

CITY OF ALBUQUERQUE



December 30, 2015

Fred C. Arfman, PE
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: The Legends at High Desert Lots 26 & 27
Request for Engineer Pad Certification - Accepted
Engineer's Stamp dated: 12-9-14 (E23D003B)
Certification dated: 12-23-15**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 12/23/2015, the above referenced Certification is acceptable for building permit.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

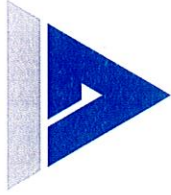
Albuquerque

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department

New Mexico 87103 Development and Review Services

www.cabq.gov

TE/AC
C: email



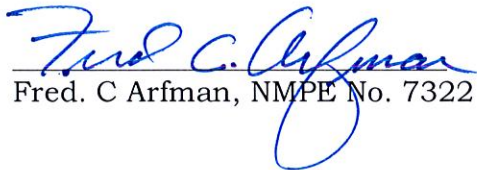
December 23, 2015

Reference: Lots 26 & 27
The Legends at High Desert

COA Hydrology File No.: E23/D3B

DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322 of the firm Isaacson & Arfman, PA, hereby certify that the lots identified in the as-built drawing have been graded or the basements constructed per the grades and will drain in substantial compliance with and in accordance with the design intent of the original approved plan dated 09-30-2005 and the Supplemental Study dated 12-09-14. The record information edited onto the original design document has been obtained by Will Plotner Jr., NMPS 14271, of the firm Cartesian Surveys Inc. I further certify that I have personally visited the project site on the date next to each rolling certification hereon and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted for release of building permit. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Fred. C Arfman, NMPE No. 7322



12-23-15
Date

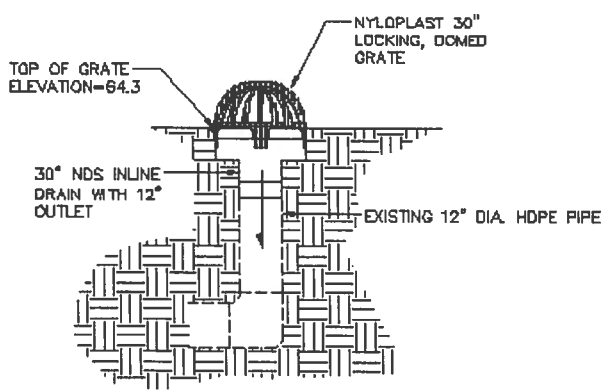
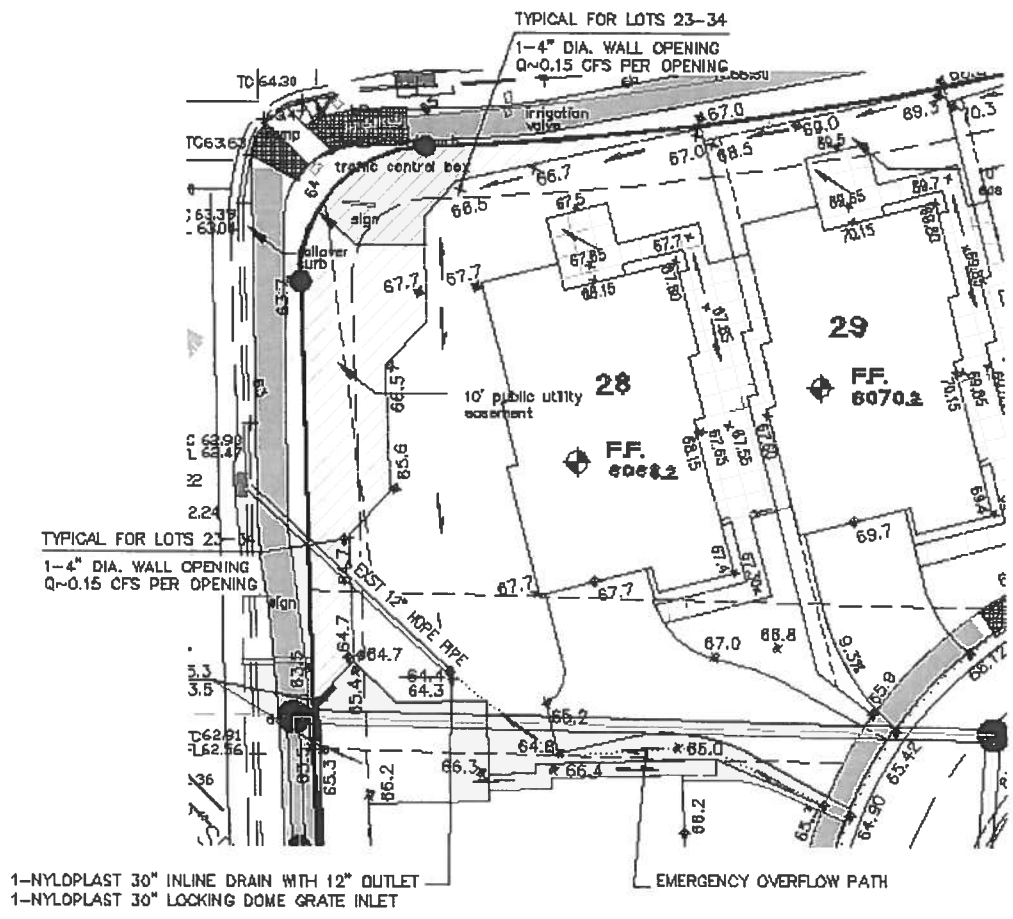
THE LEGENDS @ HIGH DESERT DRAINAGE REPORT DATED 12/9/14

There is also a storage volume of approximately 8,000 cubic feet in the street should the water rise to the emergency overflow elevation of 65.3.

The 30" domed grate, emergency overflow path and 4" dia. wall opening on Lot 28 adjacent to the domed grate inlet (#3) shall be constructed prior to grading certification for lots 23-28.

The 4" dia backyard wall openings on lots 23-34 shall also be constructed on each lot prior to grading certification for each lot.

See below for an enlarged view of Lot 28 grading and inlet detail.



IN-LINE DRAIN WITH DOMED GRATE

III. PROPOSED CONDITIONS

The inlets were analyzed for two scenarios with the grates being clogged to various degrees. The table below summarizes the inlet and wall opening capacities based on the overflow elevation of 65.3 for the emergency overflow condition (see Appendix A for calculations).

INLET CAPACITIES

SCENARIO 1 - Normal Condition

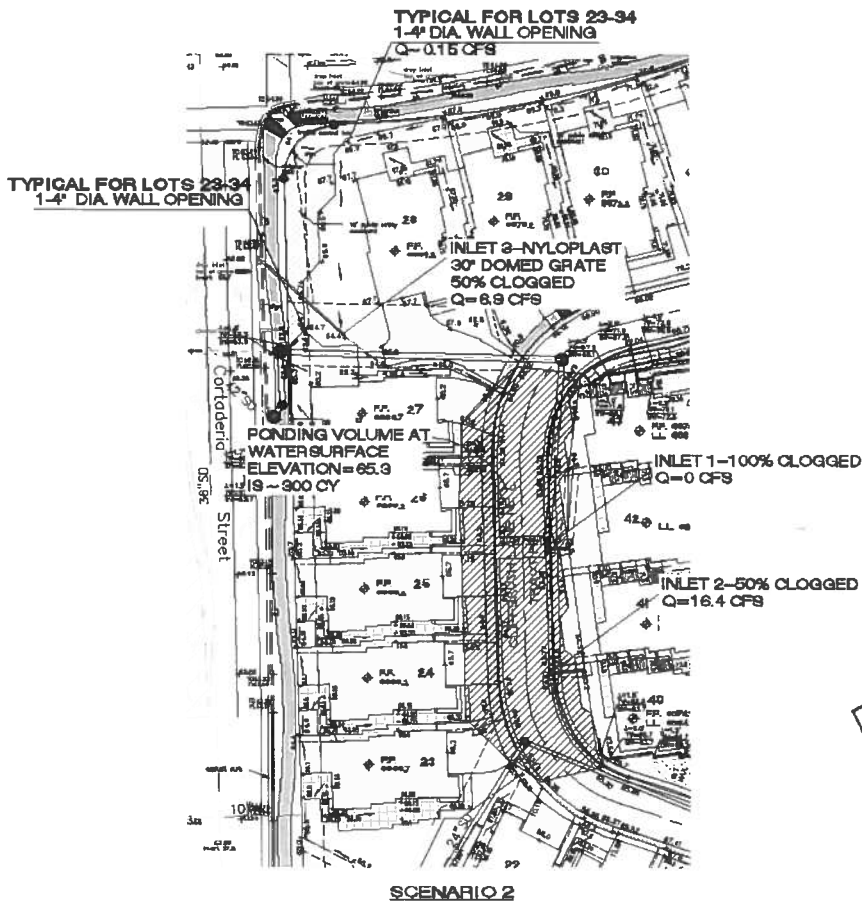
INLET 1 - 50% CLOGGED	17.8	cfs	(sump @ 0.5' head)
INLET 2 - 0% CLOGGED	<u>5.5</u>	cfs	(on grade)
	23.3	cfs	Actual=22.8 cfs

SCENARIO 2 -Emergency Overflow Condition

INLET 1 - 100% CLOGGED	0	cfs	
INLET 2 - 50% CLOGGED	16.4	cfs	(sump)
INLET 3 50% CLOGGED	6.9	cfs	(sump)
4" DIA. WALL OPENING - 50% CLOGGED	<u>0.4</u>	cfs	
	23.7	cfs	Actual=23.4 cfs

Scenario 1 shows the “normal condition” at a water depth of 0.5’ at the sump inlet.

Scenario 2 shows that if the street sump inlet (#1) is completely clogged, the flows will be captured by the upstream street inlet (#2), inlet (#3) and the wall opening on Lot 28—all emergency overflow inlets and wall opening assumed 50% clogged.



ROLLING DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322 of the firm Isaacson & Arfman, P.A. hereby certify that the lots identified in the accompanying signage block have been graded or the basements constructed per the grades and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 09-30-2005. The record information edited onto the original design document has been obtained by VIII Ploner Jr., NMPS 14271, of the firm Cartesian Surveys Inc. I further certify that I have personally visited the project site on the date next to each rolling certification hereon and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted for either, release of building permit, foundation only permit or certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



DRAINAGE CERTIFICATION

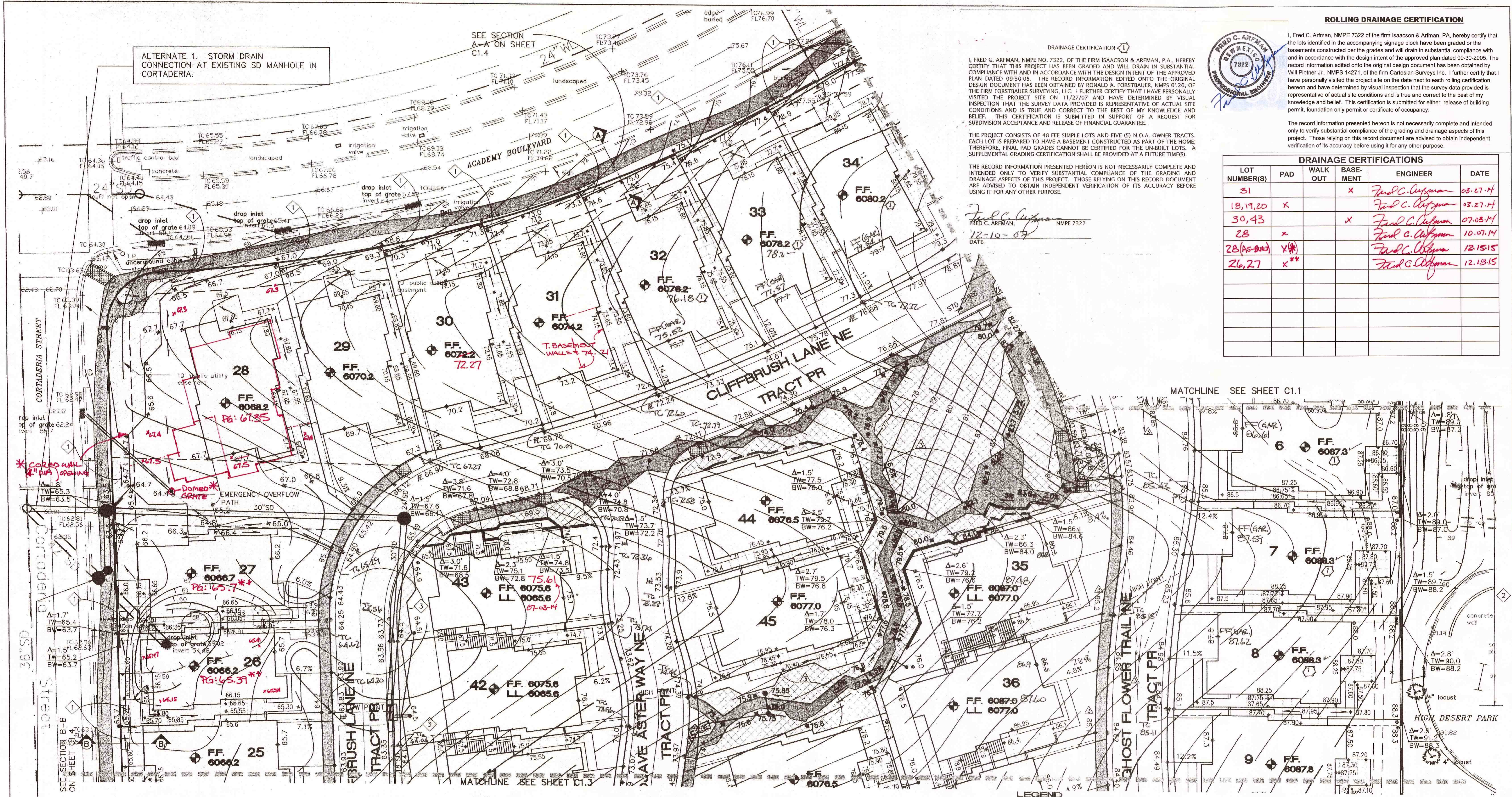
I, FRED C. ARFMAN, NMPE NO. 7322, OF THE FIRM ISAACSON & ARFMAN, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-30-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RONALD A. FORSTBAUER, NMPS 6126, OF THE FIRM FORSTBAUER SURVEYING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/27/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SUBDIVISION ACCEPTANCE AND RELEASE OF FINANCIAL GUARANTEE.

THE PROJECT CONSISTS OF 48 FEE SIMPLE LOTS AND FIVE (5) N.O.A. OWNER TRACTS. EACH LOT IS PREPARED TO HAVE A BASEMENT CONSTRUCTED AS PART OF THE HOME; THEREFORE, FINAL PAD GRADES CANNOT BE CERTIFIED FOR THE UN-BUILT LOTS. A SUPPLEMENTAL GRADING CERTIFICATION SHALL BE PROVIDED AT A FUTURE TIME(S).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Fred C. Arfman
 FRED C. ARFMAN, NMPE 7322
 DATE: 12-10-07

DRAINAGE CERTIFICATIONS					
LOT NUMBER(S)	PAD	WALK OUT	BASE-MENT	ENGINEER	DATE
31			X	<i>Fred C. Arfman</i>	03.27.14
18,19,20	X			<i>Fred C. Arfman</i>	03.27.14
30,43			X	<i>Fred C. Arfman</i>	07.03.14
28	X			<i>Fred C. Arfman</i>	10.07.14
28 (AS-BUILT)	X*			<i>Fred C. Arfman</i>	12.15.15
26,27	X**			<i>Fred C. Arfman</i>	12.18.15



ALTERNATE 1. STORM DRAIN CONNECTION AT EXISTING SD MANHOLE IN CORTADERIA.

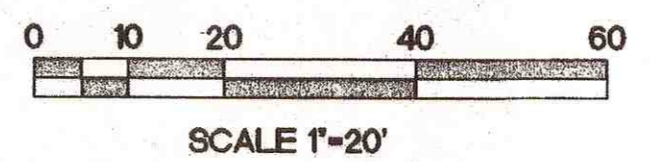
ALTERNATE 2. STORM DRAIN CONNECTING AT EXISTING 42" STORM DRAIN STUB

LOT(S) NOTE
 26,27 PAD GRADE TO BE CONSTRUCTED 9"-12" BELOW F.F. ELEVATION TO ALLOW FOR A 24" PCC SLAB, 6"-4" ABC & COMPACTED EXCAVATION MAT.

- KEYED NOTES**
- PROVIDE WALL OPENINGS FOR LOTS W/ BACKYARDS ADJACENT TO ACADEMY BLVD AND CORTADERIA ST BY TURNING EVERY OTHER BLOCK SIDWAYS OVER 10'.
 - WATERPROOF WALL TO ELEVATION 6090.0
 - WATERPROOF WALL TO ELEVATION 6065.5 ALONG BACKYARDS OF LOTS 40-43

Bradley D. Luyken
 APPROVED FOR ROUGH GRADING DATE: 1-18-06

BENCHMARK:
 ACS MONUMENT 3-E23
 ELEV=6009.56 NAVD 88



- NOTES:**
- MOUNTABLE CURB ALONG SIDE OF STREET WHERE LOTS FRONT.
 - ALL STREET GRADES ARE AT FLOWLINE

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- FLOW ARROW
- FF. 6067.3 FINISH FLOOR ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL W/ 1.5' MAX. RETAINING
- TOP OF RET. WALL ELEVATION
- BOTTOM OF RET. WALL
- RETAINING WALL BY LANDSCAPE ARCHITECT
- BACK YARD AREA DRAIN W/ DRAIN LINE
- STORM DRAIN W/ MANHOLE
- CATCH BASIN
- LIMITS OF STANDARD CURB (BOTH SIDES OF ENTRANCE TO ACADEMY AND AT INSIDE OF LOOP STREET WHERE THERE ARE NO LOTS FRONTING)

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1454GRD.DWGsw 1/2/06

THE LEGENDS AT HIGH DESERT
 Rulledge Investment Co.

GRADING & DRAINAGE PLAN

Checked By: FCA	Drawn By: ANW	No.:	Revision:	C12
Date:	Job Number: 1454	REV. GRADES		SH. OF



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: The Legends at High Desert - Lots 26 & 27 Building Permit #: _____ City Drainage #: E23/D3B
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: The Legends at High Desert, Lot 26 & 27
City Address: 6315 Cliffbrush Lane (Lot 26); 6319 Cliffbrush Lane (Lot 27)

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred A. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Las Ventanas Homes NM Contact: _____
Address: P.O. Box 10600 - Albuquerque, NM 87184
Phone#: (505) 362-6824 Fax#: _____ E-mail: _____

Architect: NA Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveying, Inc. Contact: Will Plotner
Address: P.O. Box 44414 - Rio Rancho, NM 87174
Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER** ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: December 18 2015 By: Fred C. Arfman

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____