

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 17, 2020

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 6804 Pino Arroyo Place NE
Grading and Drainage Plan
Engineer's Stamp Date: 03/30/20
Hydrology File: E23D009B**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 03/30/20, the Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

NM 87103

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6804 pino arroyo **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT 18A WEST HIGHLANDS AT HIGH DESERT

City Address: 6804 Pino Arroyo

Applicant: Scott ashcraft **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

March 30, 2020

Ms Yolanda Padilla Moyer, PE
Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109

**RE: Grading and Drainage Plan
6804 PINO ARROYO PLACE NE
Lot 18A, WEST HIGHLANDS AT HIGH DESERT
Albuquerque New Mexico**

Dear Ms. Padilla Moyer:


The purpose of this letter is to accompany the enclosed grading plan for the referenced project. The subject site is located in the Estate lot section of High Desert. The master drainage plan calls maximum allowable discharge based upon an estimated land treatment distribution. Due to this site being governed by the Sustainability guidelines the allowable discharge is further limited to match the historic peak rate generated from the existing site.


This development area of the site is impacted by minor upland flow of 1.18 cfs and 0.1 cfs from the side yard of the adjacent upstream parcel. The upland basins are allowed to enter and pass through the site. The historic flow generated from this site is 1.64 cfs. The total historic flow leaving site is 1.64 cfs. The proposed site has been graded to match existing discharge patterns. The Drainage basins delineated on the grading plan shows the site will consist of 3 drainage basins. The North Basin contains the northern portion of the house and rear patio. This basin generates 0.34 cfs and 853 cubic feet of storm water. This storm water is captured at each roof downspout and pool area drains and conveyed to a Stormtech Infiltrator system. The system has a capacity of 988 CF. The South Basin contains the southern portion of the house. This basin generates 0.37 cfs and 669 cubic feet of storm water. This storm water is captured at each roof downspout and conveyed to a Stormtech Infiltrator system. The system has a capacity of 809 CF. The remaining site generates 1.67 cfs which free discharges to the historical discharge points. The proposed site will discharge .03 cfs greater than historical, which we feel is de minimus and should be allowed.


The site hydrology utilizes the Weighted E methodology specified within the city of Albuquerque DPM. We have enclosed the grading plan, site hydrology and hydraulic calculations supporting this design. Should you have any questions regarding this resubmittal, please do not hesitate to call me.


Sincerely,


David Soule, PE
Rio Grande Engineering


Pan


Zoom In


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Initial View


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Next Extent

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Print and Share

Layers

All Available Layers

Filter Layers...

Filter

☒ Environment

☒ Public Schools

☒ Traffic Barricades

☒ Traffic Engineering

☒ 2ft Contours

☒ Municipal Limits

☒ Base Maps

☐ 2018 Aerial

☐ 2016 Aerial

☐ 2014 Aerial

☐ 2012 Aerial

☐ 1959 Aerial

☐ World Topo Map

☒ World Street Map

