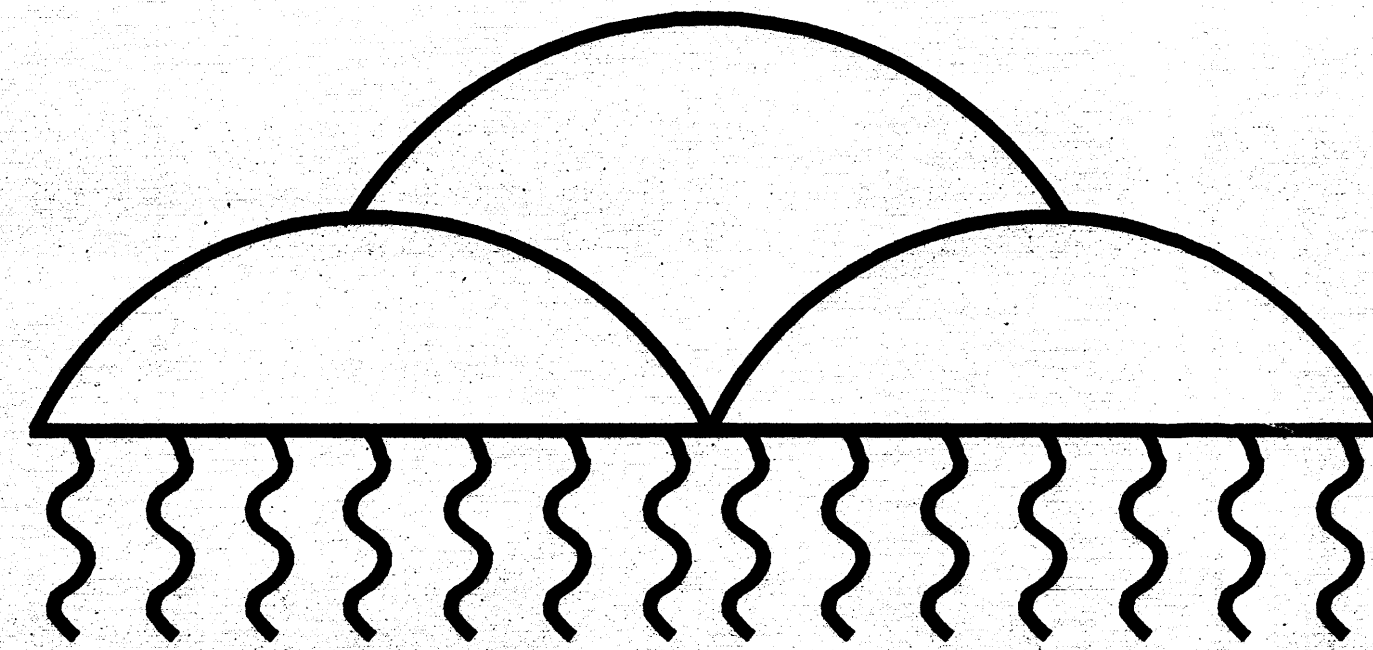


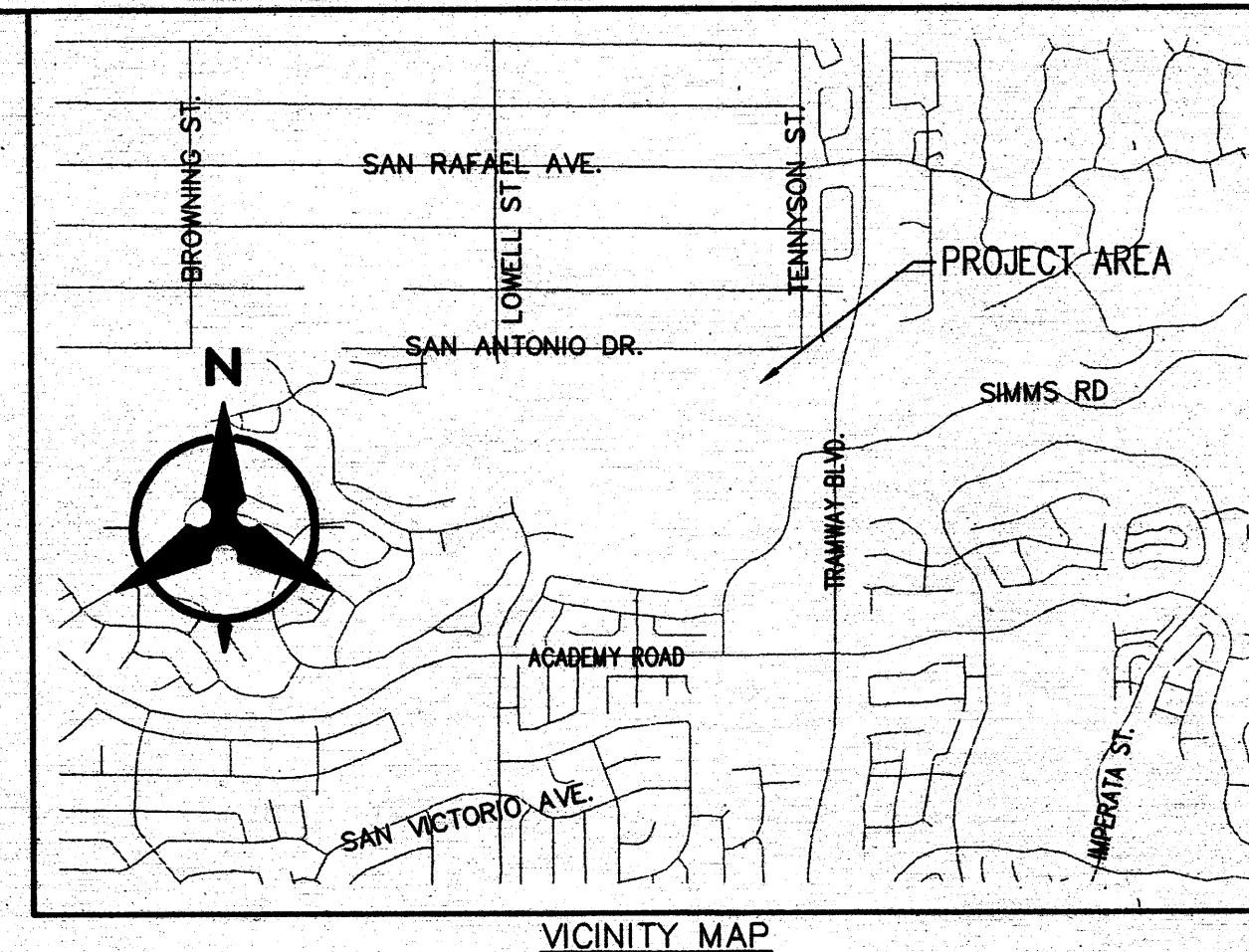
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY



CONSTRUCTION PLANS FOR PINO DAM ROUGH GRADING ALBUQUERQUE, NEW MEXICO

INDEX

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3	GENERAL NOTES SHEET
4	GRADING PLAN



PROPERTIES OF PINO DAM

1. EARTH FILLED DAM.
2. HIGH HAZARD POTENTIAL CLASSIFICATION.
3. MAXIMUM HEIGHT ABOVE THE DOWNSTREAM TOE IN FEET = 68
4. MAXIMUM LENGTH IN FEET = 2000
5. CREST WIDTH IN FEET ~15ft.
6. SLOPE OF UPSTREAM FACE: 2.5:1
7. SLOPE OF DOWNSTREAM FACE: 2:1
8. MINIMUM ELEVATION OF THE SPILLWAY CREST ~ 5982.75 ft.
MINIMUM ELAVATION OF DAM CREST ~ 5994.04 ft.
9. ELEVATION OF OUTLET TOWER ~ 5942.75ft.
10. FREEBOARD IN FEET 11.26')
11. MAXIMUM SPILLWAY DISCHARGE CAPACITY IN CUBIC FEET PER SECOND
~ 30,620 cfs @ 5994' (EXCLUDING OUTLET CONDUIT).
12. TYPE OF OUTLET CONDUIT 1-36" RCP WITH PORTED RISER
13. OUTLET CONDUIT DISCHARGE CAPACITY IN CUBIC FEET PER SECOND ~ 218 cfs
14. LOCATION OF THE OUTLET WORKS INTAKE STRUCTURE:
X = 1565477.13
Y = 1512977.09

APPROVED FOR ROUGH GRADING ONLY:

JERRY M. LOVATO P.E.
EXECUTIVE ENGINEER
DATE
APR 06 2012
ALBUQUERQUE METROPOLITAN ARROYO
FLOOD CONTROL AUTHORITY



Bohannon & Huston	
Courtney I. 7500 Jefferson St. NE Albuquerque, NM 87109-4335	
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES	
Zone Atlas No. E-22-Z	Sheet 1 Of 4

BHI JOB NO. 060297

SURVEY CONTROL PLAN

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▲				
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DRAWING NO.	MAP NO. E-22-7	SHEET 2	OF 4	

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NOTICE TO CONTRACTORS

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3. WHENEVER, IN THE SUPPLEMENTAL GENERAL PROVISIONS, SPECIAL CONDITIONS AND TECHNICAL SPECIFICATIONS THE WORD "SECTION" IS FOLLOWED BY A NUMBER AND A CAPTION (SUCH AS "SECTION 105.2 PLANS AND WORKING DRAWINGS") REFERENCE IS MADE TO THAT SPECIFIC SECTION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, 2007 EDITION AND/OR THAT SPECIFIC SECTION OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 - UPDATE 7. THE SUPPLEMENTAL GENERAL PROVISIONS, SPECIAL CONDITIONS, SUPPLEMENTAL TECHNICAL SPECIFICATIONS, SPECIAL PROVISIONS, AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN OVER THE STANDARD SPECIFICATIONS AND ARE HEREBY MADE A PART OF THE CONTRACT DOCUMENTS.
4. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN TWO (2) DAYS PRIOR TO STARTING WORK.
7. RELOCATION OF DISTURBED MONUMENTS SHALL BE INCIDENTAL TO THE WORK. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
8. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND APPURTENANCES AS REQUIRED BY THE SPECIFICATIONS FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. FILL MATERIALS FROM EXCAVATION OR BORROW WHICH REQUIRE MORE THAN ONE HANDLING PRIOR TO FINAL PLACEMENT, INCLUDING STOCKPILING AND BLENDING TO MEET GRADATION REQUIREMENTS OR STOCKPILING FOR LATER DISPOSAL, WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNIT PRICE FOR "FILL CONSTRUCTION". NO SEPARATE PAYMENT SHALL BE MADE FOR MULTIPLE HANDLING AND FINAL PAYMENT SHALL BE MADE ON THE BASIS OF QUANTITIES REMOVED FROM THE ORIGINAL LOCATION.
3. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY BE IT PRIVATE OR CITY OWNED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, UNSUITABLE MATERIAL AND ITEMS DESIGNATED FOR REMOVAL WITHOUT SALVAGE SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE. BURIAL OF DEBRIS SHALL NOT BE ALLOWED WITHIN PROJECT LIMITS.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

SPECIAL NOTES FOR WORK IN AMAFCA R/W OR EASEMENT

1. AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA R/W OR EASEMENTS. TEL 884-2215.
2. ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED TO 95% (MODIFIED PROCTOR) WITHIN THE AMAFCA R/W. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
3. AMAFCA FIELD ENGINEER WILL BE NOTIFIED 48-HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA R/W.

EARTHWORK NOTES

1. CLEARING, GRUBBING AND STRIPPING WILL BE REQUIRED OVER THE ENTIRE FOUNDATION AREA. STRIPPING AND PREPARATION OF FILL FOUNDATION AREAS SHALL EXTEND A MINIMUM OF 5 FEET HORIZONTALLY BEYOND LIMITS. STRIPPING SHOULD BE ACHIEVED ONLY BY CUTTING, I.E., GROUND DEPRESSIONS OR NARROW SECTIONS OF TRIBUTARY ARROYOS SHOULD NOT BE INADVERTENTLY FILLED DURING THE FOUNDATION PREPARATION. THE RESULTING FOUNDATION AREA SHALL BE CUT TO PROVIDE UNIFORM, RELATIVELY LEVEL SURFACE FOR COMPACTION EQUIPMENT. THE FOUNDATION AREA SHOULD BE MOISTENED TO OPTIMUM MOISTURE CONTENT OR ABOVE FOR A MINIMUM DEPTH OF 5 FEET. THE UPPER 12 INCHES OF FOUNDATION TREATMENT SHALL THEN BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 WITH A MINIMUM OF 20 PASSES WITH A MINIMUM 20 TON (COMBINED STATIC AND DYNAMIC) VIBRATORY COMPACTOR.
2. THE BLENDED SITE SOILS ARE GENERALLY SUITABLE FOR USE AS FILL. EXPERIENCE DICTATES SHRINKAGE FACTORS GREATER THAN CALCULATED VALUES. STRIPPING, SUBGRADE PREPARATION, HAULING, WIND AND COMPACTION ARE ALL FACTORS IN LOSS OF GROUND. RECOMMENDED SHRINKAGE FACTOR IS 20%. ALL FILL OR BACKFILL MATERIAL SHOULD BE NON-EXPANSIVE, FREE OF VEGETATION AND DEBRIS AND CONTAIN NO ROCKS LARGER THAN 3 INCHES. GRADATION OF THE RANDOM FILL MATERIAL, AS DETERMINED IN ACCORDANCE WITH ASTM D-422, SHALL BE AS FOLLOWS:
- | SIEVE SIZE
(SQUARE OPENINGS) | PERCENT PASSING
BY WEIGHT |
|---------------------------------|------------------------------|
| 3 INCH | 100 |
| NO. 4 | 60-100 |
| NO. 200 | 15-50 |
3. THE PLASTICITY INDEX OF THE EMBANKMENT FILL SHALL BE NO GREATER THAN 15 WHEN TESTED IN ACCORDANCE WITH ASTM D-4318.
4. FILL OR BACKFILL, CONSISTING OF SOIL APPROVED BY THE GEOTECHNICAL ENGINEER, SHOULD BE PLACED IN CONTROLLED COMPACTED LAYERS WITH APPROVED COMPACTION EQUIPMENT. ALL FILL SHALL BE BLENDED AS NECESSARY TO PRODUCE A HOMOGENEOUS FILL. NO LIFTS OF HIGH PERMEABILITY MATERIAL OR MATERIAL DIFFERING SUBSTANTIALLY FROM THE LIFT BELOW WILL BE PERMITTED. SHEEPSFOOT OR VIBRATORY SHEEPSFOOT OR SEGMENTED STEEL WHEEL TYPE COMPACTORS SHALL BE USED. IF THE COMPACTORS WALK OUT DURING COMPACTION, OR IF IT IS DESIRED TO USE FLAT WHEEL COMPACTORS, THE UPPER 1 TO 2 INCHES OF THE LIFT SHALL BE SCARIFIED PRIOR TO PLACING A SUBSEQUENT LIFT. THE FILL SHALL BE RAISED UNIFORMLY. ALL COMPACTION OF FILL OR BACKFILL SHOULD BE TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D-1557. THE MOISTURE CONTENT OF THE FILL OR BACKFILL DURING COMPACTION SHOULD BE WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT. WITH ANY VIBRATORY COMPACTOR, VIBRATIONS SHOULD BE CONTROLLED OR ELIMINATED TO AVOID DAMAGE TO ADJACENT STRUCTURES OR INFRASTRUCTURE.
5. TESTS FOR DEGREE OF COMPACTION SHALL BE DETERMINED BY THE ASTM D-1556 METHOD OR ASTM D-2922. OBSERVATION AND FIELD TESTS SHALL BE CONDUCTED DURING FILL AND BACKFILL PLACEMENT BY THE GEOTECHNICAL ENGINEER TO ASSIST THE CONTRACTOR IN EVALUATING THE REQUIRED DEGREE OF COMPACTION. IF LESS THAN THE REQUIRED COMPACTION IS OBTAINED, ADDITIONAL COMPACTION EFFORT SHOULD BE MADE WITH ADJUSTMENTS OF THE MOISTURE CONTENT AS NECESSARY UNTIL 95% COMPACTION IS OBTAINED.

EXISTING FACILITIES

BUILDINGS & MISCELLANEOUS STRUCTURES
BRIDGE
COMMUNICATION FEATURES
CURB & GUTTER
DITCHES AND MISCELLANEOUS DRAINAGE
DRIVEPAD
EDGE OF ROAD
ELECTRICAL FEATURES
ELECTRICAL LINES (OVERHEAD)
ELECTRICAL LINES (UNDERGROUND)
FENCE
GAS FEATURE
GAS LINE
MISCELLANEOUS UTILITIES
RIVER
SIDEWALK
SANITARY SEWER FEATURES
SANITARY SEWER LINES
STORM DRAIN FEATURES
STORM DRAIN LINE (SIZES VARY)
TELEPHONE LINE
TELEVISION LINE
VEGETATION
WATER FEATURE
WATER LINE
WALL
TRENCH LIMITS

LEGEND

NEW FACILITIES

WATERLINE
FIRE HYDRANT
SLOPE DIRECTION
REMOVE AND DISPOSE
FINISHED ELEVATION

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CONSTRUCTION OBSERVER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☐ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

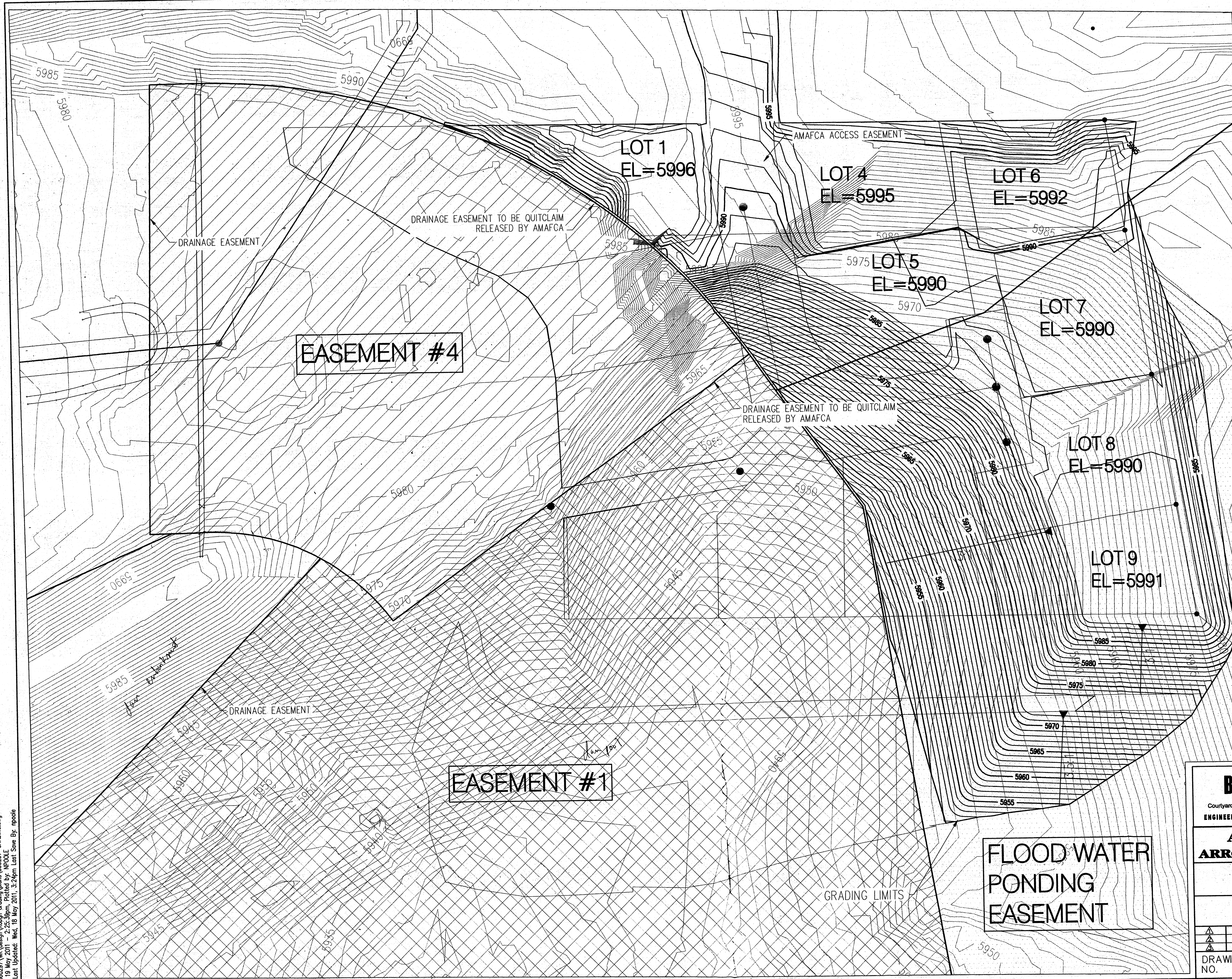
ALBUQUERQUE METROPOLITAN
ARROYO FLOOD CONTROL AUTHORITY

PINO DAM ROUGH GRADING

GENERALL NOTES

DRAWING NO.	MAP NO. E-22-Z	SHEET 3 OF 4
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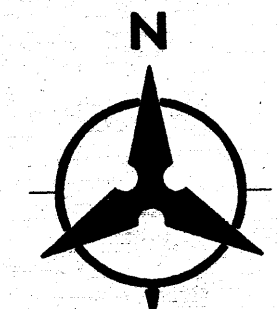
San Antonio? map (line) profile plat



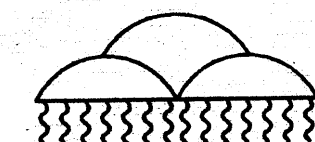
NOTE:
1. LOT ELEVATIONS SHOWN ARE
BASED ON ROUGH GRADING.

where
the
USE

not a true
representation of
site



1"=30'



Bohannon & Huston Courtney 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES	
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY PINO DAM ROUGH GRADING	
GRADING PLAN	
DRAWING NO.	MAP NO. E-22-Z
SHEET 4	OF 4

REVISIONS	
No.	Date

REMARKS	
No.	Date

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DRAWN BY: AR	
CHECKED BY: CH	
DATE: 05/11	DATE: 05/11
DATE: 05/11	DATE: 05/11

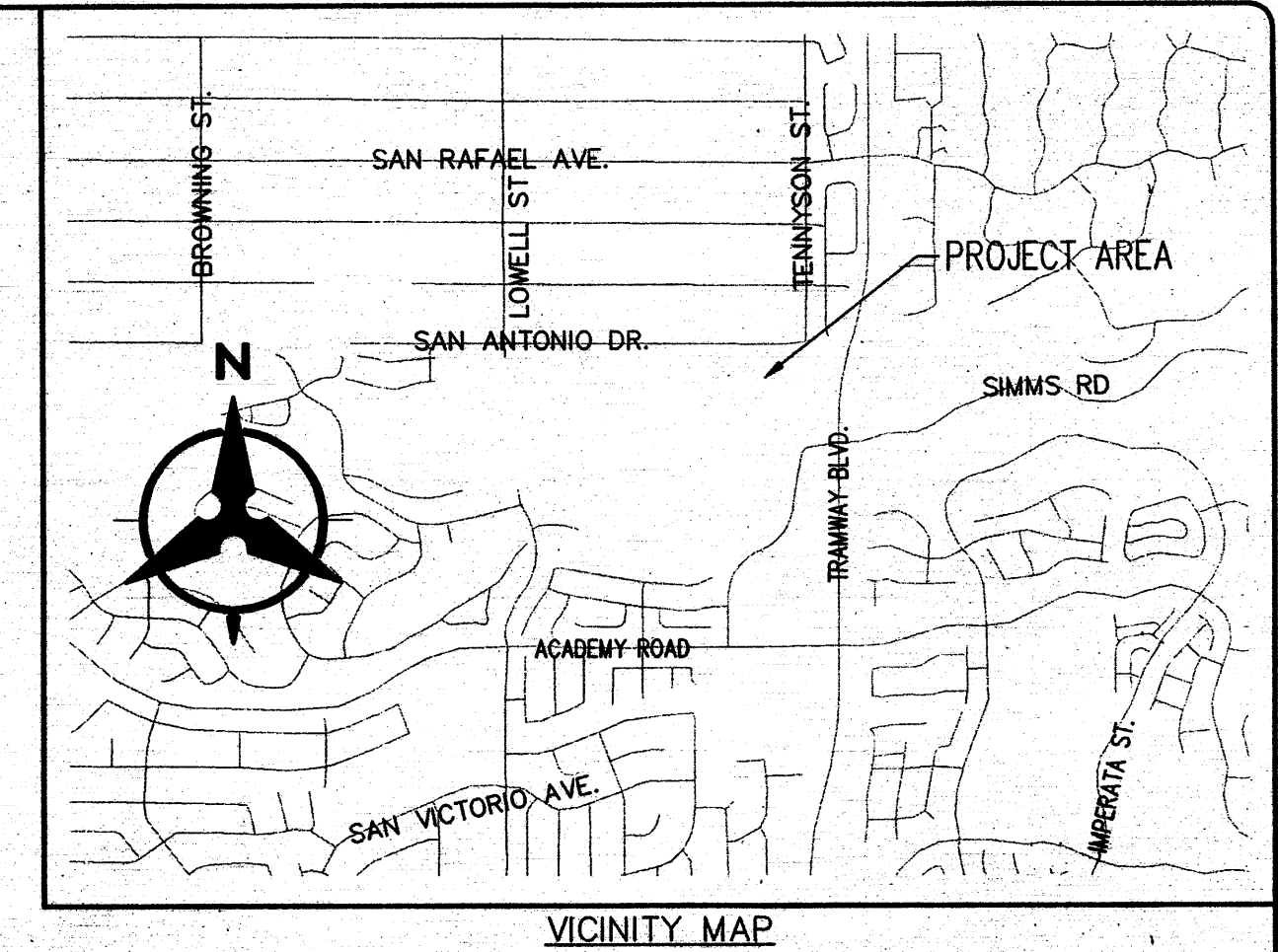
ENGINEER'S SEAL	
FIELD NOTES	
NO.	DATE

BENCH MARKS	
AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
REVISIONS	DATE
DATE: 05/11	DATE: 05/11
DATE: 05/11	DATE: 05/11

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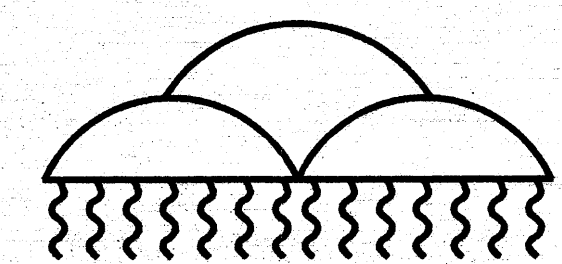
TUSCANY VILLAGE

CONSTRUCTION PLANS FOR TUSCANY VILLAGE ROUGH GRADING ALBUQUERQUE, NEW MEXICO



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1	TITLE SHEET
2	SURVEY CONTROL SHEET
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4	GRADING PLAN (PHASE 1)



APPROVED FOR WORK IN AMAFCA EASEMENT:

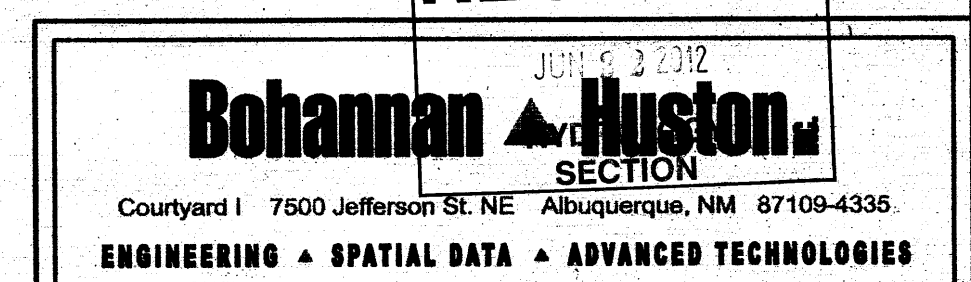
JERRY M. LOVATO P.E.
EXECUTIVE ENGINEER

DATE

ALBUQUERQUE METROPOLITAN ARROYO
FLOOD CONTROL AUTHORITY

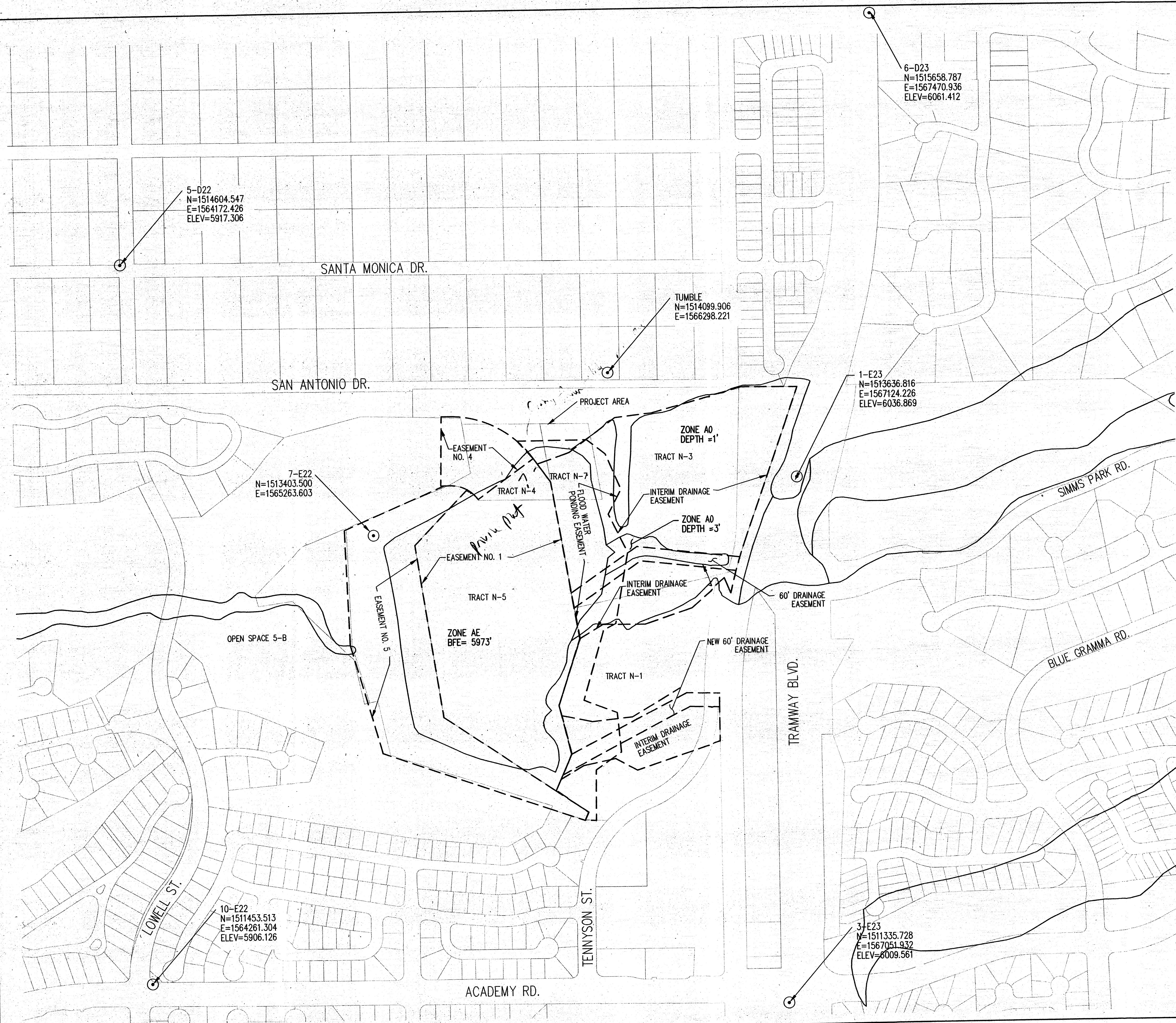


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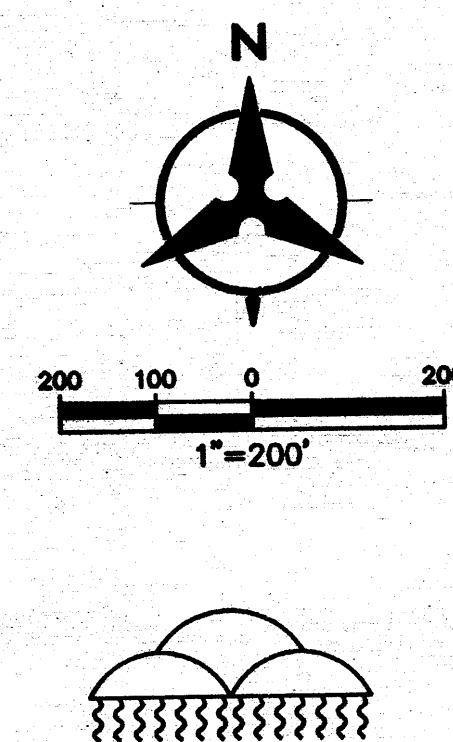


1. THE HORIZONTAL COORDINATE SYSTEM IS LOCAL. GROUND MODIFIED FROM NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983. ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1983. THE COMBINED SCALE FACTOR FOR GROUND TO GRID TRANSFORMATION OF THE HORIZONTAL COORDINATES IS 0.999625278.
2. THIS CONTROL IS BASED UPON THE CITY OF ALBUQUERQUE CONTROL SYSTEM OF DATUM MONUMENTS USED INCLUDING TUMBLE, 1-E23, 5-D22, 6-D23, 3-E23, 10-E22, 7-E22.
3. THE OVERALL RELATIVE HORIZONTAL ERROR IN THE CALIBRATION TO ACS MONUMENTATION WAS 0.004 FEET. THE OVERALL RELATIVE VERTICAL ERROR IN THE CALIBRATION DOES NOT EXCEED 0.009 FEET.
4. A CONTROL REPORT CONFORMING TO THE 2007 MINIMUM STANDARDS FOR MONUMENTING IN NEW MEXICO IS AVAILABLE FROM THE SURVEYOR OF RECORD, ANTHONY L. HARRIS.

LEGEND

———— FLOODPLAIN

— — — — — EXISTING EASEMENT



ALBUQUERQUE METROPOLITAN ARROYO VILLAGE CONTROL AUTHORITY			
TUSCANY VILLAGE ROUGH GRADING			
SURVEY CONTROL PLAN		RECEIVED JUN 9 2 2012	
HYDROLOGY SECTION			
DRAWING NO.	MAP NO. E-22-Z	SHEET 2	OF 4

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6. SLOPE/GRADING LIMITS AND LIMITS OF EXCAVATION SHOWN ON THE PLANS DEFINE "LIMITS OF WORK" FOR THIS PROJECT. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL BE ONLY IN "CONSTRUCTION STAGING AREA".
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
9. THE CONTRACTOR MUST LOCATE ALL AMAFCA BRASS CAPS AND OTHER SURVEY MARKERS SHOWN ON PLANS. PROTECT DURING CONSTRUCTION OR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CAPS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL COMPLY WITH APPLICABLE SECTIONS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
11. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE BEGINNING AND END OF EACH DAY.

SPECIAL NOTES FOR WORK IN AMAFCA RAW OR EASEMENT

1. AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA R/W OR EASEMENTS. TEL 884-2215.
2. ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED TO 95% (MODIFIED PROCTOR) WITHIN THE AMAFCA R/W. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
3. AMAFCA FIELD ENGINEER WILL BE NOTIFIED 48-HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA R/W OR EASEMENTS.
4. CONTRACTOR SHALL RESTORE THE EMERGENCY SPILLWAY TO ORIGINAL DESIGN/AS-BUILT CONFIGURATION PER 2007 SURVEY (NAD83/NAV88) COMPLETED BY BOHANNAN HUSTON INC. (GRADING SHOWN ON SHEET 4 TIES TO THIS 2007 SURVEY)
5. AMAFCA TO BE ADDITIONALLY INSURED.

EARTHWORK NOTES

1. CLEARING, GRUBBING AND STRIPPING WILL BE REQUIRED OVER ALL AREAS. STRIPPINGS SHALL BE STOCKPILED AND THEN PLACED ON THE FINAL CUT SLOPES. STRIPPING AND PREPARATION OF FILL FOUNDATION AREAS SHALL EXTEND A MINIMUM OF 5 FEET HORIZONTALLY BEYOND LIMITS. STRIPPING SHOULD BE ACHIEVED ONLY BY CUTTING, I.E. GROUND DEPRESSIONS OR NARROW SECTIONS OF TRIBUTARY ARROYOS SHOULD NOT BE INADVERTENTLY FILLED DURING THE FOUNDATION PREPARATION. THE RESULTING FOUNDATION AREA SHALL BE CUT TO PROVIDE UNIFORM, RELATIVELY LEVEL SURFACE FOR COMPACTION EQUIPMENT.
2. THE BLENDED SITE SOILS ARE GENERALLY SUITABLE FOR USE AS FILL. EXPERIENCE DICTATES SHRINKAGE FACTORS GREATER THAN CALCULATED VALUES. STRIPPING, SUBGRADE PREPARATION, HAULING, WIND AND COMPACTION ARE ALL FACTORS IN LOSS OF GROUND. RECOMMENDED SHRINKAGE FACTOR IS 25%. ALL FILL OR BACKFILL MATERIAL SHOULD BE NON-EXPANSIVE, FREE OF VEGETATION AND DEBRIS AND CONTAIN NO ROCKS LARGER THAN 3 INCHES. GRADATION OF THE RANDOM FILL MATERIAL, AS DETERMINED IN ACCORDANCE WITH ASTM D-422, SHALL BE AS FOLLOWS:
- | SIZE (SQUARE OPENINGS) | PERCENT PASSING BY WEIGHT |
|------------------------|---------------------------|
| 3 INCH | 100 |
| NO. 4 | 60-100 |
| NO. 200 | 75-90 |
3. THE PLASTICITY INDEX OF THE EMBANKMENT FILL SHALL BE NO GREATER THAN 15 WHEN TESTED IN ACCORDANCE WITH ASTM D-4318.
4. FILL OR BACKFILL CONSISTING OF SOIL APPROVED BY THE GEOTECHNICAL ENGINEER, SHOULD BE PLACED IN CONTROLLED COMPACTED LAYERS WITH APPROVED COMPACTION EQUIPMENT. ALL FILL SHALL BE BLENDED AS NECESSARY TO PRODUCE A HOMOGENEOUS FILL. NO LIFTS OF HIGH PERMEABILITY MATERIAL OR MATERIAL DIFFERING SUBSTANTIALLY FROM THE LIFT BELOW WILL BE PERMITTED. SHEEPSFOOT OR VIBRATORY SHEEPSFOOT OR SEGMENTED STEEL WHEEL TYPE COMPACTORS SHALL BE USED. IF THE COMPACTORS WALK OUT DURING COMPACTION, OR IF IT IS DESIRED TO USE FLAT WHEEL COMPACTORS, THE UPPER 1 TO 2 INCHES OF THE LIFT SHALL BE SCARIFIED PRIOR TO PLACING A SUBSEQUENT LIFT. THE FILL SHALL BE RAISED UNIFORMLY. ALL COMPACTION OF FILL OR BACKFILL SHOULD BE TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D-1557. THE MOISTURE CONTENT OF THE FILL OR BACKFILL DURING COMPACTION SHOULD BE WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT, WITH ANY VIBRATORY COMPACTOR. VIBRATIONS SHOULD BE CONTROLLED OR ELIMINATED TO AVOID DAMAGE TO ADJACENT STRUCTURES OR INFRASTRUCTURE.
5. TESTS FOR DEGREE OF COMPACTION SHALL BE DETERMINED BY THE ASTM D-1556 METHOD OR ASTM D-2922. OBSERVATION AND FIELD TESTS SHALL BE CONDUCTED DURING FILL AND BACKFILL PLACEMENT BY THE GEOTECHNICAL ENGINEER TO ASSIST THE CONTRACTOR IN EVALUATING THE REQUIRED DEGREE OF COMPACTION. IF LESS THAN THE REQUIRED COMPACTION IS OBTAINED, ADDITIONAL COMPACTION EFFORT SHOULD BE MADE WITH ADJUSTMENTS OF THE MOISTURE CONTENT AS NECESSARY UNTIL 95% COMPACTION IS OBTAINED.

EXISTING FACILITIES

- BUILDINGS & MISCELLANEOUS STRUCTURES
- BRIDGE
- COMMUNICATION FEATURES
- CURB & GUTTER
- DITCHES AND MISCELLANEOUS DRAINAGE
- DRIVEPAD
- EDGE OF ROAD
- ELECTRICAL FEATURES
- ELECTRICAL LINES (OVERHEAD)
- ELECTRICAL LINES (UNDERGROUND)
- FENCE
- GAS FEATURE
- GAS LINE
- MISCELLANEOUS UTILITIES
- RIVER
- SIDEWALK
- SANITARY SEWER FEATURES
- SANITARY SEWER LINES
- STORM DRAIN FEATURES
- STORM DRAIN LINE (SIZES VARY)
- TELEPHONE LINE
- TELEVISION LINE
- VEGETATION
- WATER FEATURE
- WATER LINE
- WALL
- TRENCH LIMITS

LEGEND

NEW FACILITIES

- WATERLINE
- FIRE HYDRANT
- SLOPE DIRECTION
- REMOVE AND DISPOSE
- FINISHED ELEVATION

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CONSTRUCTION OBSERVER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☐ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

TUSCANY VILLAGE BOULEVARD GRADING

GENERAL NOTES

HYDROLOGY SECTION

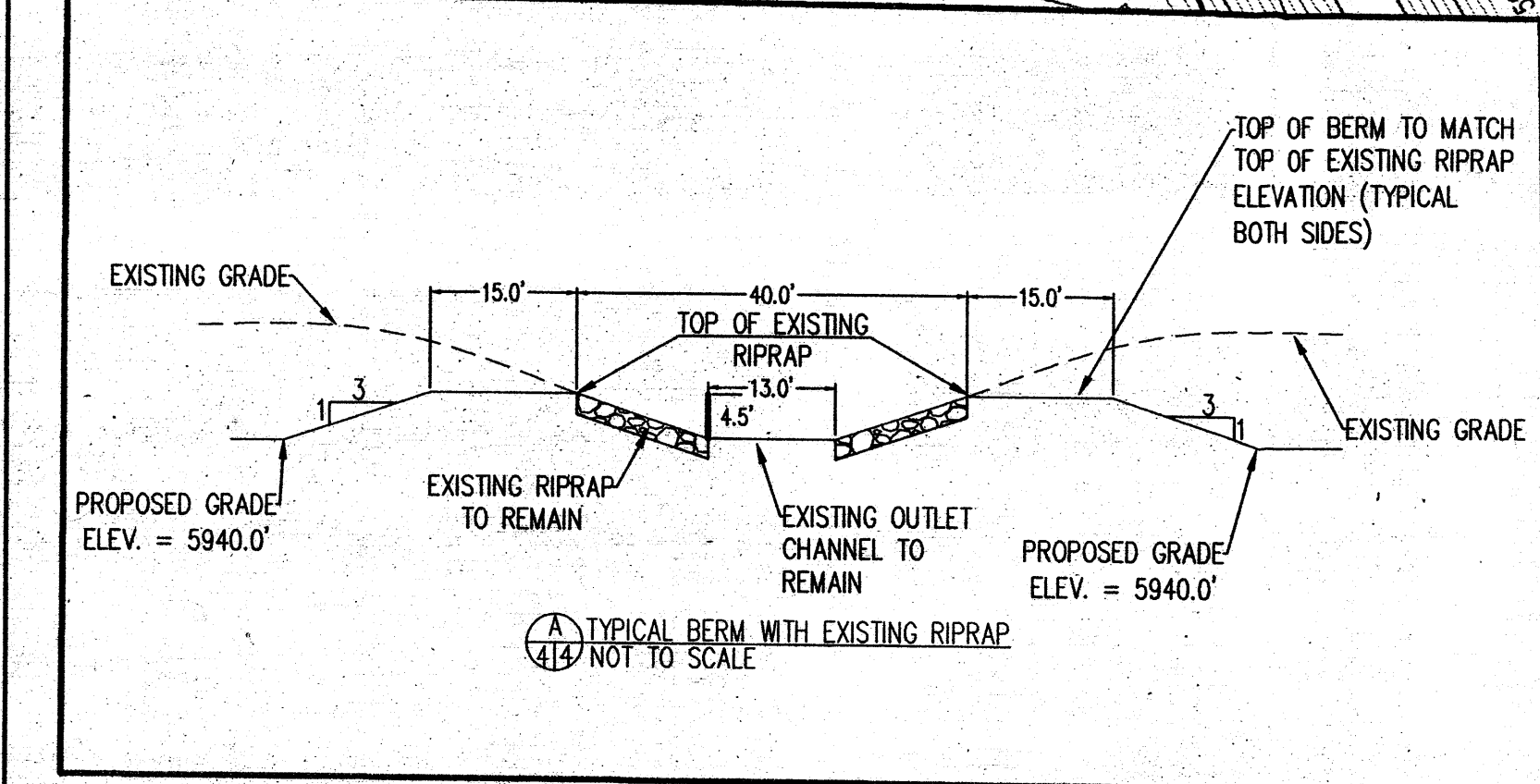
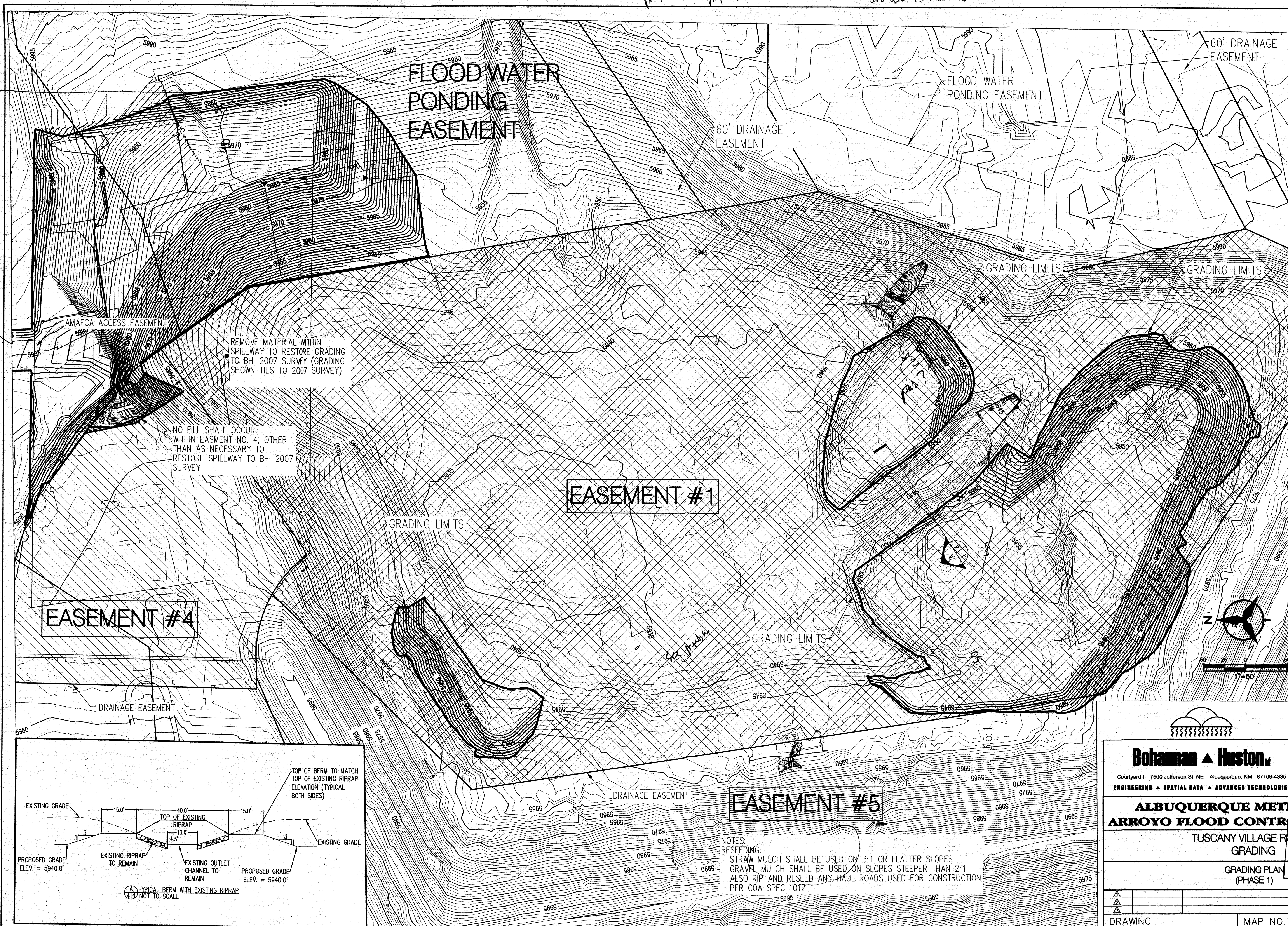
DRAWING NO. E-22-Z

MAP NO. E-22-Z

SHEET 3 OF 4

San Antonio Ave to 2nd St
pump station location
show pond line

human made
physical
property line when is pond and pond when are easement etc



NOTES:
RESEEDING:
STRAW MULCH SHALL BE USED ON 3:1 OR FLATTER SLOPES
GRAVEL MULCH SHALL BE USED ON SLOPES STEEPER THAN 2:1
ALSO RIP AND RESEED ANY HAUL ROADS USED FOR CONSTRUCTION
PER COA SPEC 1012

ENGINEER'S SEAL										SURVEY INFORMATION				BENCH MARKS				AS-BUILT INFORMATION			
										FIELD NOTES				CITY OF ALBUQUERQUE 1-237 GEOGRAPHIC POSITION (NAD 1983) MODIFIED NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE) N = 1513636.816 E = 156724.226 GROUND TO GRID FACTOR = 0.99962155 DELTA ALPHA = -0°08'32.41" NAVD 1988 ELEVATION = 6036.869							
										NO.		BY						DATE			
No.		Date		REMARKS		By								CONTRACTOR		DATE					
														WORK STARTED BY		DATE					
														REVISIONS BY		DATE					
														FIELD RESPONSE BY		DATE					
														CORRECTED BY		DATE					
														MICRO-FILM INFORMATION							
														RECORDED BY		DATE					
														NO.							

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TUSCANY VILLAGE ROUGH GRADING

GRADING PLAN (PHASE 1)

RECEIVED
JUL 12 2012
HYDROLOGY SECTION

DRAWING NO.	MAP NO. E-22-Z	SHEET 4 OF 4
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Tue, 19 Jun 2012 - 2:45:44pm
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Last Save By: jellison

NOTES:
RESEEDING:
STRAW MULCH SHALL BE USED ON 3:1 OR FLATTER SLOPES
GRAVEL MULCH SHALL BE USED ON SLOPES STEEPER THAN 3:1
ALSO RIP AND RESEED ANY HAUL ROADS USED FOR CONSTRUCTION
PER COA SPEC 1012

TRACT N-3

TRACT N-1

FLOOD WATER
PONDING
EASEMENT

60' DRAINAGE
EASEMENT

FLOOD WATER
PONDING EASEMENT

60' DRAINAGE
EASEMENT

TRACT N-7

REMOVE FILL MATERIAL WITHIN
SPILLWAY TO RESTORE GRADING
TO BHI 2007 SURVEY (GRADING
SHOWN IS FROM 2007 BHI SURVEY)

NO FILL SHALL OCCUR
WITHIN EASEMENT NO. 4, OTHER
THAN AS NECESSARY TO
RESTORE SPILLWAY TO BHI 2007
SURVEY

TRACT N-5

EASEMENT #1

TRACT N-4

EASEMENT #4

EXISTING BURIED
GABION STRUCTURE

OPEN SPACE
5-B

TRACT N-6
EASEMENT #5

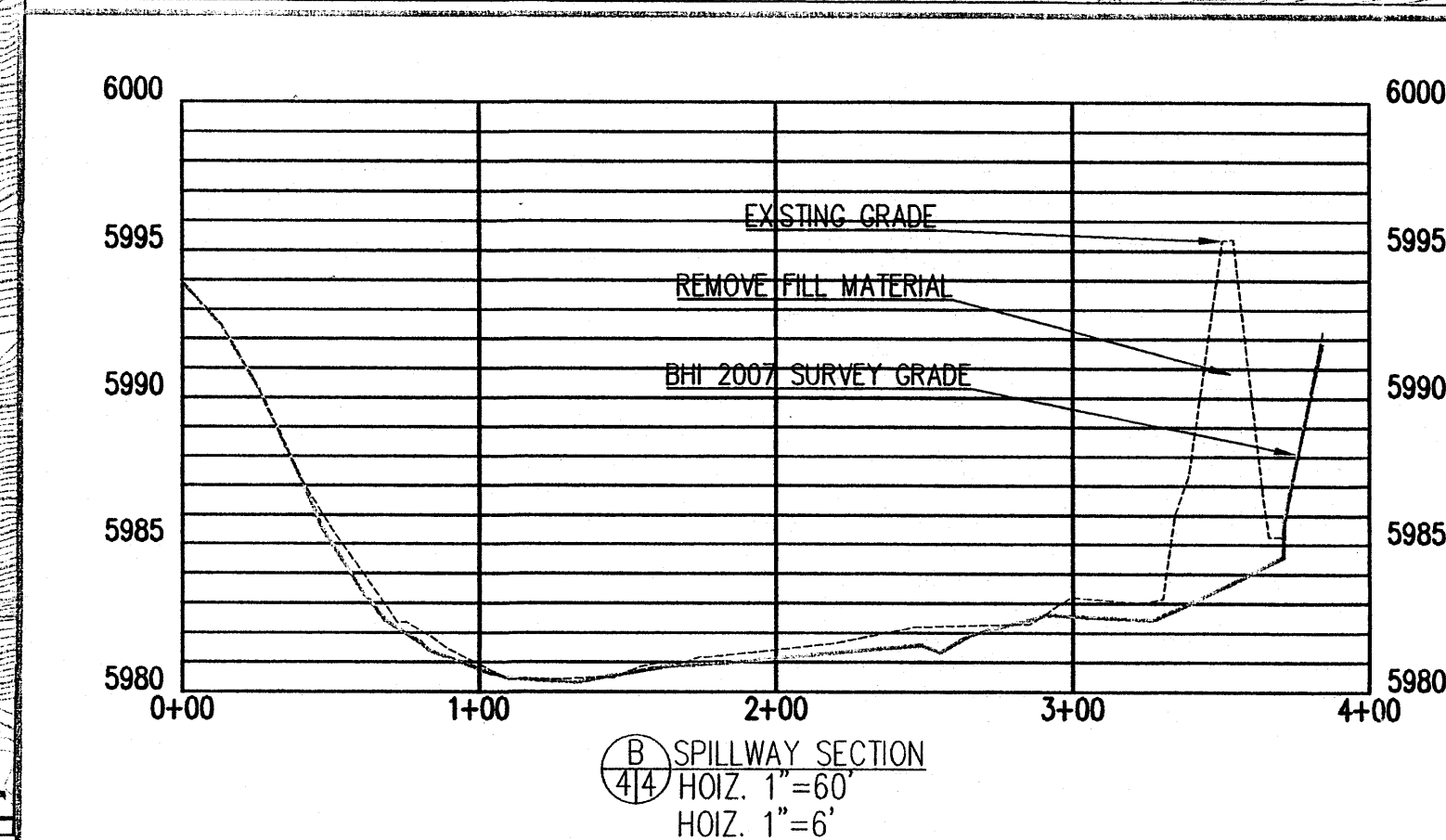
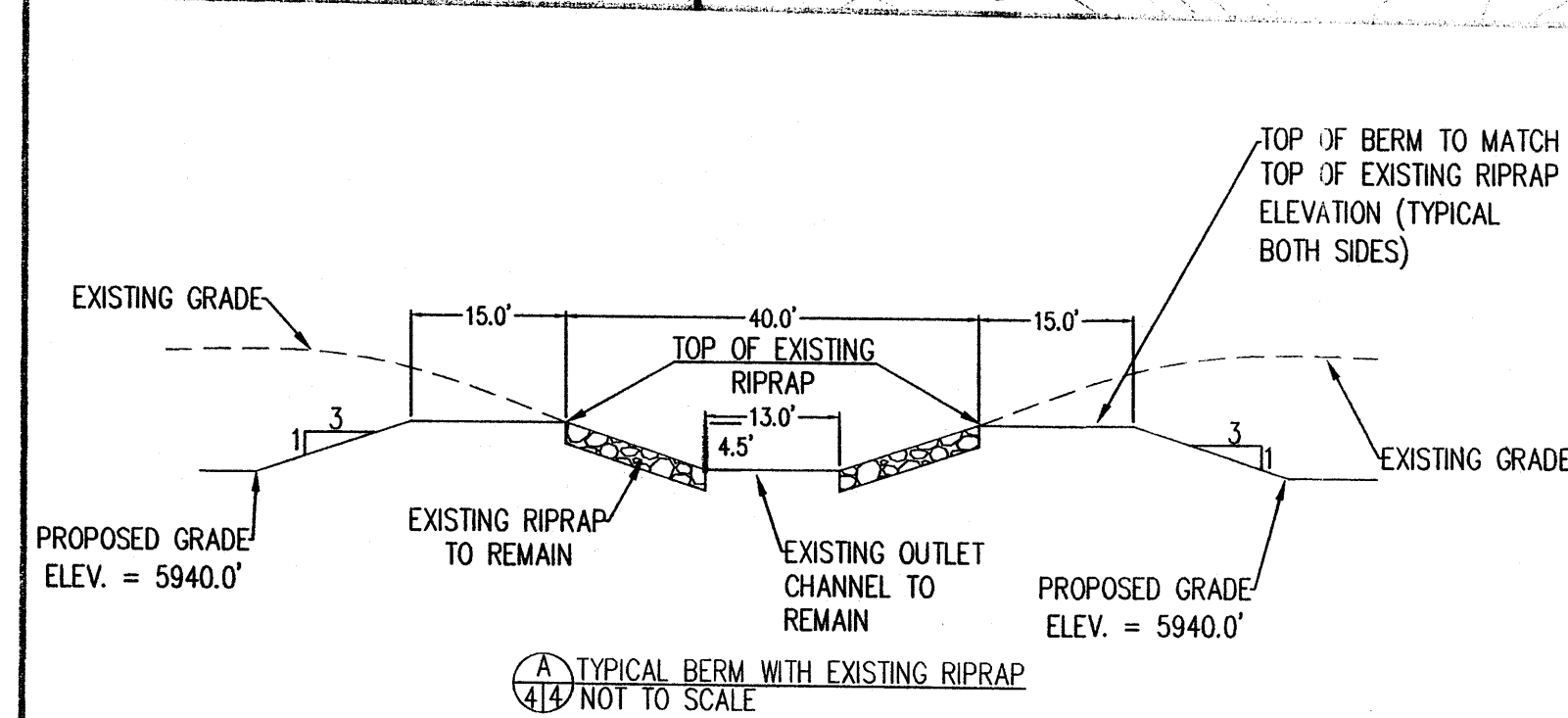
GRADING LIMITS

GRADING LIMITS

DRAINAGE EASEMENT

GRADING LIMITS

GRADING LIMITS



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**ALBUQUERQUE METROPOLITAN
ARROYO FLOOD CONTROL AUTHORITY**

TUSCANY VILLAGE ROUGH
GRADING

GRADING PLAN
(PHASE 1)

RECEIVED

JUL 27 2012

HYDROLOGY
SECTION

DRAWING
NO.

MAP NO.
E-22-Z

SHEET

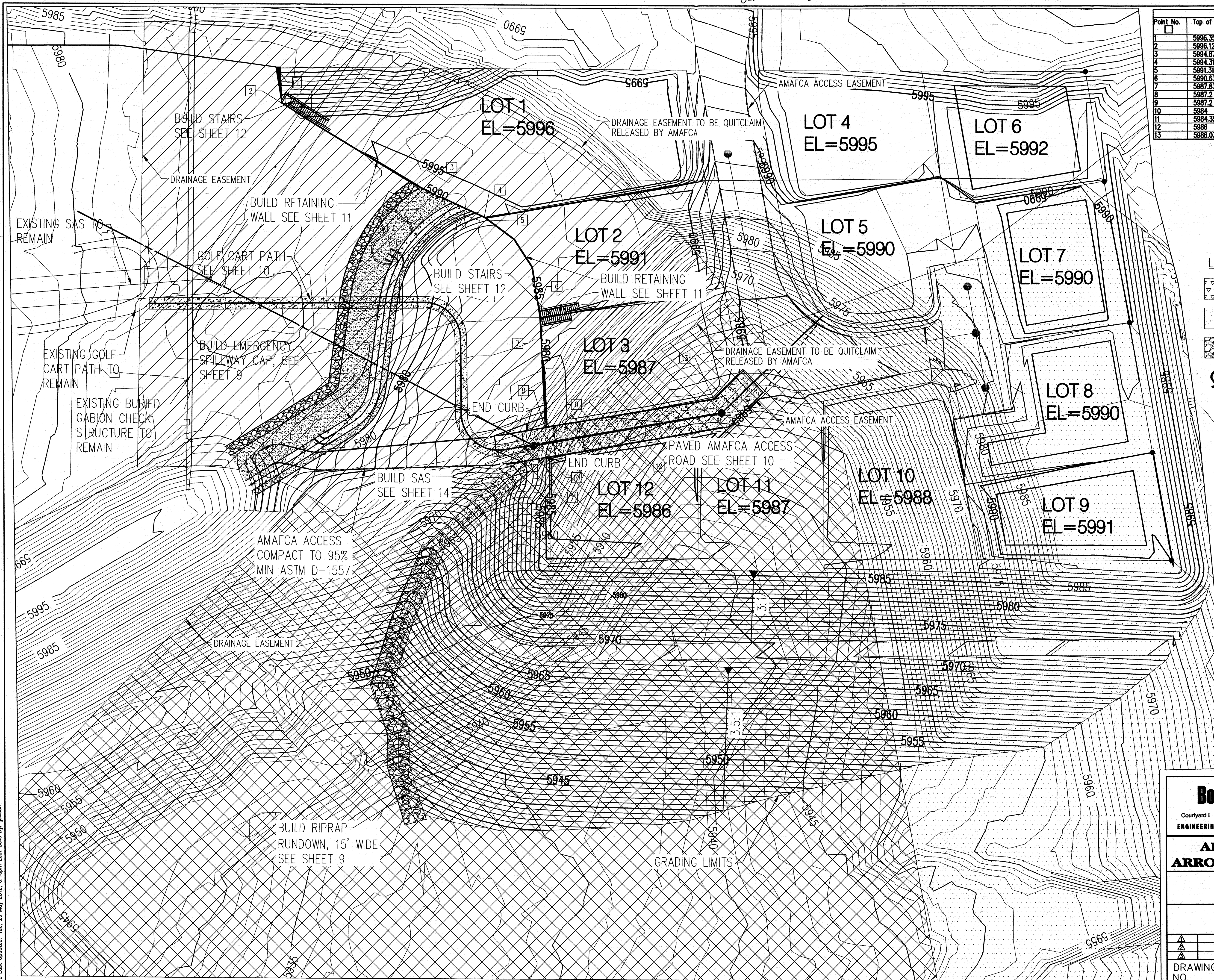
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File Last Updated: Fr, 27 Jul 2012, 10:22am Last Save By: jllison

what is this?



Point No.	Top of Wall	Finished Grade at Bottom of Wall	Centerline of Wall	
			Northing	Easting
1	5996.35	5983.48	1513888.50	1565666.53
2	5996.12	5983.95	1513863.91	1565660.52
3	5994.87	5983.22	1513831.67	1565713.00
4	5994.31	5979.43	1513786.03	1565788.19
5	5991.31	5979.43	1513784.25	1565800.54
6	5990.63	5978	1513722.47	1565834.78
7	5987.83	5978	1513712.84	1565835.70
8	5987.2	5981.86	1513643.14	1565838.59
9	5987.2	5981.95	1513643.64	1565841.55
10	5984	5981.75	1513622.97	1565839.24
11	5984.35	5983	1513618.17	1565839.20
12	5986	5984.1	1513631.68	1565893.22
13	5996.03	5984.39	1513663.27	1565993.82

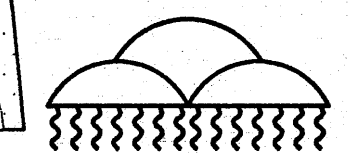
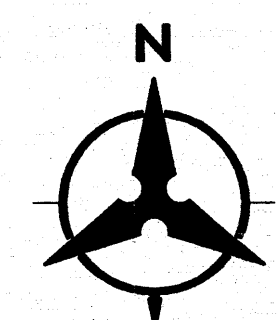
NOTE:

1. LOT ELEVATIONS SHOWN ARE BASED ON ROUGH GRADING.
2. SPILLWAY HYDRAULIC ANALYSIS CONSERVATIVELY ASSUMES NO FLOW WITHIN LOTS IN PMF EVENT.

LEGEND

- GRAVEL MULCH AND SEEDING
PER. COA SPEC SECTION 1012.
- SHOTCRETE
- RIPRAP

for information
only



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**ALBUQUERQUE METROPOLITAN
ARROYO FLOOD CONTROL AUTHORITY**

SPILLWAY MODIFICATIONS
PINO DAM

SPILLWAY AREA GRADING EPIBIOLOGY SECTION

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△				
△				
DRAWING NO. X		MAP NO. E-22-Z	SHEET 7	OF 23