUTH AT 1.1 PERCENT. VEGETATION IS SPARSE, COMPRISED OF NATIVE GRASSES AND WEEDS.

PROPOSED IMPROVEMENTS INCLUDE A NORTH-SOUTH PRIVATE EASEMENT AND PUBLIC UTILITY EASEMENT WITH PAVED ROADWAY AND CURB AND GUTTER; 6-INCH WATER LINE, 8-INCH SANITARY SEWER, 18-INCH STORM DRAIN, SINGLE D INLET, RIP RAP LINED DRAINAGE EASEMENT, SITE GRADING AND RETAINING WALLS.

EXISTING CONTOURS	
PROPOSED SPOT ELEVATIONS	• 45.7
TOP OF RETAINING WALL ELEVATION	TRW 46.5
EXISTING SPOT ELEVATIONS	x 50.1
FLOW LINE ELEVATIONS	FL
PAD GRADE	P.G.
FLOW DIRECTION	
RETAINING WALL	
CHAIN LINE FENCE	x — x — x
DRAINAGE BASIN BOUNDARY	
DRAINAGE INLET, TYPE D	
STORM DRAIN MH	
STORM DRAIN & FLOW DIRECTION	
PROPOSED LOT NO.	
VALLEY GUTTER	
RIP RAP EROSION PROTECTION	
WATER BLOCK	

PARCELS C-1, D-1, AND G-1, PORTIONS OF TRAMWAY BOULEVARD
(VACATED), ELENA GALLEGOS GRANT (PROJECTED SECTIONS 26 AND 27,
TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN).

PROTEC CONSULTING
P.O. BOX 27007
ALBUQUERQUE, NEW MEXICO 87125

ALDRICH SURVEYING
P.O. BOX 30701
ALBUQUERQUE, NEW MEXICO 87190

ACS STATION 3-E22
SQUARE CHISELED ON NW CORNER OF CONCRETE ELECTRIC TRANSFORMER
PAD IN LOWELL ST. , NE; NORTH SIDE OF INTERSECTION WITH SAN VICTORIO
AVENUE. ELEV. 5891.21

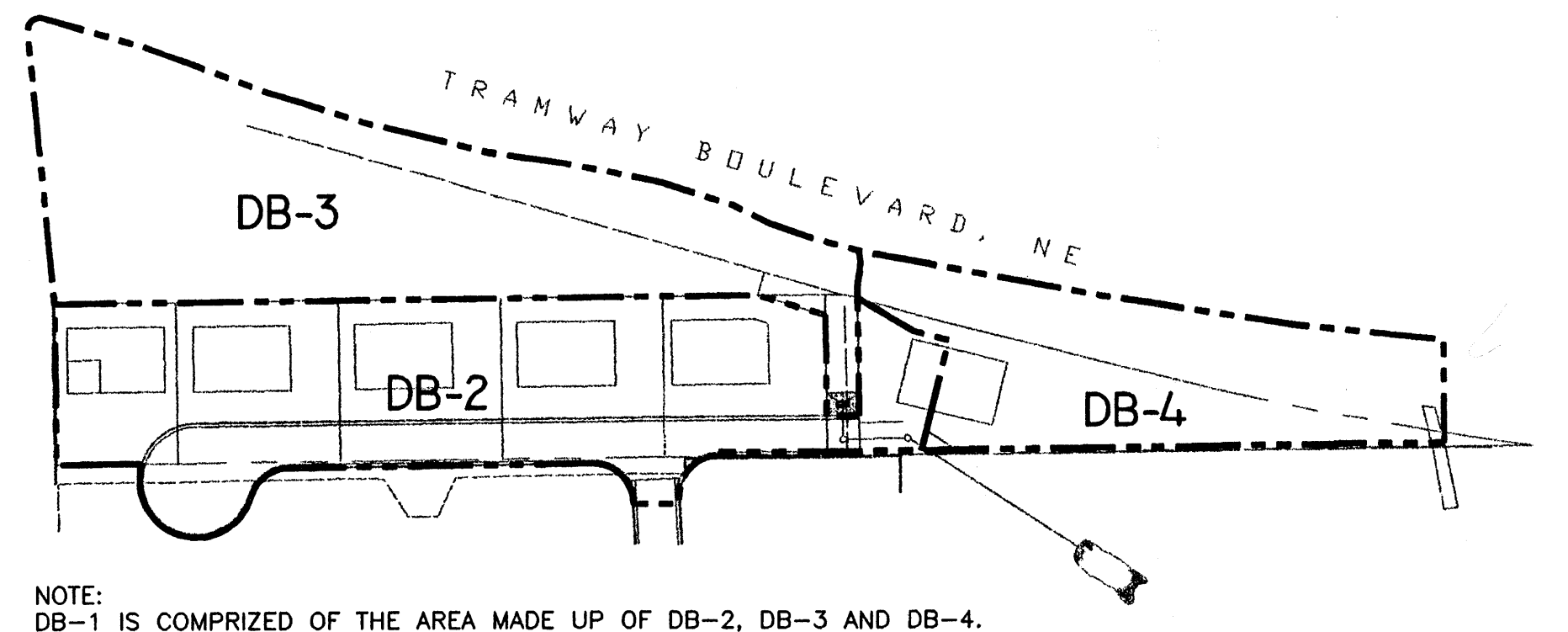
NORTH RIM OF MANHOLE IN STREET ADJACENT TO THE WEST LINE OF
TRACT SHOWN HEREON. ELEV. 5988.86 .

R-D

SIX (6) SINGLE FAMILY RESIDENTIAL LOTS

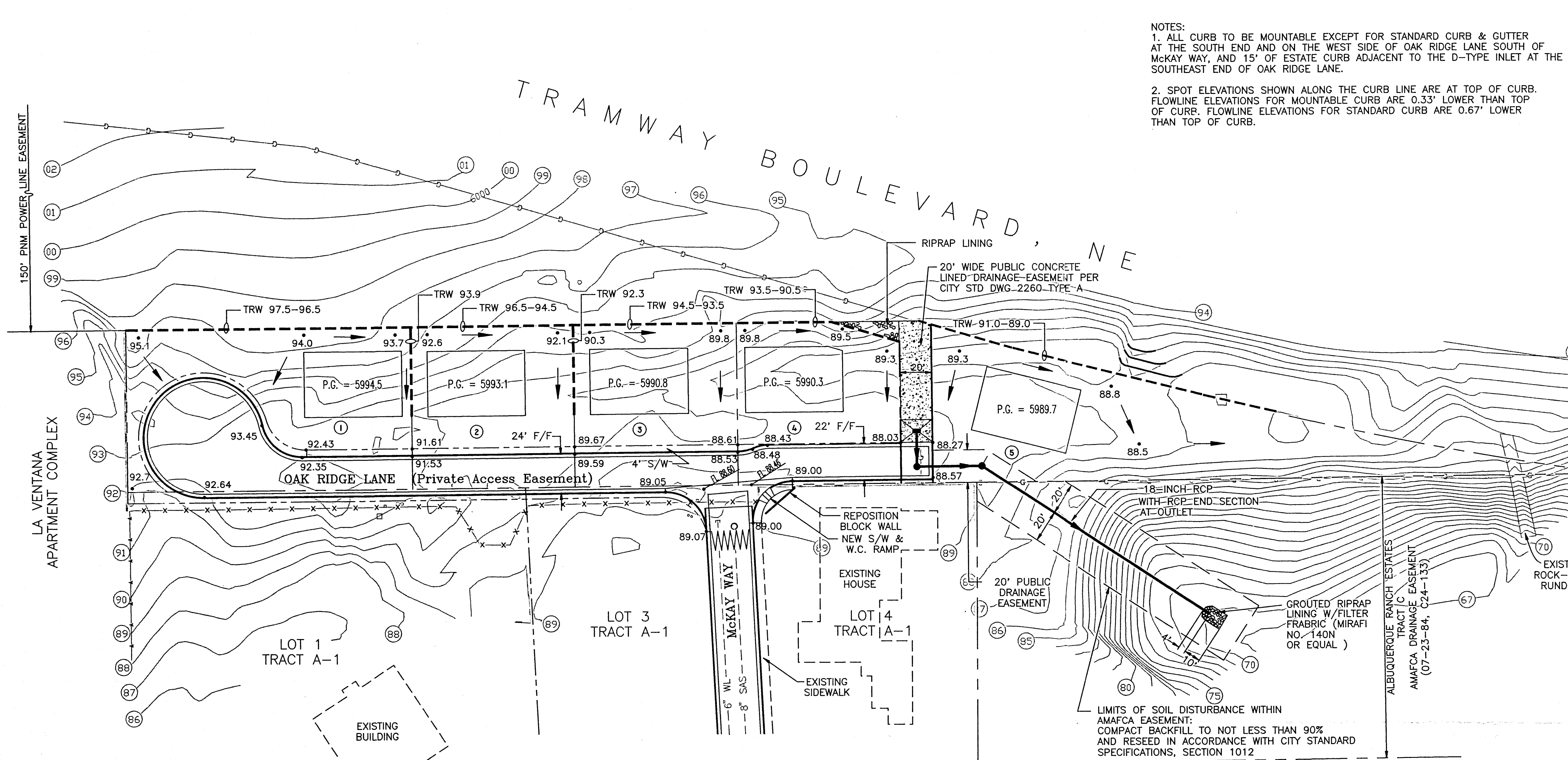
1.7298 ACRES, MORE OR LESS

DRAINAGE BASINS

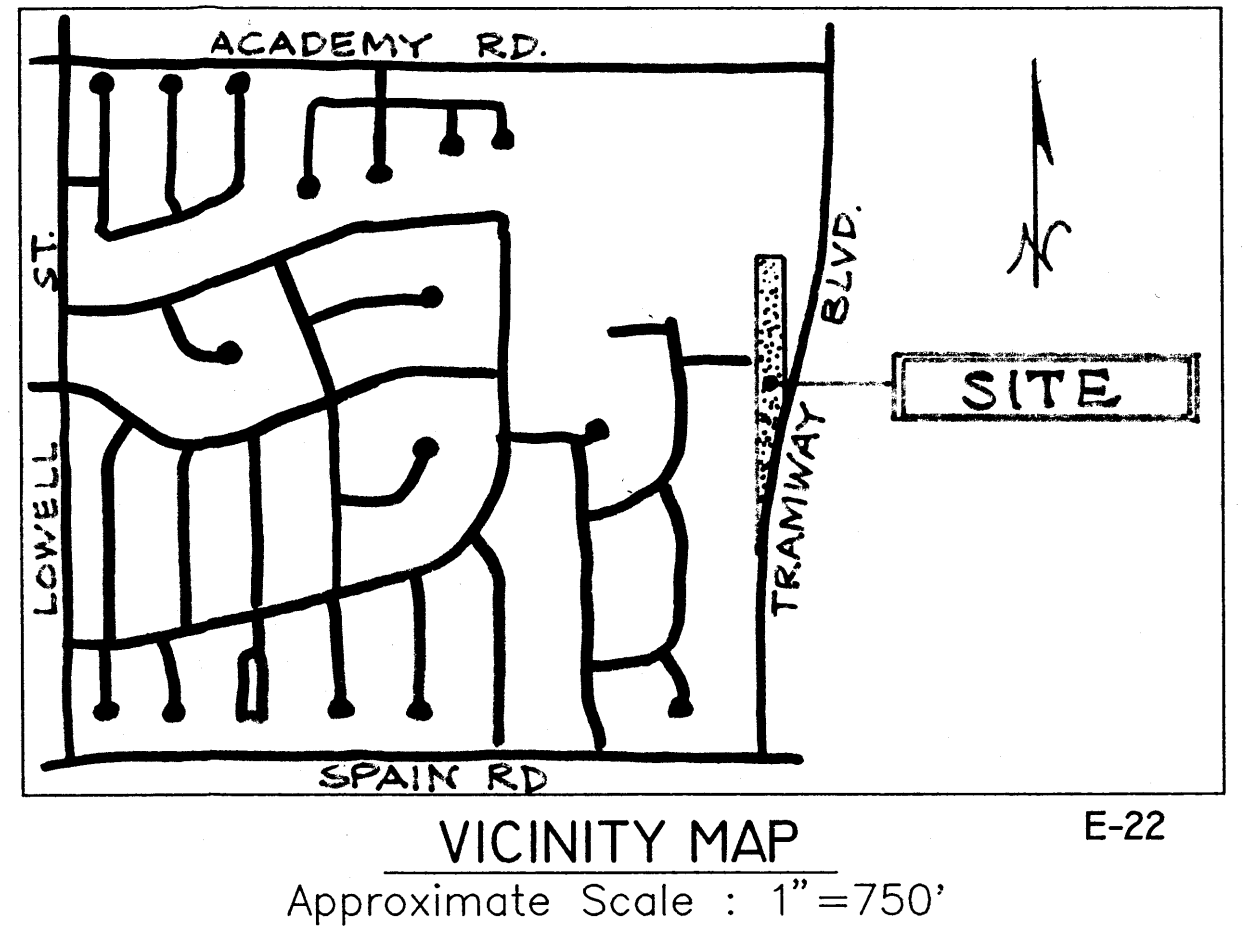


NOTE:
DB-1 IS COMPRISED OF THE AREA MADE UP OF DB-2, DB-3 AND DB-4.
AREA DB-1 IN THE DRAINAGE REPORT REPRESENTS EXISTING CONDITIONS.
AREAS DB-2, DB-3 AND DB-4 ARE ANALYZED AS CONDITIONS AFTER
DEVELOPMENT OF THIS PROJECT.

[illegible]



NOTES:
1. ALL CURB TO BE MOUNTABLE EXCEPT FOR STANDARD CURB & GUTTER AT THE SOUTH END AND ON THE WEST SIDE OF OAK RIDGE LANE SOUTH OF MCKAY WAY, AND 15' OF ESTATE CURB ADJACENT TO THE D-TYPE INLET AT THE SOUTHEAST END OF OAK RIDGE LANE.
2. SPOT ELEVATIONS SHOWN ALONG THE CURB LINE ARE AT TOP OF CURB. FLOWLINE ELEVATIONS FOR MOUNTABLE CURB ARE 0.33' LOWER THAN TOP OF CURB. FLOWLINE ELEVATIONS FOR STANDARD CURB ARE 0.67' LOWER THAN TOP OF CURB.



EROSION CONTROL MEASURES: THE CONTRACTOR SHALL PREVENT SOIL EROSION FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. CONSTRUCTION OF TEMPORARY BERMS OR EROSION FENCING AT PROPERTY LINES AND WETTING THE SOIL ARE ACCEPTABLE MEASURES TO PREVENT SOIL EROSION DO TO WIND OR WATER RUNOFF.
THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN PUBLIC RIGHT-OF-WAY TO PREVENT IT FROM BEING WASHED DOWN THE STREET.
THE CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT PRIOR TO STARTING THE CONSTRUCTION.

APPROVED FOR ROUGH GRADING _____ DATE _____

LEGEND

- EXISTING CONTOURS
- PROPOSED SPOT ELEVATIONS
- TOP OF RETAINING WALL ELEVATION
- EXISTING SPOT ELEVATIONS
- FLOW LINE ELEVATIONS
- PAD GRADE
- FLOW DIRECTION
- RETAINING WALL
- CHAIN LINE FENCE
- DRAINAGE BASIN BOUNDARY
- DRAINAGE INLET, TYPE D
- STORM DRAIN MH
- STORM DRAIN & FLOW DIRECTION
- PROPOSED LOT NO.
- VALLEY GUTTER
- RIP RAP EROSION PROTECTION
- WATER BLOCK

LEGAL DESCRIPTION

PARCELS C-1, D-1, AND G-1, PORTIONS OF TRAMWAY BOULEVARD (VACATED), ELENA GALLEGOS GRANT (PROJECTED SECTIONS 26 AND 27, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN).

ENGINEER

PROTEC CONSULTING
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SURVEYOR

ALDRICH SURVEYING
P.O. BOX 30701
ALBUQUERQUE, NEW MEXICO 87190

BENCHMARK

ACS STATION 3-E22
SQUARE CHISELED ON NW CORNER OF CONCRETE ELECTRIC TRANSFORMER PAD IN LOWELL ST., NE; NORTH SIDE OF INTERSECTION WITH SAN VICTORIO AVENUE. ELEV. 5891.21

TBM

NORTH RIM OF MANHOLE IN STREET ADJACENT TO THE WEST LINE OF TRACT SHOWN HEREON. ELEV. 5988.86

ZONING

R-D

PROPOSED

FIVE (5) SINGLE FAMILY RESIDENTIAL LOTS

AREA

1.7030 ACRES, MORE OR LESS

FLOOD HAZARD

THE PROPOSED PROJECT SITE IS LOCATED WITHIN FLOOD HAZARD ZONE X, DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, AS DESIGNATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, PANEL NO. 163 OF 825, MAP NO. 35001C0163D, EFFECTIVE DATE SEPTEMBER 20, 1996.

LOCATION AND DESCRIPTION


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EXISTING CONDITIONS

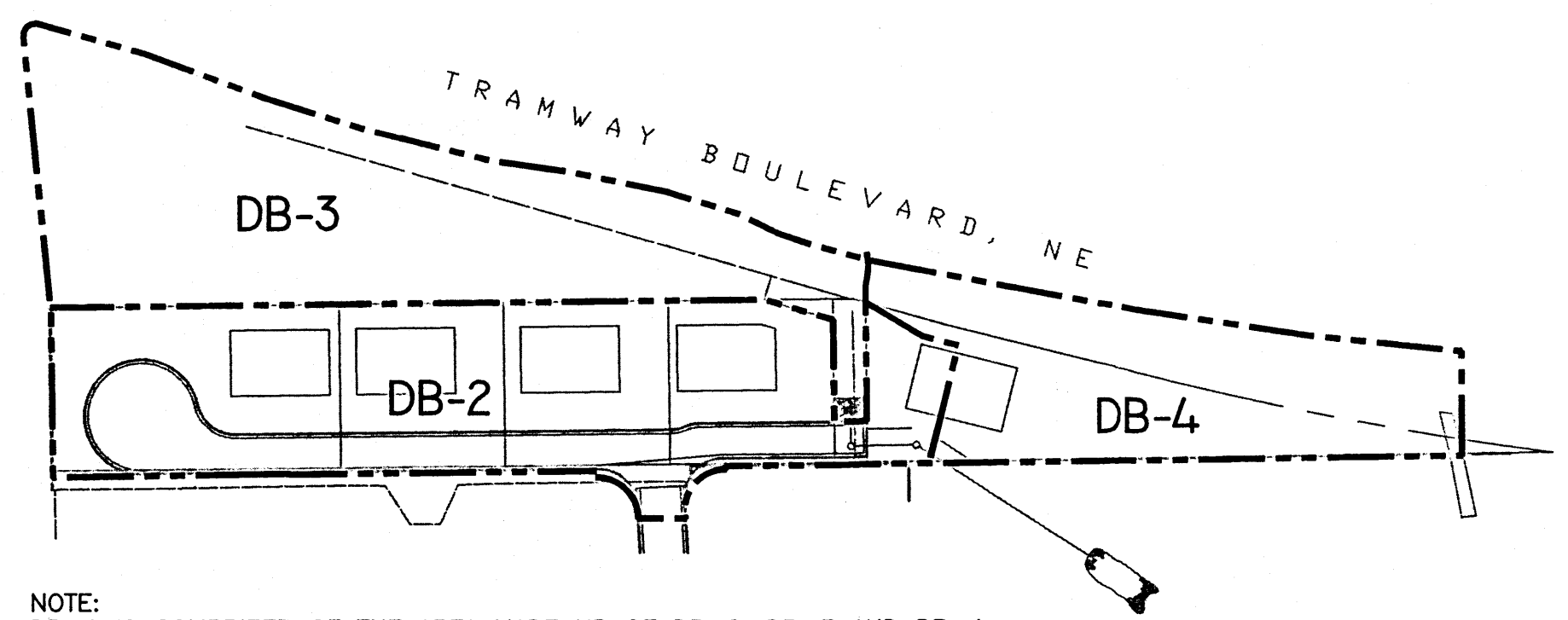
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				ENGINEER'S SEAL		<div></div>						SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
								FIELD NOTES				ACS STATION 3-E22					
								NO.		BY		DATE		SQUARE CHISELED ON NW CORNER OF CONCRETE		CONTRACTOR	
														ELECTRIC TRANSFORMER PAD IN LOWELL ST., NE;		WORK STAGED BY	
														NORTH SIDE OF INTERSECTION WITH		ACCEPTANCE BY	
														SAN VICTORIO AVENUE, ELEV. 5891.21		FIELD & FILM BY	
																DRAWINGS	
																CORRECTED BY	
																MICRO-FILM INFORMATION	
																RECORDED BY	
																DATE	
																NO.	

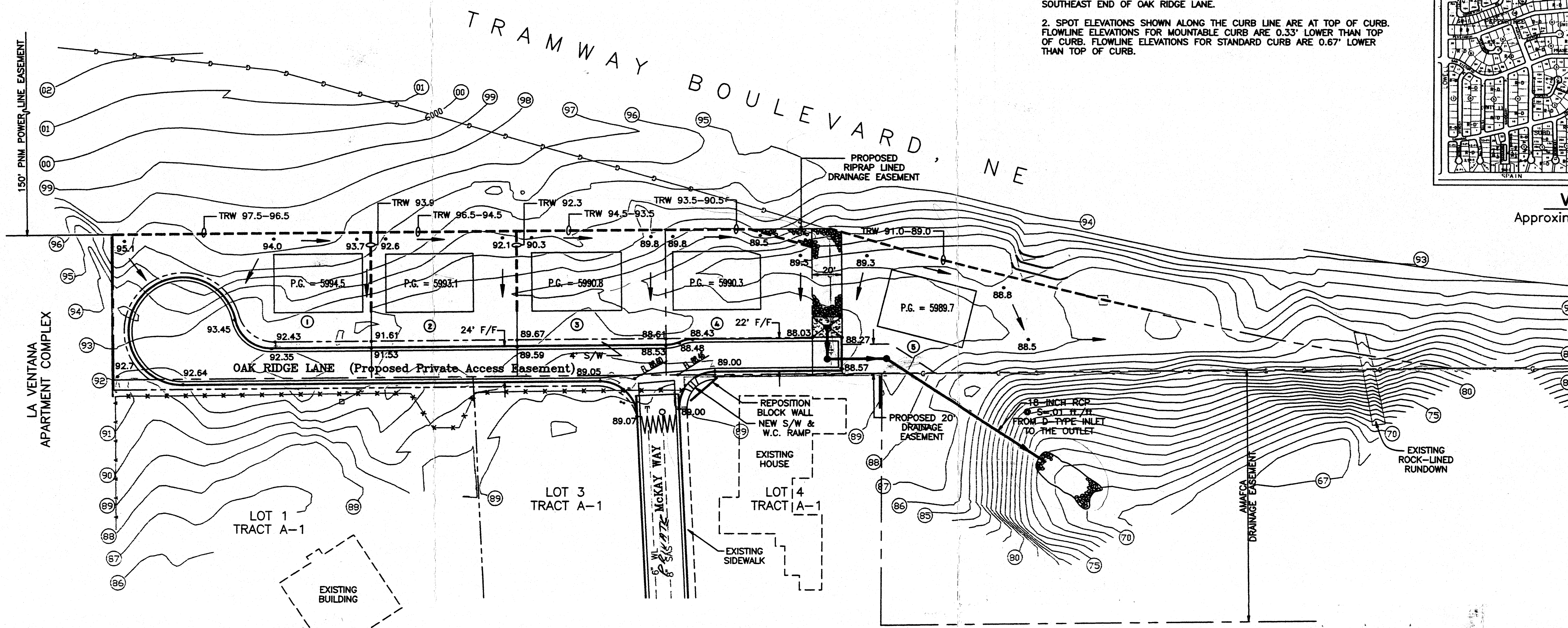
DRAINAGE BASINS



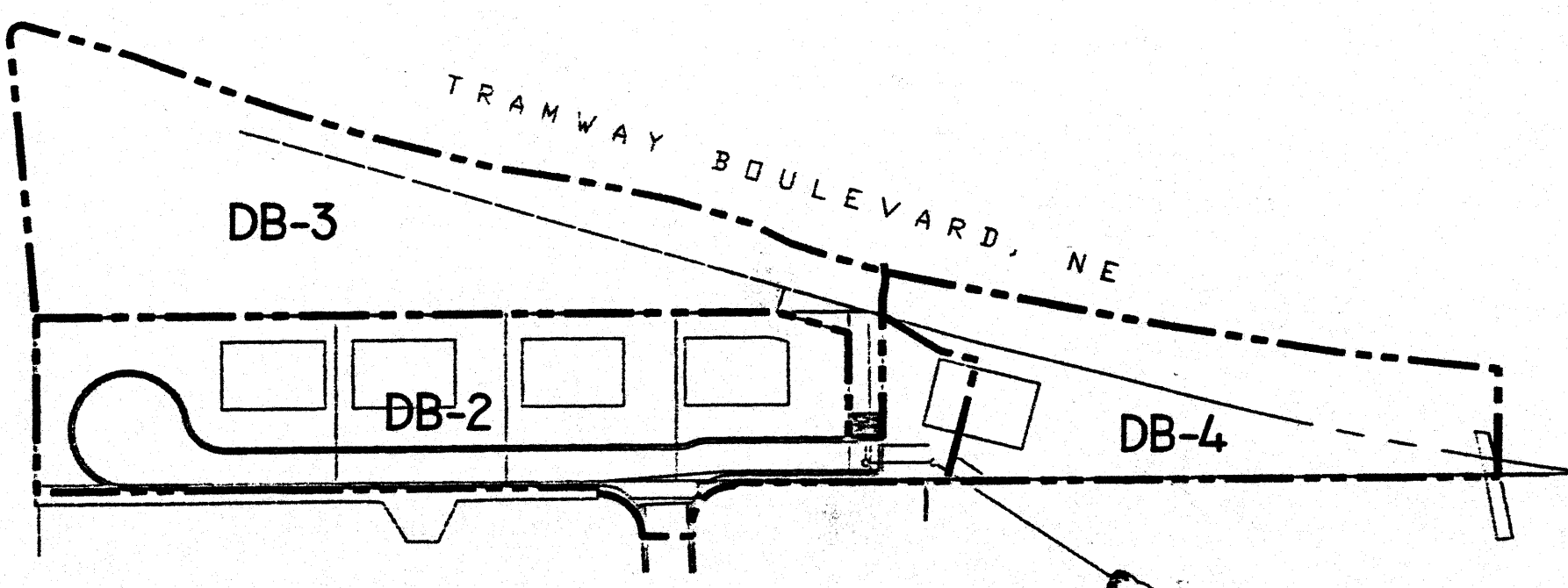
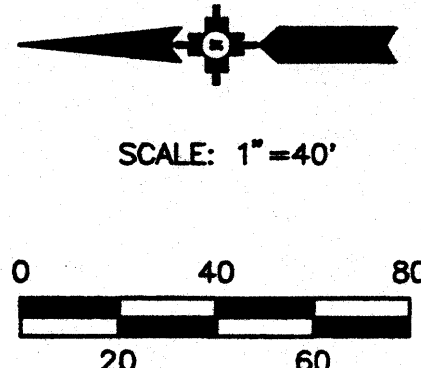
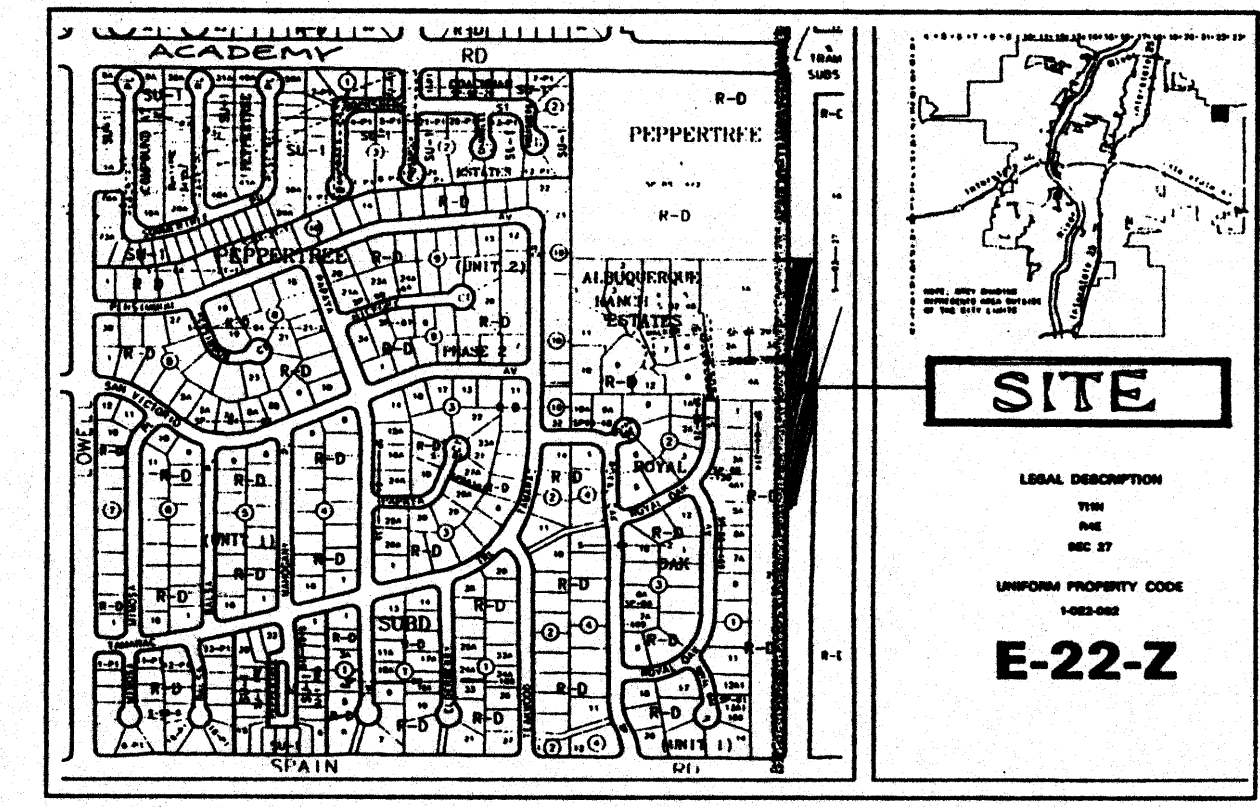
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: ALBUQUERQUE RANCH ESTATES TRACT A-2 GRADING AND DRAINAGE PLAN	
Design Review Committee	City Engineer Approval
Last Design Update	
City Project No. 431091	Zone Map No. E-22
Sheet 3	of 7

AMAFCA APPROVAL
DATE 9-22-97



NOTES:
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LEGEND	
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PROPOSED SPOT ELEVATIONS	TRW 46.5
TOP OF RETAINING WALL ELEVATION	x 50.1
EXISTING SPOT ELEVATIONS	FL
FLOW LINE ELEVATIONS	P.G.
PAD GRADE	←
FLOW DIRECTION	— x — x —
RETAINING WALL	— — — —
CHAIN LINE FENCE	— — — —
DRAINAGE BASIN BOUNDARY	— — — —
DRAINAGE INLET, TYPE D	— — — —
STORM DRAIN MH	— — — —
STORM DRAIN & FLOW DIRECTION	— — — —
PROPOSED LOT NO.	— — — —
VALLEY GUTTER	— — — —
RIP RAP EROSION PROTECTION	— — — —
WATER BLOCK	— — — —

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ENGINEER

PROTEC CONSULTING
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SURVEYOR

ALDRICH SURVEYING
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ALBUQUERQUE, NEW MEXICO 87190

BENCHMARK

ACS STATION 3-E22
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AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY		
STANDARD BY	DATE	NO.	BY	NO.	BY		
APPROVED BY	DATE	NO.	BY	NO.	BY		
REVIEWED BY	DATE	NO.	BY	NO.	BY		
MICRO-FILM INFORMATION		REVISIONS		DESIGN			
RECORDED BY	DATE	NO.	BY	NO.	BY		
CITY OF ALBUQUERQUE		PUBLIC WORKS DEPARTMENT		ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE RANCH ESTATES TRACT A-2		GRADING AND DRAINAGE PLAN		E-22			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.	Mo./Day/Yr.	Mo./Day/Yr.		
City Project No.	Zone Map No.	Sheet	of	City Project No.	Zone Map No.		
JUN 26 1997		E-22		HYDROLOGY SECTION			
AMAFCA APPROVAL		DATE		DATE			

Sheet of