CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



May 28, 2021

David Soule, PE Rio Grande Engineering 1606 Central SE Suite 201 Albuquerque, NM 87106

RE: 6804 Pino Arroyo Ct. NE

Permanent C.O. - Approved

Engineer's Certification Date: 5/25/21

Engineer's Stamp Date: 6/28/20 Hydrology File: E23D009B

Dear Mr. Soule:

Based on the certification received 5/26/21 and a site visit on 5/28/21, this certification is

approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

NM 87103

Ernest Armijo, P.E.

www.cabq.gov Principal Engineer, Planning Dept.

Development Review Services



City of Albuquerque

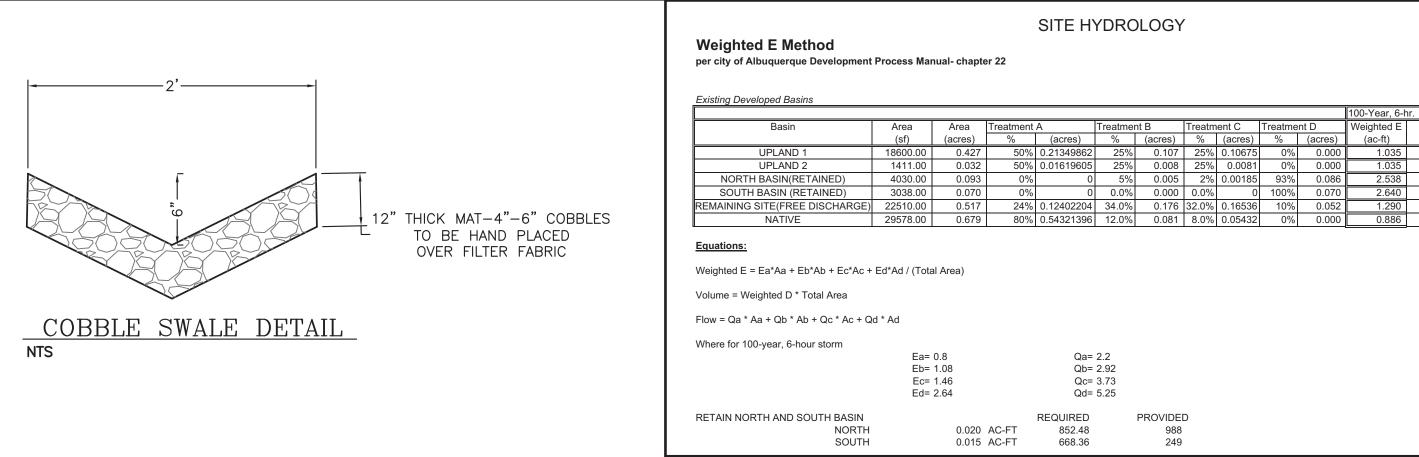
Planning Department

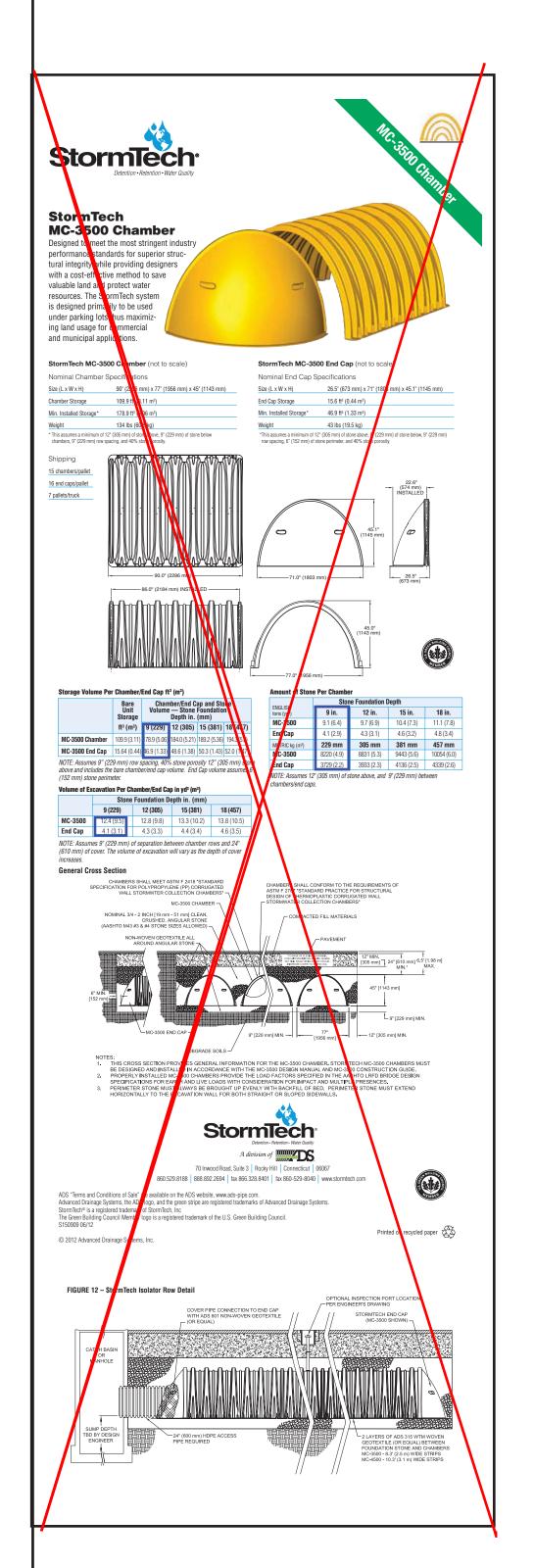
Development & Building Services Division

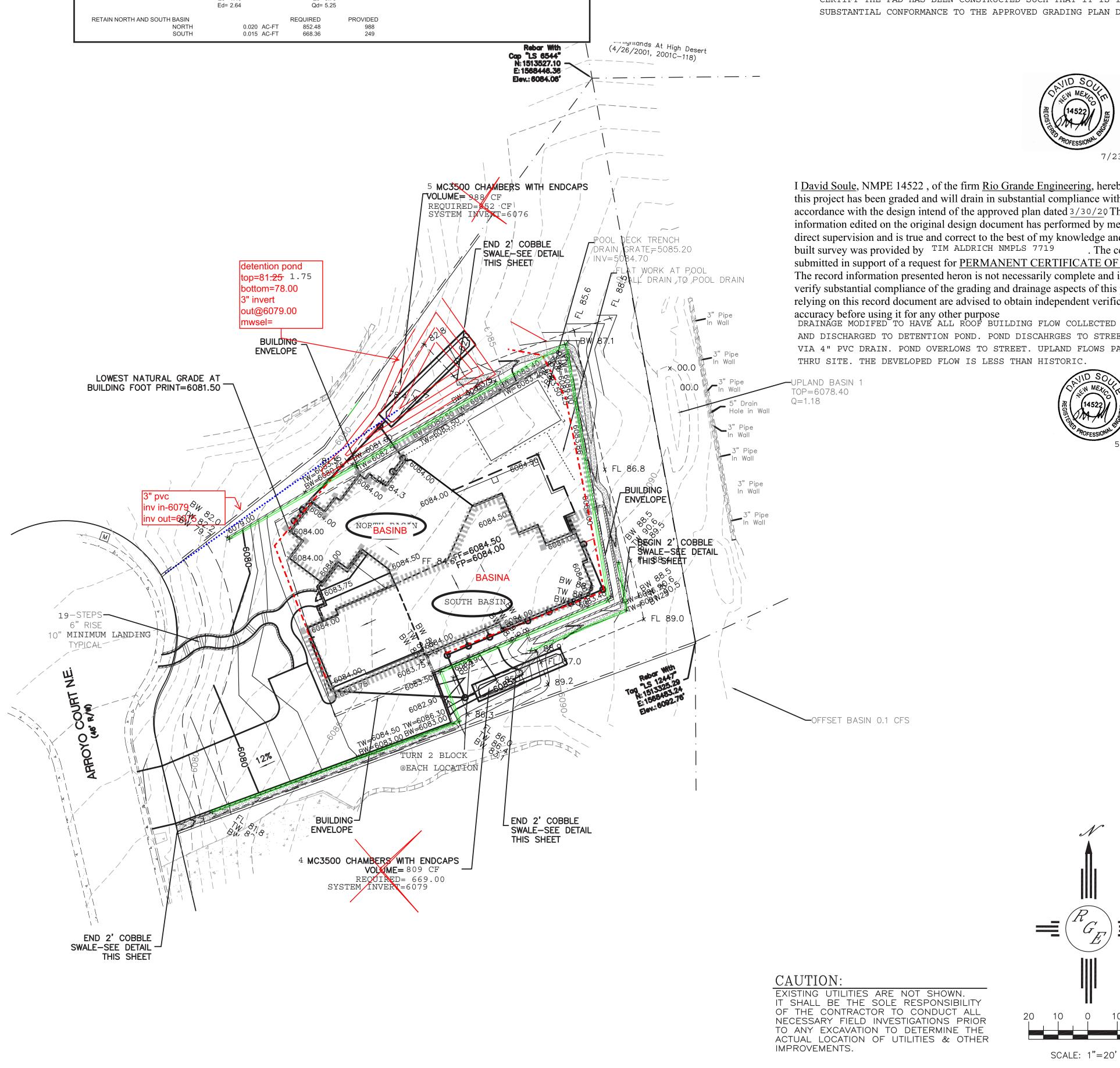
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6804 pino arroyo	Building Permit #:	Hydrology File #:	
DRB#:			
Legal Description: LOT 18A WEST I			
City Address: 6804 Pino Arroyo			
Applicant: Scott ashcraft		Contact:	
Address:			
Phone#:			
Other Contact: RIO GRANDE ENGIN Address: PO BOX 93924 ALB NM	97100	Contact:	
		doui doui o curo do coni o coni o	
		E-mail: david@riograndeengineerin	ıg.com
TYPE OF DEVELOPMENT:PLAT	X RESIDENCE	DRB SITE ADMIN SITE	
Check all that Apply:			
DEPARTMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	BUILDI	PPROVAL/ACCEPTANCE SOUGHT: NG PERMIT APPROVAL ICATE OF OCCUPANCY	
TYPE OF SUBMITTAL:			
X_ENGINEER/ARCHITECT CERTIFICATIO	N PRELIM	IINARY PLAT APPROVAL	
PAD CERTIFICATION	SITE PL	AN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN	SITE PL	AN FOR BLDG. PERMIT APPROVAL	
GRADING PLAN	FINAL I	PLAT APPROVAL	
DRAINAGE REPORT			
DRAINAGE MASTER PLAN	SIA/ RE	LEASE OF FINANCIAL GUARANTEE	
FLOODPLAIN DEVELOPMENT PERMIT	APPLIC FOUND.	ATION PERMIT APPROVAL	
ELEVATION CERTIFICATE	GRADIN	NG PERMIT APPROVAL	
CLOMR/LOMR	SO-19 A		
TRAFFIC CIRCULATION LAYOUT (TCI	<i>'</i>	G PERMIT APPROVAL	
TRAFFIC IMPACT STUDY (TIS)		NG/ PAD CERTIFICATION	
STREET LIGHT LAYOUT		ORDER APPROVAL	
OTHER (SPECIFY)			
PRE-DESIGN MEETING?		PLAIN DEVELOPMENT PERMIT	
IS THIS A RESUBMITTAL?: X YesN	OTHER	(SPECIFY)	
DATE SUBMITTED:	By:		
COA STAFF:	ELECTRONIC SUBMITTAL RECEIV	ED:	

FEE PAID:_____







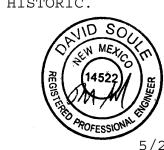
EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 3/30/20



I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 3/30/20 The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The asbuilt survey was provided by TIM ALDRICH NMPLS 7719 . The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its

AND DISCHARGED TO DETENTION POND. POND DISCAHRGES TO STREET VIA 4" PVC DRAIN. POND OVERLOWS TO STREET. UPLAND FLOWS PASS



National Flood Hazard Layer FIRMette Without Base Flood Elevation (BFE Jane A, Y, ASS)
With BFE or Depth Jone AS, Ad, AM, YE Future Conditions 13% Annual Chance Flood Hazard 2006 X Area with Reduced Flood Risk due to Lavae. See Notes. 2004 X Area with Flood Risk due to Lavae. 200 THER AREAS Area of Undetermined Flood Hazard No Digital Data Available

HEIGHTS

FIRM MAP:

LEGAL DESCRIPTION:

Lot 18A, West Highlands at High Desert

SF---82----242

SU-2 HD/R-1

HIGH DESERT

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE

- 2. ALL ROOF DRAINS SHALL HAVE A SPLASH PAD AND 2' COBBLE SWALE THAT SHALL TIE TO MAIN COBBLES SWALES AROUND THE HOUSE PER DETAIL THIS SHEET.
- 3. ALL DISTURBED AREAS SHALL BE RESEEDED WITH APPROVED HIGH DESERT MIX WITHIN 30 DAYS AFTER THE END OF DISTURBANCE.
- 4. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- 5. SURVEY PROVIDED BY COMMUNITY SCIENCES CORPORATION, BASED UPON NAVD 1988 DATUM.

LEGEND

EXISTING CONTOUR ---- EXISTING INDEX CONTOUR — PROPOSED CONTOUR - PROPOSED INDEX CONTOUR SLOPE TIE EXISTING SPOT ELEVATION × XXXX × XXXX PROPOSED SPOT ELEVATION — - - — BOUNDARY CENTERLINE - RIGHT-OF-WAY PROPOSED CURB AND GUTTER ---- EXISTING EDGE OF ASPHALT PROPOSED 1'-4' RETAINING WALL 2' COBBLE SWALE-SEE DETAIL THIS SHEET BASIN LIMITS

BY WCWJ

12-12-19

2109066-LAYOUT-9-19-19

SHEET #

JOB #

2109066

