



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 2, 2000

Chris Weiss, P.E.
C. L. Weiss Engineering Inc.
P.O. Box 97
Sandia Peak, NM 87047

RE: GRADING & DRAINAGE PLAN FOR WOLFE RESIDENCE, LOT 1, UNIT 2A,
HIGHLANDS AT HIGH DESERT (E-23 /D009) ENGINEER'S STAMP DATED
OCTOBER 25, 2000, SUBMITTED FOR SO 19 APPROVAL

Dear Mr. Weiss,

Based upon the information provided in your October 26, 2000, submittal, the project, referred to above, is approved for an SO 19 permit, which is required for construction within the city right-of-way.

Prior to release of the Certificate of Occupancy, an Engineer's Certification of the grading and drainage plan, per the DPM checklist, and a copy of the grading and drainage plan, with approval sign-off by the City's field inspector for the SO 19, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Pam Lujan, Permits w/attachment
Whitney Reiersen
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Wolfe Residence Revisions

ZONE ATLAS / DRNG. FILE #: E-23 / D9

LEGAL DESCRIPTION: Lot 1, Unit 2A, Highlands at High Desert

CITY ADDRESS: N/A

ENGINEERING FIRM: C.L. Weiss Engineering

CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047

PHONE: 281-1800

OWNER: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: Forstbauer Surveying

CONTACT: Ron Forstbauer

ADDRESS: 1100 Alvarado Dr. NE - Suite B

PHONE: 268-2112

CONTRACTOR FIRM: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

PRE-DESIGN MEETING:

☐ YES

DRB NO. _____

☐ NO

EPC NO. _____

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT

☐ PRELIMINARY PLAT

☐ SITE DEVELOPMENT PLAN

☐ FINAL PLAT

☐ BUILDING PERMIT

☐ FOUNDATION PERMIT

☐ CERT. OF OCCUPANCY

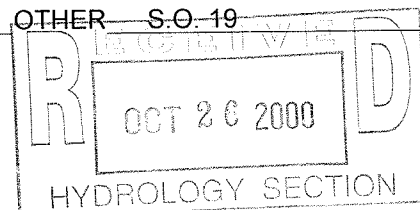
☐ ROUGH GRADING PERMIT

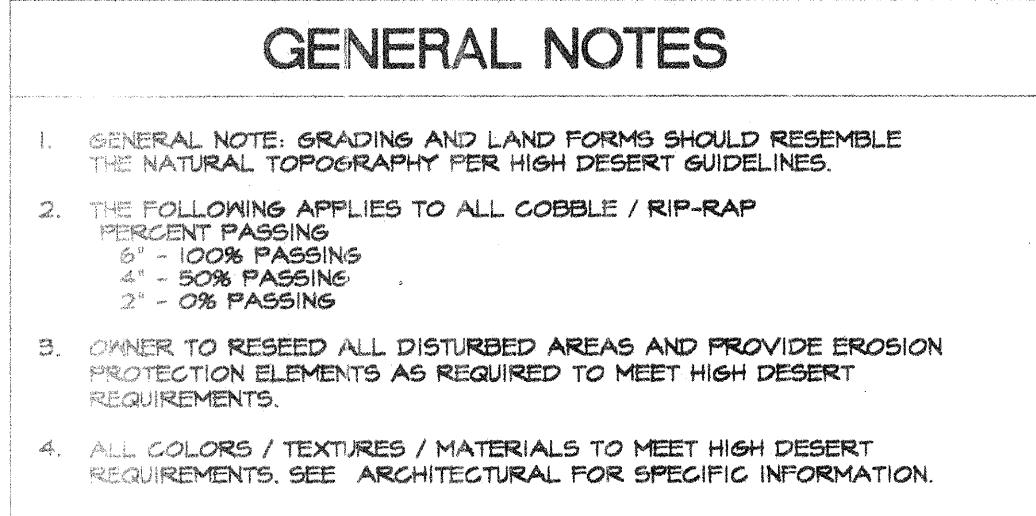
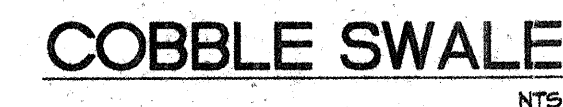
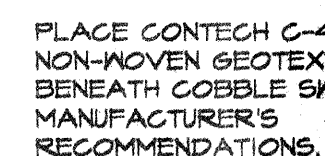
☐ GRADING / PAVING PERMIT

☒ OTHER S.O. 19

DATE SUBMITTED: Tuesday, September 28, 1999

BY: C.L. Weiss Engineering, Inc.





- Survey Notes**
1. Elevations shown hereon are based on the "As-Built" rim elevation of the sanitary sewer manhole at Station 3+50 as shown on the Utility Plan & Profile for Highlands at High Desert, Unit 2A, Bufiledago Court, Sheet 7 of 10, prepared by Bohannon-Huston dated October 9, 1996, and "as-built" by Harvey F. Phillips, PS No. 4767, on January 1997.
 2. THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.
 3. Underground structures affecting this property, including but not limited to utilities, are not a part of this survey.
 4. Except as noted below, easements shown hereon are as noted in owner's title policy number OP 32 0022 106 1792 dated February 10, 1997 as Chicago Title Insurance Company.
 5. Per Title Commitment No. OP 32 0022 106 1792 the Property shown hereon may be subject to the following easements:
 - a) Easement recorded as Document Number 950Q2447, records of Bernalillo County, New Mexico
 - b) Easement recorded as Document Number 9605377, records of Bernalillo County, New Mexico
 - c) Easement recorded as Document Number 86105492, records of Bernalillo County, New Mexico
 - d) Easement recorded as Document Number 96059880, records of Bernalillo County, New Mexico
 - e) Easement recorded as Document Number 950Q2447, records of Bernalillo County, New MexicoPlease consult said Documents for further information. These easements are not to be relied upon.

- 1) REMOVE / REPLACE 4' WIDE(H) EXISTING CONCRETE DRIVEPAD THIS AREA AND INSTALL NDS CHANNEL DRAIN ACROSS FULL DRIVE WIDTH. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. FIELD LOCATE FOR BEST FIT. SEE SECTION DETAILS THIS SHEET FOR ADDITIONAL INFORMATION.
- 2) CONSTRUCT CONCRETE PAD / ROUNDOFF BETWEEN EXISTING MAILBOX AND PROPOSED NEW EDGE OF DRIVE AT ELEVATIONS SHOWN. FIELD ADJUST FOR BEST FIT. PROVIDE 2' WIDE X 6" DEEP X 6" DEPRESSED COBBLE SWALE FROM EDGE OF ROUNDOFF TO BOTTOM OF POND 1.
- 3) PROVIDE 3' WIDE COBBLE ROUNDOFF ALONG EDGE OF EXISTING CONCRETE RIBBON CURB, AROUND EXISTING BOULDER AND IN FRONT OF EXISTING MAILBOX THIS AREA. TOP OF COBBLES AT CURB EDGE TO BE 2" (TYP.) BELOW TOP OF CURB. CONTINUE COBBLE SWALES TO BOTTOM OF POND 1 AT ELEVATIONS SHOWN.
- 4) REGRADE THIS AREA TO PROVIDE POSITIVE DRAINAGE AND ELIMINATE MINOR PONDING. PROVIDE 2' WIDE COBBLE SWALE TO PROPOSED RETENTION PONDING AREA.
- 5) CONSTRUCT RETENTION POND / STILLING BASIN THIS AREA TO STORE A PORTION OF THE REQUIRED 10-YEAR STORM EVENT.
- 6) CONSTRUCT HEADER CURB OR NATURAL BOULDER CURB TO KEEP FLOWS FROM ENTERING DRIVE THIS AREA. ROUND END OF CURB AT STREET FOR SMOOTH TRANSITION.
- 7) EXTEND CHANNEL DRAIN OUTFLOW PIPE (8" PVC) 76 LF TO PROPOSED STORM DRAIN OUTLET. CONSTRUCT PER DETAIL THIS SHEET.
- 8) CONTRACTOR TO ERECT TEMPORARY CONSTRUCTION FENCE TO ENSURE MINIMAL DISTURBANCE OF NATURAL AREAS TO REMAIN. CONTRACTOR TO COORDINATE WITH HIGH DESERT FOR ACTUAL FENCE LOCATION.

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED HEREIN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE UTILITY LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM OF TWO (2) DAYS.
5. BACKFILL CONFACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CURB CUTS AND DRIVEWAY CUTS.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.)

INSPECTION APPROVAL: _____

CONSTRUCTION SECTION _____ DATE _____

POST OFFICE BOX 97
SANDIA PARK NM, 87047
(505) 281-1800



ALVARADO OFFICE

1100 ALVARADO DR. NE
ALBUQUERQUE, NM 87110
(505) 266-3444

Revisions

this design, calculations, and concepts are owned by and remain the property of C.L. Weiss Engineering Inc. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Christopher L. Weiss, P.E.

Highlands at High Desert, Lot 1 Unit 2A
Wolfe Residence Revisions

Scale: 1" = 20'	Drawn By: BJB	Checked By: CLW	Job Number:	Date: OCTOBER 2000
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Drainage and Grading Plan

C-1
Sheet 1 of 1