

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

December 31, 2015

Fred C. Arfman, P.E.
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: The Legends at High Desert-Lot 28
6323 Cliffbrush Lane
Request Permanent C.O. - Accepted
Permanent CO – Accepted
Engineer's Stamp dated: 12-9-14 (E23D003B)
Certification dated: 12-31-15**

PO Box 1293

Dear Mr. Arfman,

Albuquerque

Based upon the information provided in your submittal received 12/16/2015, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

New Mexico 87103 If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

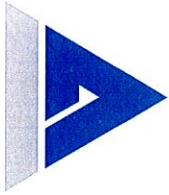
www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer,
Planning Department

TE/AC

C: email, Cordova, Camille C.; Connor, Francis; Miranda, Rachel; Sandoval, Darlene M.



December 31, 2015

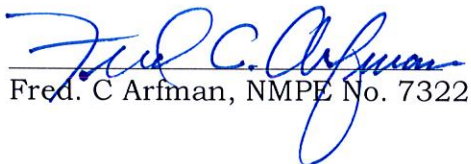
Reference: Lot 28

The Legends at High Desert

COA Hydrology File No.: E23/D3B

DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322 of the firm Isaacson & Arfman, PA, hereby certify that Lot 28 as identified in the as-built drawing has been graded or the basements constructed per the grades and will drain in substantial compliance with and in accordance with the design intent of the original approved plan dated 09-30-2005 and the Supplemental Study dated 12-09-14. The record information edited onto the original design document has been obtained by Will Plotner Jr., NMPS 14271, of the firm Cartesian Surveys Inc. I further certify that I have personally visited the project site on the date next to each rolling certification hereon and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted for release of building permit. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Fred. C Arfman, NMPE No. 7322



12-31-15
Date

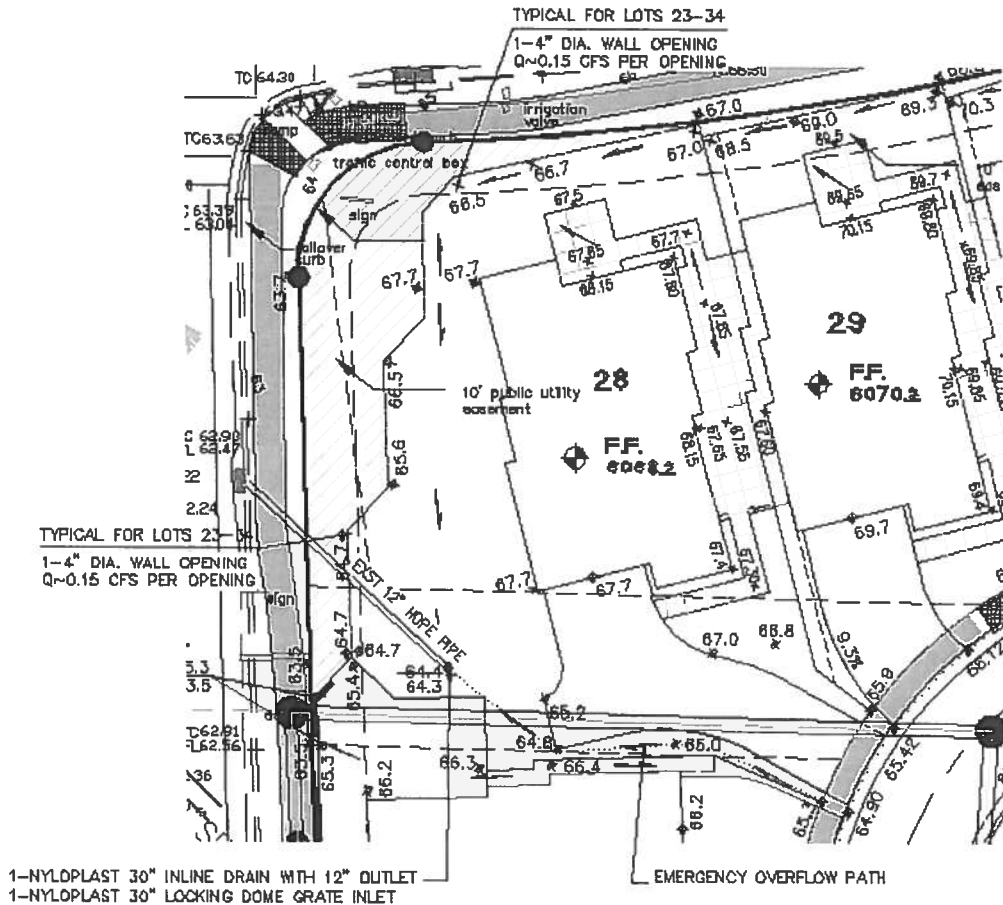
THE LEGENDS 2 HIGH DESERT DRAINAGE REPORT DATED 12/9/14

There is also a storage volume of approximately 8,000 cubic feet in the street should the water rise to the emergency overflow elevation of 65.3.

The 30" domed grate, emergency overflow path and 4" dia. wall opening on Lot 28 adjacent to the domed grate inlet (#3) shall be constructed prior to grading certification for lots 23-28.

The 4" dia backyard wall openings on lots 23-34 shall also be constructed on each lot prior to grading certification for each lot.

See below for an enlarged view of Lot 28 grading and inlet detail.



III. PROPOSED CONDITIONS

The inlets were analyzed for two scenarios with the grates being clogged to various degrees. The table below summarizes the inlet and wall opening capacities based on the overflow elevation of 65.3 for the emergency overflow condition (see Appendix A for calculations).

INLET CAPACITIES

SCENARIO 1 - Normal Condition

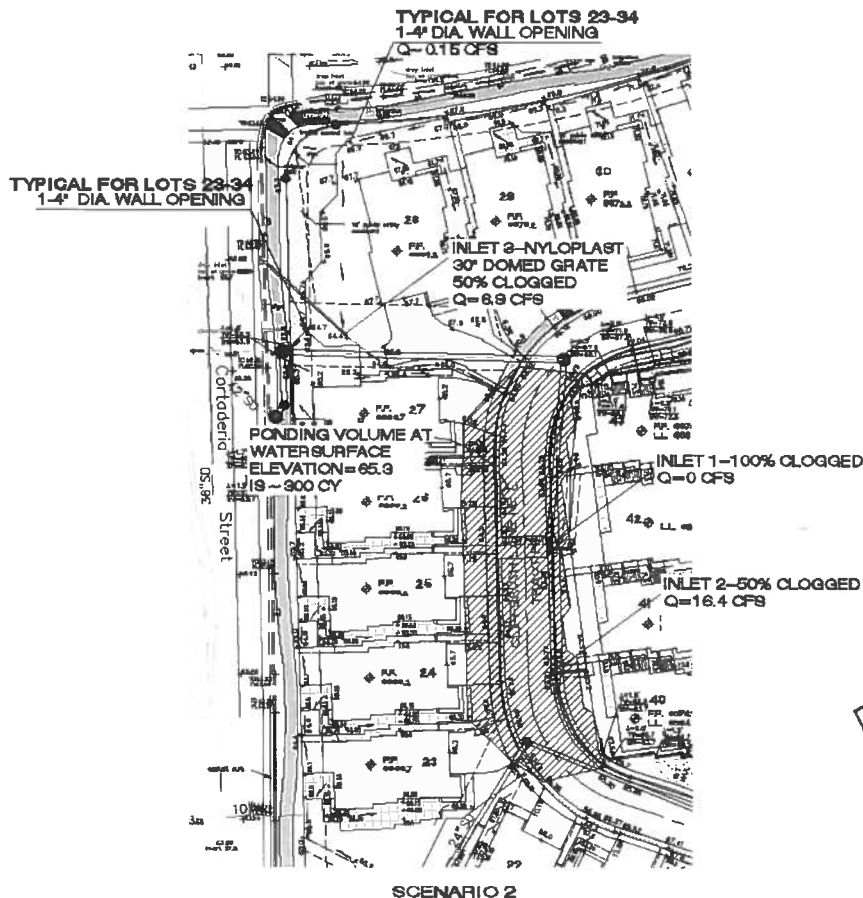
INLET 1 - 50% CLOGGED	17.8	cfs	(sump @ 0.5' head)
INLET 2 - 0% CLOGGED	5.5	cfs	(on grade)
	23.3	cfs	Actual=22.8 cfs

SCENARIO 2 -Emergency Overflow Condition

INLET 1 - 100% CLOGGED	0	cfs	
INLET 2 - 50% CLOGGED	16.4	cfs	(sump)
INLET 3 50% CLOGGED	6.9	cfs	(sump)
4" DIA. WALL OPENING - 50% CLOGGED	0.4	cfs	
	23.7	cfs	Actual=23.4 cfs

Scenario 1 shows the "normal condition" at a water depth of 0.5' at the sump inlet.

Scenario 2 shows that if the street sump inlet (#1) is completely clogged, the flows will be captured by the upstream street inlet (#2), inlet (#3) and the wall opening on Lot 28—all emergency overflow inlets and wall opening assumed 50% clogged.



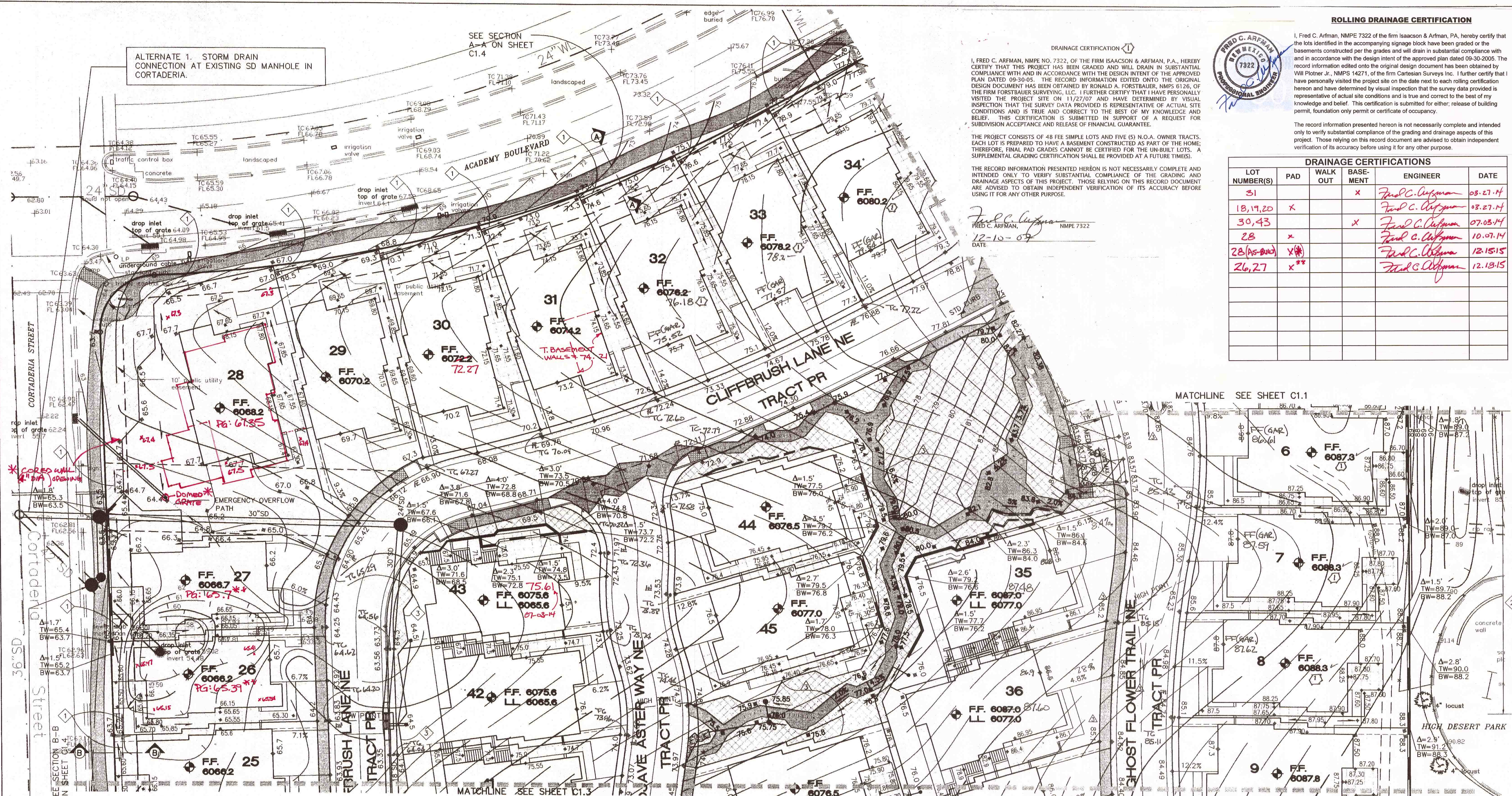
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

I, FRED C. ARFMAN, NMPE NO. 7322, OF THE FIRM ISAACSON & ARFMAN, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-30-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RONALD A. FORSTBAUER, NMPE 6126, OF THE FIRM FORSTBAUER SURVEYING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY REVIEWED THE PROJECT RECORD INFORMATION AND CONCLUDE THAT THE VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SUBDIVISION ACCEPTANCE AND RELEASE OF FINANCIAL GUARANTEE.

THE PROJECT CONSISTS OF 48 FEE SIMPLE LOTS AND FIVE (5) N.O.A. OWNER TRACTS. EACH LOT IS PREPARED TO HAVE A BASEMENT CONSTRUCTED AS PART OF THE HOME; THEREFORE, FINAL PAD GRADES CANNOT BE CERTIFIED FOR THE UN-BUILT LOTS. A SUPPLEMENTAL GRADING CERTIFICATION SHALL BE PROVIDED AT A FUTURE TIME(S).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Fred C. Arfman
FRED C. ARFMAN, NMPE 7322
12-10-07
DATE

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- EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED ELEVATION
FLOW ARROW
FINISH FLOOR ELEVATION
PROPOSED RETAINING WALL
PROPOSED GARDEN WALL W/ 1.5' MAX. RETAINING
TOP OF RET. WALL ELEVATION
BOTTOM OF RET. WALL
RETAINING WALL BY LANDSCAPE ARCHITECT
BACK YARD AREA DRAIN W/ DRAIN LINE
STORM DRAIN W/ MANHOLE
CATCH BASIN
LIMITS OF STANDARD CURB
(BOTH SIDES OF ENTRANCE TO ACADEMY
AND AT INSIDE OF LOOP STREET WHERE
THERE ARE NO LOTS FRONTING)

Bradley L. Lingham 1-18-06
APPROVED FOR ROUGH GRADING DATE



BENCHMARK:
ACS MONUMENT 3-E23
ELEV=6009.56 NAVD 88



SCALE 1"=20'

NOTES:

1. MOUNTABLE CURB
ALONG SIDE OF STREET
WHERE LOTS FRONT.
2. ALL STREET GRADES
ARE AT FLOWLINE

ALTERNATE 1. STORM DRAIN
CONNECTION AT EXISTING SD MANHOLE IN
CORTADERIA.

ALTERNATE 2. STORM DRAIN
CONNECTING AT EXISTING 42" STORM
DRAIN STUB

KEYED NOTES

1. PROVIDE WALL OPENINGS FOR LOTS W/ BACKYARDS ADJACENT TO ACADEMY BLVD AND CORTADERIA ST BY TURNING EVERY OTHER BLOCK SIDEWAYS OVER 10'.
2. WATERPROOF WALL TO ELEVATION 6090.0
3. WATERPROOF WALL TO ELEVATION 6065.5 ALONG BACKYARDS OF LOTS 40-43

LOT(S)	NOTE
26, 27	PAD GRADE TO BE CONSTRUCTED 9"-12" BELOW F.F. ELEVATION TO ALLOW FOR A 4" PCC SLAB, 0"-4" ABC & COMPACTED EXCAVATION MAT'L.



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-6828 Fax. 505-268-2632

1454 GRD. DWG onw 1/2/06

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**THE LEGENDS
AT HIGH DESERT**
Rutledge Investment Co.

GRADING & DRAINAGE PLAN

Checked By: FCA	Drawn By: ANW	No.	C12
Date:	Job Number: 1454	3 REV. GRADES	SH. OF