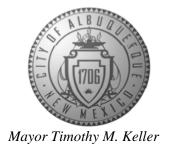
# CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



April 17, 2020

David Soule, P.E. Rio Grande Engineering P.O. Box 93924 Albuquerque, NM 87199

RE: 6804 Pino Arroyo Place NE **Grading and Drainage Plan** Engineer's Stamp Date: 03/30/20 Hydrology File: E23D009B

Dear Mr. Soule:

PO Box 1293

Albuquerque

www.cabq.gov

Based upon the information provided in your submittal received 03/30/20, the Grading and

Drainage Plan is approved for Building Permit.

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit

processing along with a copy of this letter and the pad certification approval letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer NM 87103

Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



# City of Albuquerque

### Planning Department

#### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6804 pino arroyo	iect Title: 6804 pino arroyo Building Permit #:		Hydrology File #:	
DRB#:	EPC#:	Work C	Work Order#:	
Legal Description: LOT 18A WEST H				
City Address: 6804 Pino Arroyo			7	
Applicant: Scott ashcraft	····	Contact:		
Address:				
Phone#:	_ Fax#:	E-mail: _		
Other Contact: RIO GRANDE ENGIN	EERING	Contact:	DAVID SOULE	
Address: PO BOX 93924 ALB NM			-	
Phone#: 505.321.9099	_ <b>Fax</b> #:	E-mail: <sup>da</sup>	avid@riograndeengineering.com 	
TYPE OF DEVELOPMENT: PLAT				
Check all that Apply:				
DEPARTMENT:  X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	X_BUI	APPROVAL/ACCEP	OVAL	
TYPE OF SUBMITTAL:	CER	TIFICATE OF OCCUP	ANCY	
ENGINEER/ARCHITECT CERTIFICATIO	NPRE	LIMINARY PLAT API	PROVAL	
PAD CERTIFICATION		SITE PLAN FOR SUB'D APPROVAL		
CONCEPTUAL G & D PLAN	SITI	SITE PLAN FOR BLDG. PERMIT APPROVAL		
GRADING PLAN		FINAL PLAT APPROVAL		
DRAINAGE REPORT				
DRAINAGE MASTER PLAN	SIA/	RELEASE OF FINAN	CIAL GUARANTEE	
FLOODPLAIN DEVELOPMENT PERMIT APPLIC		FOUNDATION PERMIT APPROVAL		
ELEVATION CERTIFICATE		GRADING PERMIT APPROVAL		
CLOMR/LOMR		SO-19 APPROVAL		
TRAFFIC CIRCULATION LAYOUT (TCL)		PAVING PERMIT APPROVAL		
TRAFFIC IMPACT STUDY (TIS)		GRADING/ PAD CERTIFICATION		
STREET LIGHT LAYOUT		WORK ORDER APPROVAL		
OTHER (SPECIFY)		CLOMR/LOMR		
PRE-DESIGN MEETING?		FLOODPLAIN DEVELOPMENT PERMIT		
IS THIS A RESUBMITTAL?: YesX_N	OTH	ER (SPECIFY)		
DATE SUBMITTED:				
COA STAFF:	ELECTRONIC SUBMITTAL RE			
	FEE PAID:			

#### RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

March 30, 2020

Ms Yolanda Padilla Moyer, PE Bohannan Huston 7500 Jefferson NE Albuquerque, NM 87109

RE: Grading and Drainage Plan
6804 PINO ARROYO PLACE NE
Lot 18A, WEST HIGHLANDSAT HIGH DESERT
Albuquerque New Mexico

Dear Ms. Padilla Moyer:

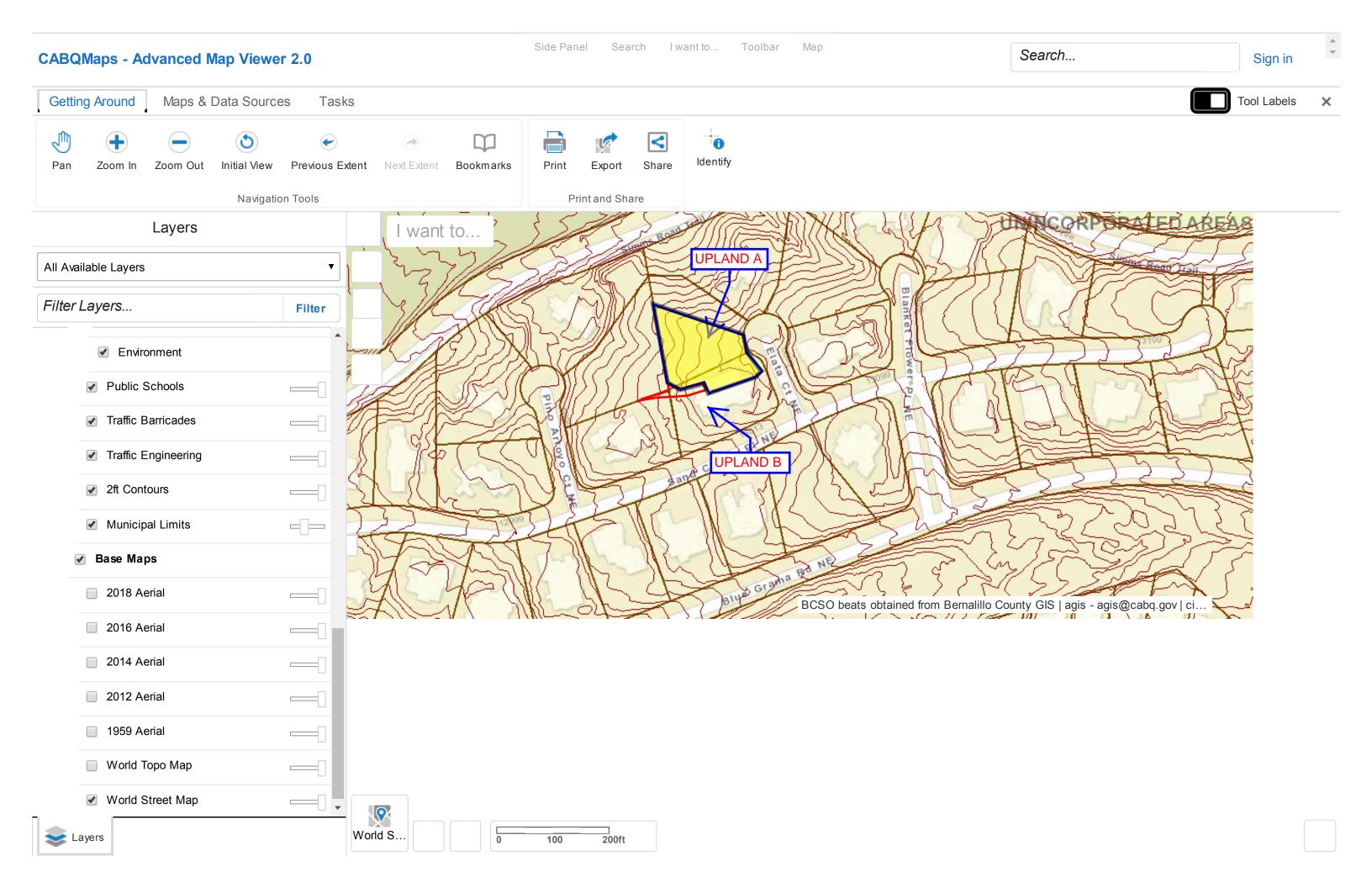
The purpose of this letter is to accompany the enclosed grading plan for the referenced project. . The subject site is located in the Estate lot section of High Desert. The master drainage plan calls maximum allowable discharge based upon an estimated land treatment distribution. Due to this site being governed by the Sustainability guidelines the allowable discharge is further limited to match the historic peak rate generated from the existing site.

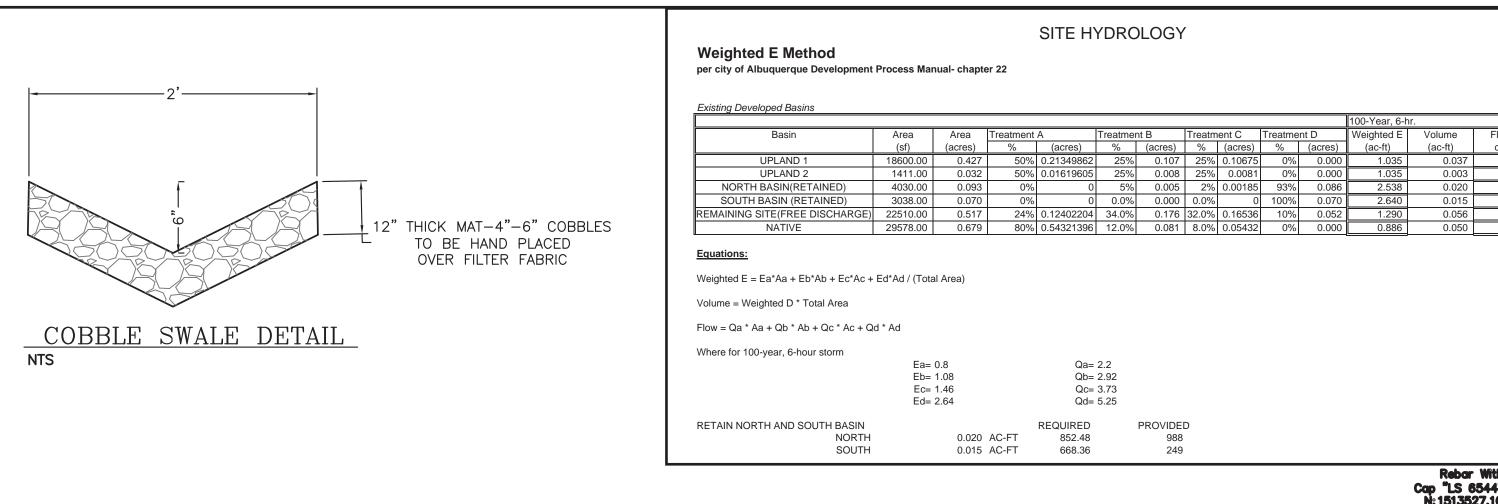
This development area of the site is impacted by minor upland flow of 1.18 cfs and 0.1 cfs from the side yard of the adjacent upstream parcel. The upland basins are allowed to enter and pass through the site. The historic flow generated from this site is 1.64 cfs. The total historic flow leaving site is 1.64 cfs. The proposed site has been graded to match existing discharge patterns. The Drainage basins delineated on the grading plan shows the site will consist of 3 drainage basins. The North Basin contains the northern portion of the house and rear patio. This basin generates 0.34 cfs and 853 cubic feet of storm water. This storm water is captured at each roof downspout and pool area drains and conveyed to a Stormtech Infiltrator system. The system has a capacity of 988 CF. The South Basin contains the southern portion of the house. This basin generates 0.37 cfs and 669 cubic feet of storm water. This storm water is captured at each roof downspout and conveyed to a Stormtech Infiltrator system. The system has a capacity of 809 CF The remaining site generates 1.67 cfs which free discharges to the historical discharge points. The proposed site will discharge .03 cfs greater than historical, which we feel is de minimus and should be allowed.

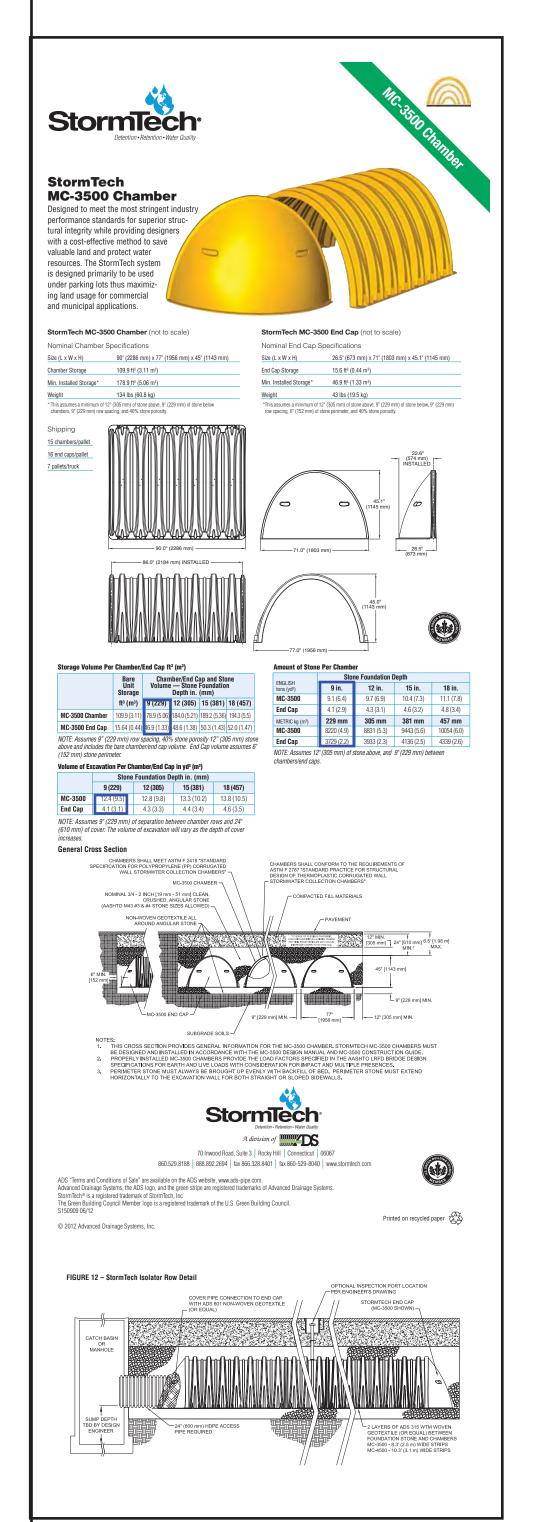
The site hydrology utilizes the Weighted E methodology specified within the city of Albuquerque DPM. We have enclosed the grading plan, site hydrology and hydraulic calculations supporting this design. Should you have any questions regarding this resubmittal, please do not hesitate to call me.

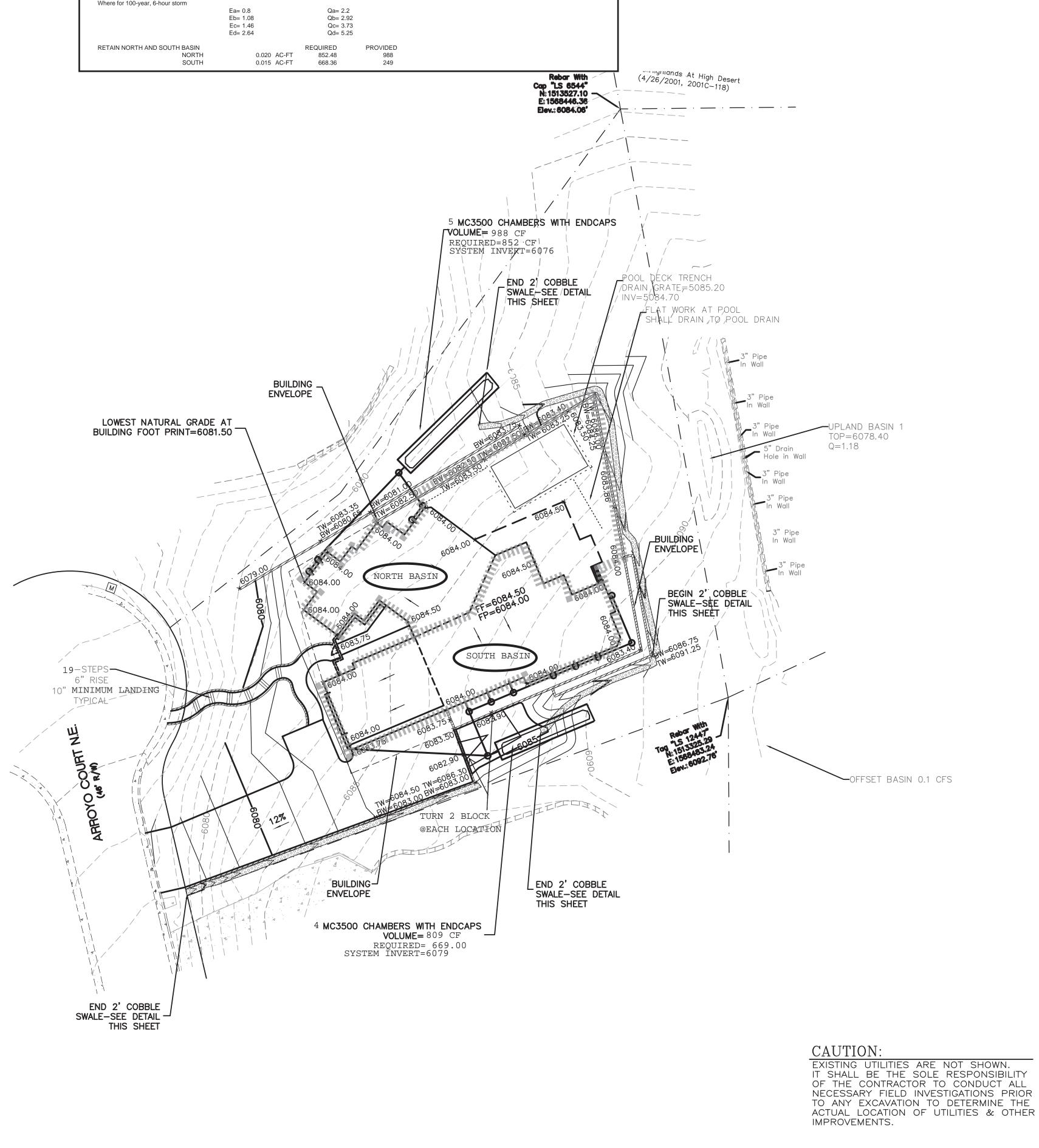
Sincerely,

David Soule, PE Rio Grande Engineering



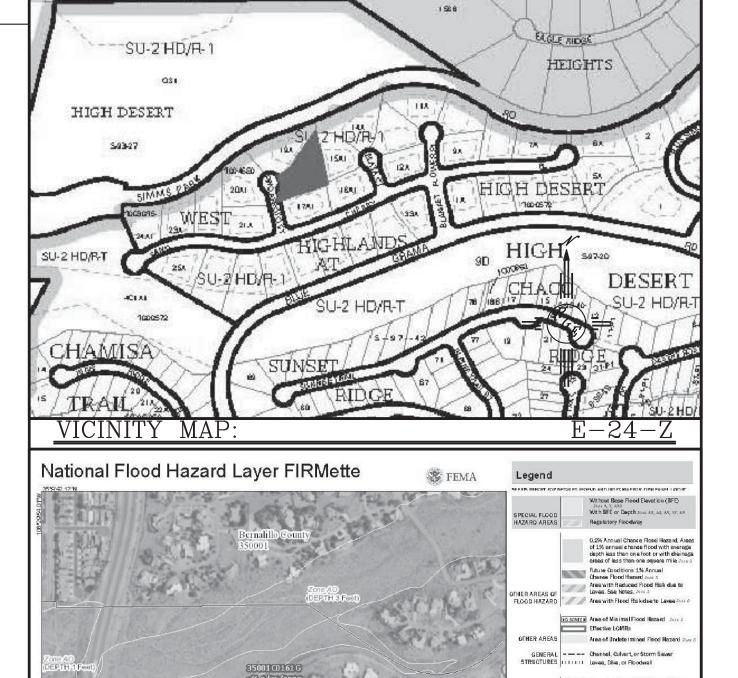






## EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



C - - Coastal Transect
- so - Base Flood Elevation Line (BFE)
Limit of Stuck

Limit of Study
Jurisdiction Boundary

No Digital Data Available

MAP PANELS Unmapped

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This m was exported on 8/18/2019 at 12:35:24 PM, and does no

eagerid, seek bar, map creation date, community identifiers legend, seek bar, map creation date, community identifiers FIRM panel number, and FIRM effective date. Map images t unmapped and unmodernized areas cannot be used for regulatory purposes.

# FIRM MAP:

SP---82----242

LEGAL DESCRIPTION: Lot 18A, West Highlands at High Desert

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE

- 2. ALL ROOF DRAINS SHALL HAVE A SPLASH PAD AND 2' COBBLE SWALE THAT SHALL TIE TO MAIN COBBLES SWALES AROUND THE HOUSE PER DETAIL THIS SHEET. 3. ALL DISTURBED AREAS SHALL BE RESEEDED WITH APPROVED HIGH DESERT MIX
- WITHIN 30 DAYS AFTER THE END OF DISTURBANCE. 4. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING
- PRIOR TO CO.
- 5. SURVEY PROVIDED BY COMMUNITY SCIENCES CORPORATION, BASED UPON NAVD 1988 DATUM.

## LEGEND

SCALE: 1"=20'

