CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



July 29, 2020

David Soule, P.E. Rio Grande Engineering P.O. Box 93924 Albuquerque, NM 87199

RE: 6804 Pino Arroyo Place NE

Grading and Drainage Plan

Engineer's Certification Date: 07/23/20

Engineer's Stamp Date: 03/30/20

Hydrology File: E23D009B

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your Certification received on 07/27/20 and site photos sent on 07/28/20, the above referenced Certification is acceptable for Building Pad Certification for 6804 Pino Arroyo Place NE.

Albuquerque

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

www.cabq.gov

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department



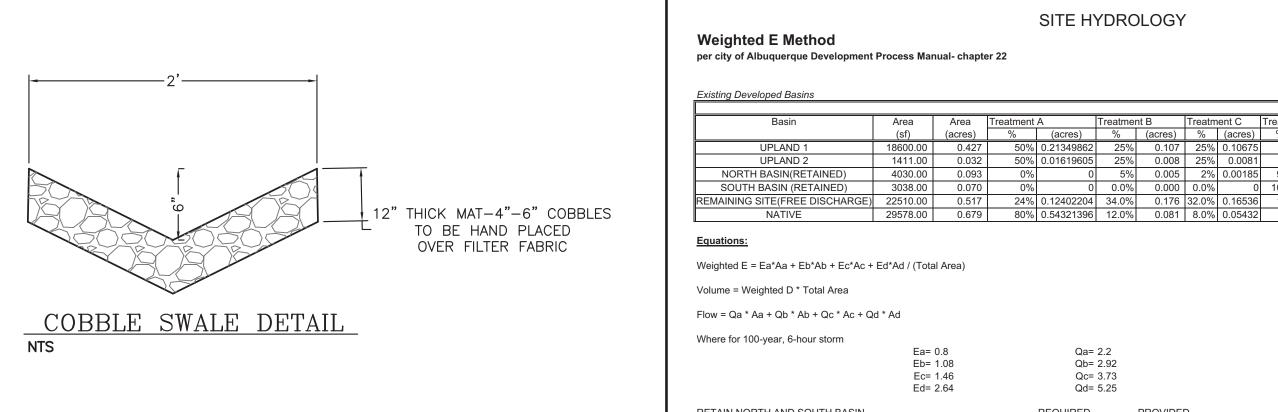
City of Albuquerque

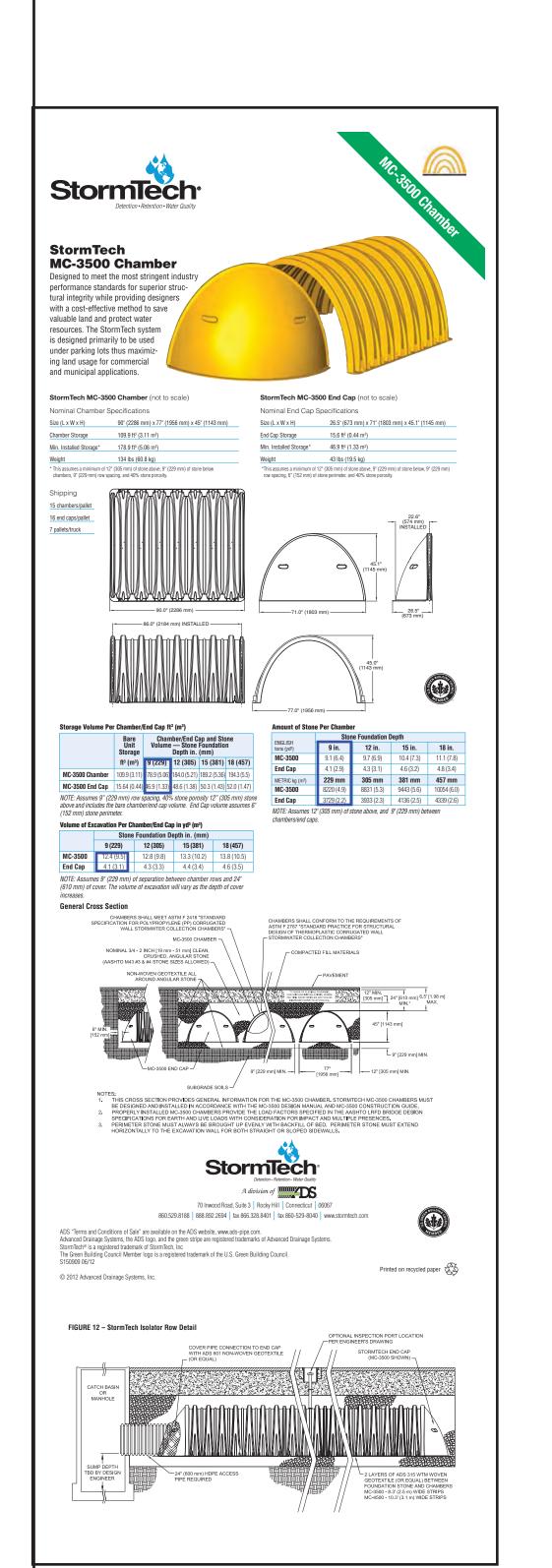
Planning Department

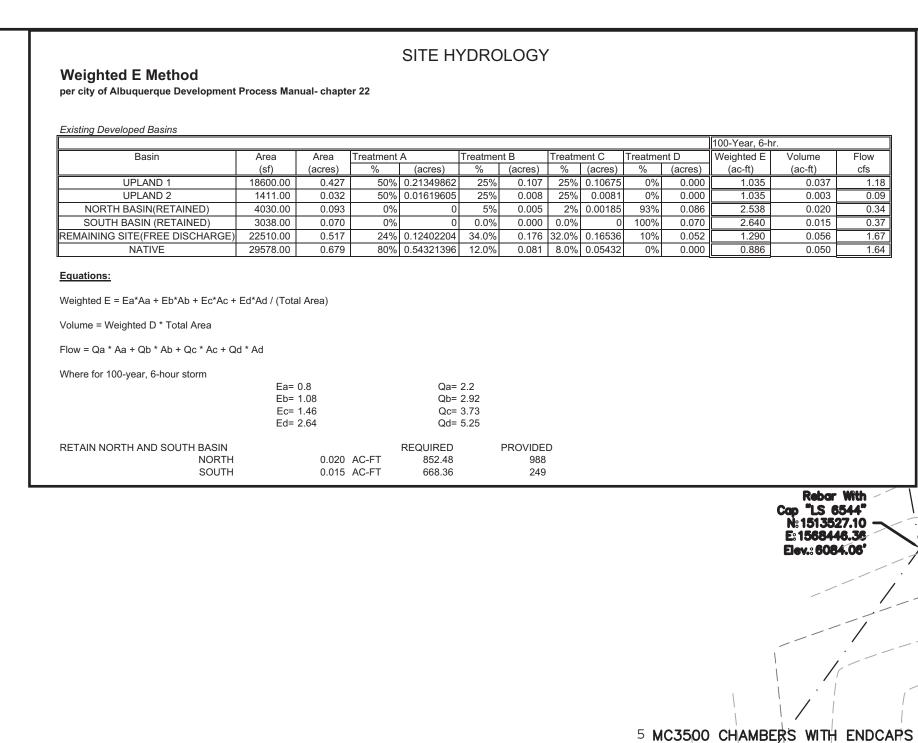
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6804 pino arroyo	Building Permit #:	Hydrology File #:	_
DRB#:	EPC#:	Work Order#:	
Legal Description: LOT 18A WEST H			- _
City Address: 6804 Pino Arroyo	- up-n		_
Applicant: Scott ashcraft		Contact:	_
Address:			_
Phone#:	_ Fax#:	E-mail:	_
Other Contact: RIO GRANDE ENGIN	EERING	Contact: DAVID SOULE	_
Address: PO BOX 93924 ALB NM	87199		_
Phone#: 505.321.9099	Fax#: 505.872.0999	E-mail: david@riograndeengi	- neering.com -
TYPE OF DEVELOPMENT: PLAT			
Check all that Apply:			
DEPARTMENT:	TYPE OF	F APPROVAL/ACCEPTANCE SOUGHT:	
X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	X_BUI	LDING PERMIT APPROVAL TIFICATE OF OCCUPANCY	
	CER		
TYPE OF SUBMITTAL:			
ENGINEER/ARCHITECT CERTIFICATIO		PRELIMINARY PLAT APPROVAL	
X PAD CERTIFICATION		E PLAN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN		E PLAN FOR BLDG. PERMIT APPROVAL	
GRADING PLAN	FINA	AL PLAT APPROVAL	
DRAINAGE REPORT	GT. L	/ BY - 1 (2 - 0 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	
DRAINAGE MASTER PLAN		RELEASE OF FINANCIAL GUARANTEE	
FLOODPLAIN DEVELOPMENT PERMIT		FOUNDATION PERMIT APPROVAL	
ELEVATION CERTIFICATE		ADING PERMIT APPROVAL	
CLOMR/LOMR		19 APPROVAL	
TRAFFIC CIRCULATION LAYOUT (TCI	<i>-</i>	PAVING PERMIT APPROVAL	
TRAFFIC IMPACT STUDY (TIS)		ADING/ PAD CERTIFICATION	
STREET LIGHT LAYOUT	WOF	RK ORDER APPROVAL	
OTHER (SPECIFY)	CLO	MR/LOMR ODPLAIN DEVELOPMENT PERMIT	
PRE-DESIGN MEETING?			
IS THIS A RESUBMITTAL?: X YesN	OTH	IER (SPECIFY)	
DATE SUBMITTED:			
COA STAFF:	ELECTRONIC SUBMITTAL REC	CEIVED:	
	FEE PAID:		







BUILDING **ENVELOPE**

LOWEST NATURAL GRADE AT

BUILDING FOOT PRINT=6081.50

19-STEPS-

6" RISE

TYPLCAL-

10" MINIMUM LANDING

END 2' COBBLE SWALE-SEE DETAIL -

THIS SHEET

「VOLUME= 988 CF

REQUIRED=852 CF SYSTEM INVERT=6076

_END 2' COBBLE

THIS SHEET

SWALE-SEE / DETAIL

=IIIIIIII

END 2' COBBLE

THIS SHEET

SWALE-SEE DETAIL

@EACH LOCATION

BUILDING-

4 MC3500 CHAMBERS WITH ENDCAPS

REQUIRED= 669.00 SYSTEM INVERT=6079

VOLUME= 809 CF

ENVELOPE

EROSION CONTROL NOTES: INTO EXISTING RIGHT-OF-WAY.

-UPLAND BASIN 1

TOP=6078.40

→OFFSET BASIN 0.1 CFS

CAUTION:

IMPROVEMENTS.

EXISTING UTILITIES ARE NOT SHOWN.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR

TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER

Q = 1.18

Hole in Wall

3" Pipe In Wall

3" Pipe

(4/26/2001, 2001C-118)

POOL DECK TRENCH

DRAIN√GRATE=5085.20

/ ENVELOPE

BEGIN 2' COBBLE

SWALE-SEE DETAIL

THIS SHEET/

FLAT WORK AT POOL

SHALL DRAIN TO POOL DRAIN

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING

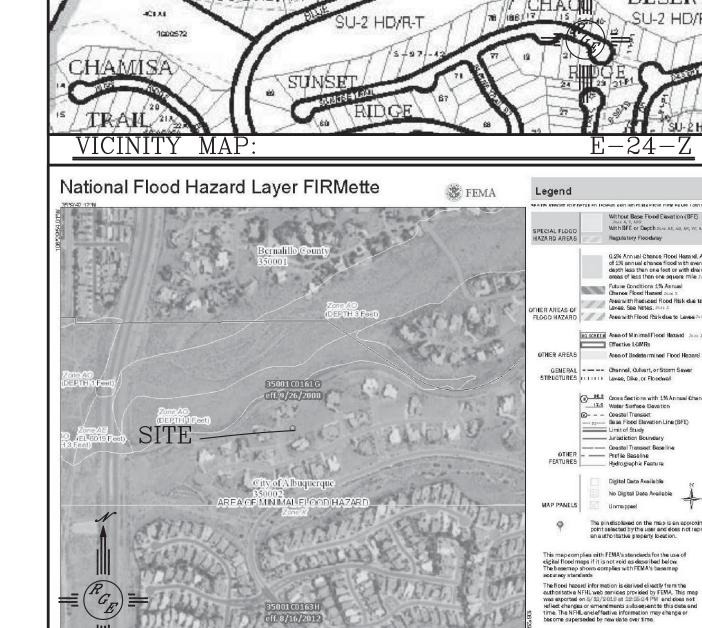
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 3/30/20





HEIGHTS

LEGAL DESCRIPTION:

FIRM MAP:

SP---82----242

SU-2 HD/R-1

HIGH DESERT

Lot 18A, West Highlands at High Desert

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE

2. ALL ROOF DRAINS SHALL HAVE A SPLASH PAD AND 2' COBBLE SWALE THAT SHALL TIE TO MAIN COBBLES SWALES AROUND THE HOUSE PER DETAIL THIS SHEET. 3. ALL DISTURBED AREAS SHALL BE RESEEDED WITH APPROVED HIGH DESERT MIX

WITHIN 30 DAYS AFTER THE END OF DISTURBANCE. 4. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING

PRIOR TO CO.

5. SURVEY PROVIDED BY COMMUNITY SCIENCES CORPORATION, BASED UPON NAVD 1988 DATUM.

LEGEND

