

# CITY OF ALBUQUERQUE



March 31, 2017

Fred C. Arfman, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: The Legends at High Desert Lot 42  
Request for Engineer Pad Certification - Accepted  
Engineer's Stamp dated: 9-30-05 (E23D003B)  
Certification dated: 3-28-17**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 3/28/2017, the above referenced Certification is acceptable for building permit.

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

Albuquerque

New Mexico 87103

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/SB  
C: email



SEE SECTION  
A-A ON SHEET  
C1.4

LOT 42

APPROVED FOR ROUGH GRADING DATE

BENCHMARK:  
ACS MONUMENT 3-E23  
ELEV=6009.56 NAVD 88

EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED ELEVATION  
FLOW ARROW  
FINISH FLOOR ELEVATION  
PROPOSED RETAINING WALL  
PROPOSED GARDEN WALL W/ 1.5' MAX. RETAINING  
TOP OF RET. WALL ELEVATION  
BOTTOM OF RET. WALL  
RETAINING WALL BY LANDSCAPE ARCHITECT  
BACK YARD AREA DRAIN W/ DRAIN LINE  
STORM DRAIN W/ MANHOLE  
CATCH BASIN  
LIMITS OF STANDARD CURB  
(BOTH SIDES OF ENTRANCE TO ACADEMY  
AND AT INSIDE OF LOOP STREET WHERE  
THERE ARE NO LOTS FRONTING)

I, Fred C. Arfman, NMPE 7322 of the firm Isaacson & Arfman, PA, hereby certify that the lots identified in the accompanying signage block have been graded or the basements constructed per the grades and will drain in substantial compliance with and in accordance with the design intent of the approved plan document dated 09-30-2005. The record information edited onto the original design document has been obtained by Wil Plotner Jr., NMPS 14271, of the firm Cartesian Survey Inc. I further certify that I have personally visited the project site on the date next to each rolling circulation hereon and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted for either: release of building permit, foundation only permit or certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

[illegible]

MATCHLINE SEE SHEET C1.1

**LEGEND**

EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED ELEVATION  
FLOW ARROW  
FINISH FLOOR ELEVATION  
PROPOSED RETAINING WALL  
PROPOSED GARDEN WALL W/ 1.5' MAX. RETAINING  
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BACK YARD AREA DRAIN W/ DRAIN LINE  
STORM DRAIN W/ MANHOLE  
CATCH BASIN  
LIMITS OF STANDARD CURB  
(BOTH SIDES OF ENTRANCE TO ACADEMY  
AND AT INSIDE OF LOOP STREET WHERE  
THERE ARE NO LOTS FRONTING)




**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-6828 Fax. 505-268-2632  
1454GRD.DWGcon 1/2/06

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## THE LEGENDS AT HIGH DESERT

Rutledge Investment Co

## GRADING & DRAINAGE PLAN

Checked By <b>FCA</b>	Drawn By <b>ANW</b>	No.	Revision	<b>C12</b>
Date	Job Number <b>1454</b>	 REV. GRADES		
				SH. OF



ALTERNATE 1. STORM DRAIN  
CONNECTION AT EXISTING SD MANHOLE IN  
CORTADERIA.

SEE SECTION  
A-A ON SHEET  
C1.4

ROLLING DRAINAGE CERTIFICATION

I, FRED C. ARFMAN, NMPE NO. 7322, OF THE FIRM ISAACSON & ARFMAN, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-30-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RONALD A. FORSTBAUER, NMPS 6126, OF THE FIRM FORSTBAUER SURVEYING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/27/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SUBDIVISION ACCEPTANCE AND RELEASE OF FINANCIAL GUARANTEE.

THE PROJECT CONSISTS OF 48 FEE SIMPLE LOTS AND FIVE (5) N.O.A. OWNER TRACTS. EACH LOT IS PREPARED TO HAVE A BASEMENT CONSTRUCTED AS PART OF THE HOME; THEREFORE, FINAL PAD GRADES CANNOT BE CERTIFIED FOR THE UN-BUILT LOTS. A SUPPLEMENTAL GRADING CERTIFICATION SHALL BE PROVIDED AT A FUTURE TIME(S).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

FRED C. ARFMAN, NMPE 7322  
DATE 12-10-07



I, Fred C. Arfman, NMPE 7322 of the firm Isaacson & Arfman, P.A., hereby certify that the lots identified in the accompanying signage block have been graded or the basements constructed per the grades and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 09-30-2005. The record information edited onto the original design document has been obtained by Will Ploner Jr., NMPS 14271, of the firm Cartesian Surveys Inc. I further certify that I have personally visited the project site on the date that each rolling certification hereon and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted for either: release of building permit, foundation only permit or certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

DRAINAGE CERTIFICATIONS

LOT NUMBER(S)	PAD	WALK OUT	BASE-MENT	ENGINEER	DATE
31			X	Fred C. Arfman	03-27-14
18,19,20	X			Fred C. Arfman	03-27-14
30,43			X	Fred C. Arfman	07-03-14
28	X			Fred C. Arfman	10-07-14
28(AS-BUILD)	X*			Fred C. Arfman	12-15-15
26,27	X**			Fred C. Arfman	12-18-15
42		X	X	Fred C. Arfman	03-28-17

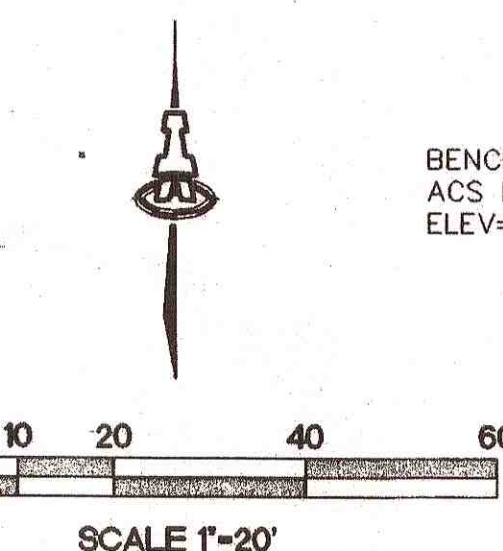
MATCHLINE SEE SHEET C1.1

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL W/ 1.5' MAX. RETAINING
- TOP OF RET. WALL ELEVATION
- BOTTOM OF RET. WALL
- RETAINING WALL BY LANDSCAPE ARCHITECT
- BACK YARD AREA DRAIN W/ DRAIN LINE
- STORM DRAIN W/ MANHOLE
- CATCH BASIN
- LIMITS OF STANDARD CURB (BOTH SIDES OF ENTRANCE TO ACADEMY AND AT INSIDE OF LOOP STREET WHERE THERE ARE NO LOTS FRONTING)

Bradley L. Tingley  
APPROVED FOR ROUGH GRADING  
DATE 1-18-06

BENCHMARK:  
ACS MONUMENT 3-E23  
ELEV=6009.56 NAVD 88



- NOTES:
1. MOUNTABLE CURB ALONG SIDE OF STREET WHERE LOTS FRONT.
  2. ALL STREET GRADES ARE AT FLOWLINE

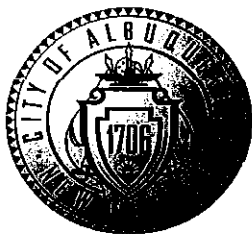
ALTERNATE 2. STORM DRAIN  
CONNECTING AT EXISTING 42" STORM  
DRAIN STUB

LOT(S)	NOTE
26,27	PAD GRADE TO BE CONSTRUCTED 9"-12" BELOW F.F. ELEVATION TO ALLOW FOR A 4" PCC SLAB, 0"-4" ABC & COMPACTED EXCAVATION MATERIAL.

KEYED NOTES

1. PROVIDE WALL OPENINGS FOR LOTS W/ BACKYARDS ADJACENT TO ACADEMY BLVD AND CORTADERIA ST BY TURNING EVERY OTHER BLOCK SIDEWAYS OVER 10'.
2. WATERPROOF WALL TO ELEVATION 6090.0
3. WATERPROOF WALL TO ELEVATION 6065.5 ALONG BACKYARDS OF LOTS 40-43





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: The Legends at High Desert Building Permit #: \_\_\_\_\_ City Drainage #: E23/D3B

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 42, The Legends at High Desert

City Address: 6309 Mojave Aster Way NE

Engineering Firm: Isaacson & Arfman, P.A.

Contact: Fred A. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828

Fax#: \_\_\_\_\_

E-mail: freda@iacivil.com

Owner: Las Ventanas Homes NM

Contact: \_\_\_\_\_

Address: P.O. Box 10600 - Albuquerque, NM 87184

Phone#: (505) 362-6824

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Architect: NA

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Other Contact: Cartesian Surveying, Inc.

Contact: Will Plotner

Address: P.O. Box 44414 - Rio Rancho, NM 87174

Phone#: (505) 896-3050

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: March 29, 2017 By: Fred C. Arfman

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_