

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

October 22, 2019

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 13648 Apache Plume Place NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 10/09/19**  
**Hydrology File: E23D034**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 10/21/19, the Revised Grading and Drainage Plan are approved for Building Permit and Building Pad Certification for 13648 Apache Plume Place NE. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 13648 APACHE PLUME **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E23D034  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 67 UNIT 2 THE HIGHLANDS AT HIGH DESERT  
**City Address:** 13648 APACHE PLUME

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☒ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



October 16, 2019

Mr. Rob Montoya  
NCC High Desert Homeowners Association  
Albuquerque, NM

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

Re: Lot 76 – The Highlands Unit 2 (13648 Apache Plume)  
Review of the Lot Specific Grading and Drainage

Dear Rob:

Based on the revised grading and drainage plan for the above referenced Lot stamped dated 10-09-19 by Rio Grande Engineering, it appears that all the comments have been addressed. However, I would request that the swale coming from the north ends at the same location as the outlet pipe from the pond. This change can be asbuilt on the final certification. A copy of the plan is attached.

Please let me know if you have any comments or concerns.

Sincerely,

A handwritten signature in black ink that reads "Yolanda Padilla Moyer".

Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development and Planning

Cc\David Soule

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

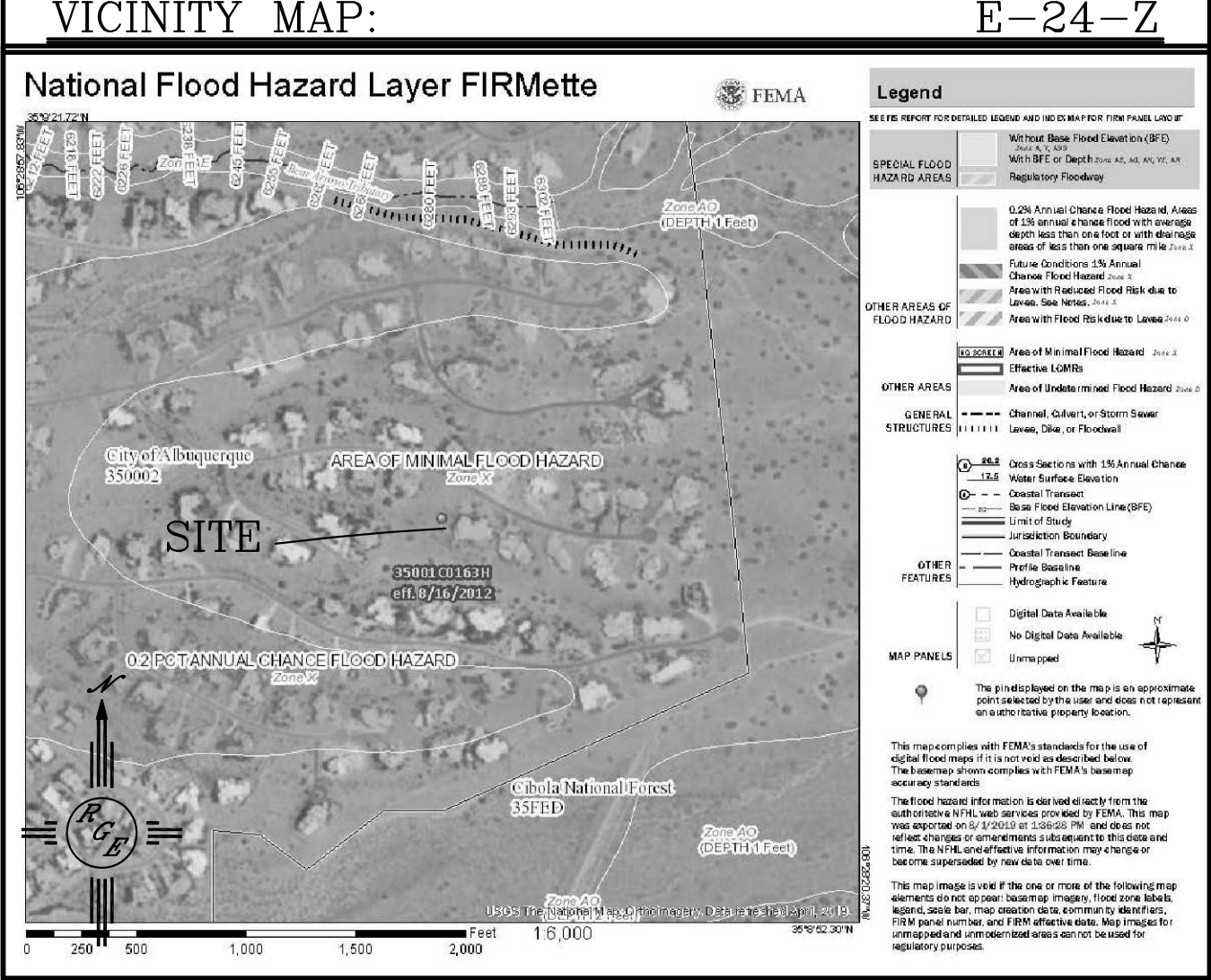
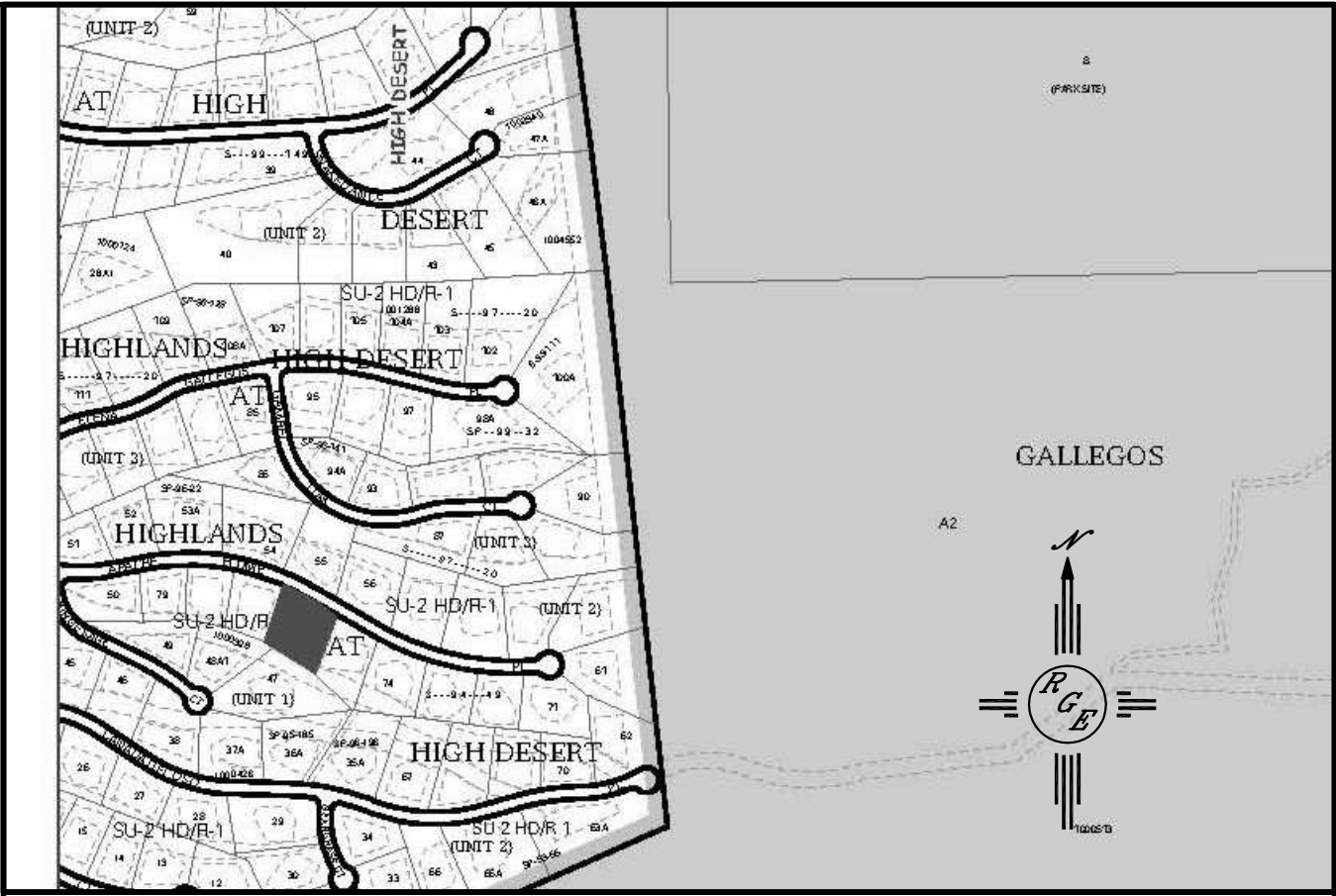
CAUTION:  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

EROSION CONTROL NOTES:

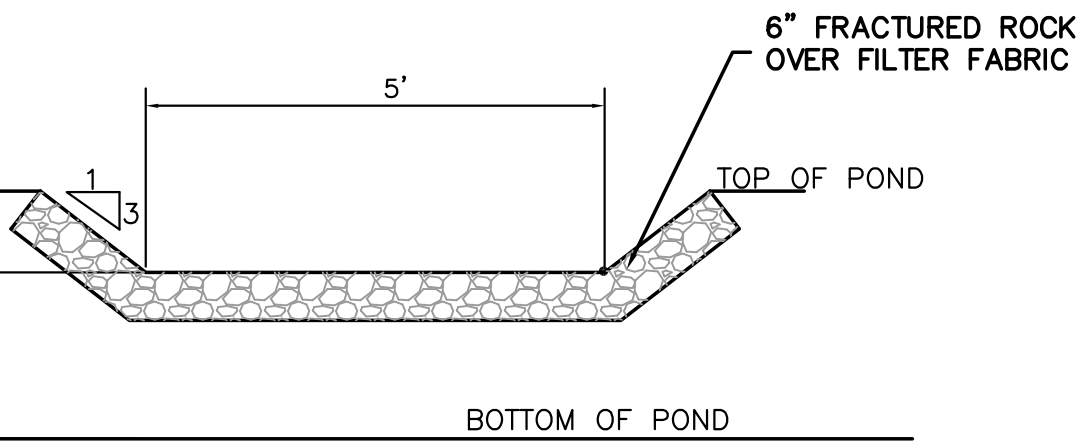
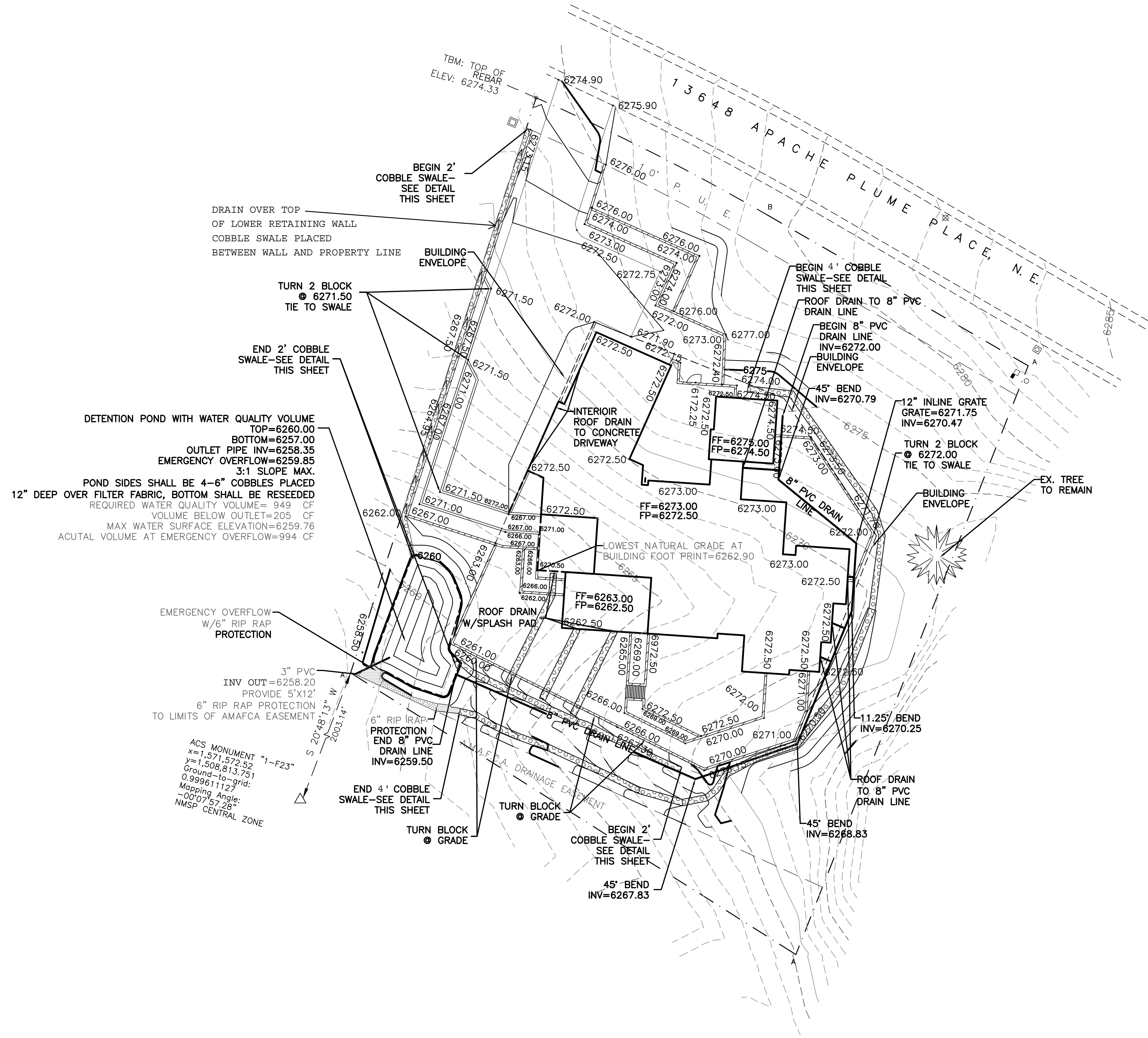
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTES:

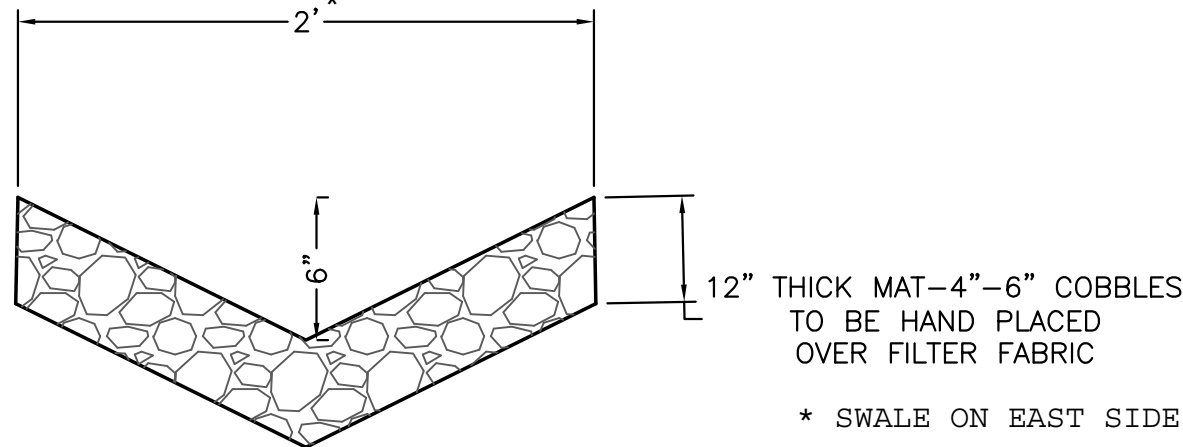
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL ROOF DRAINS SHALL HAVE A SPLASH PAD AND 2' COBBLE SWALE THAT SHALL TIE TO MAIN COBBLES SWALES AROUND THE HOUSE PER DETAIL THIS SHEET..
3. ALL DISTURBED AREAS SHALL BE RESEEDED WITH APPROVED HIGH DESERT MIX WITHIN 30 DAYS AFTER THE END OF DISTURBANCE.
4. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
5. SURVEY PROVIDED BY COMMUNITY SCIENCES CORPORATION, BASED UPON NAVD 1988 DATUM.
6. ALL ROOF DRAINS SHALL CONNECT TO 8" UNDERGROUND DRAIN. LINE SHALL HAVE AIR GAP AT HOUSE AND DISCHARGE TO POND. INVERT OUT @ 6259



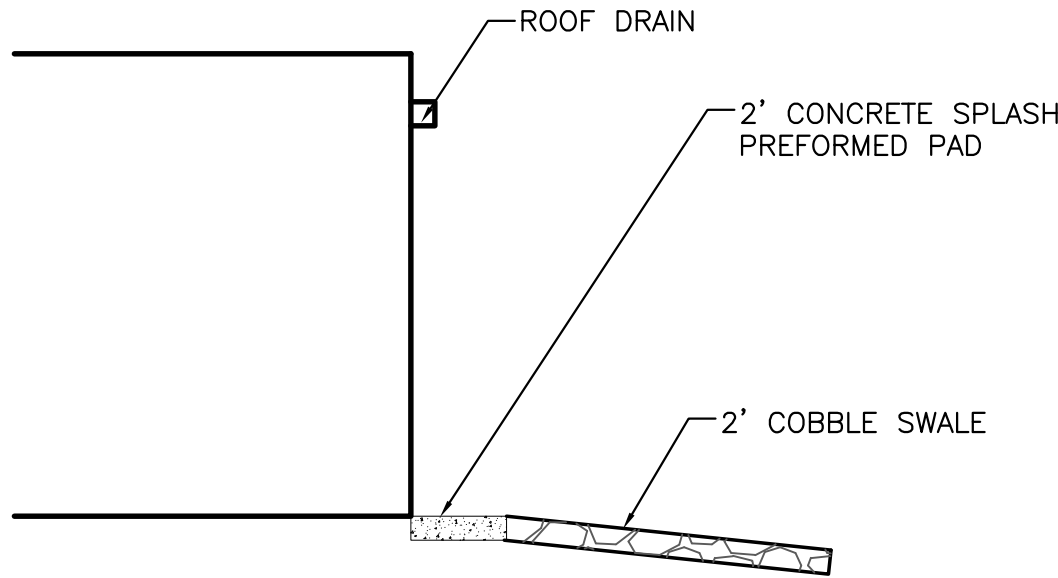
FIRM MAP:  
LEGAL DESCRIPTION:  
LOT 76, THE HIGHLANDS, AT HIGH DESERT UNIT 2



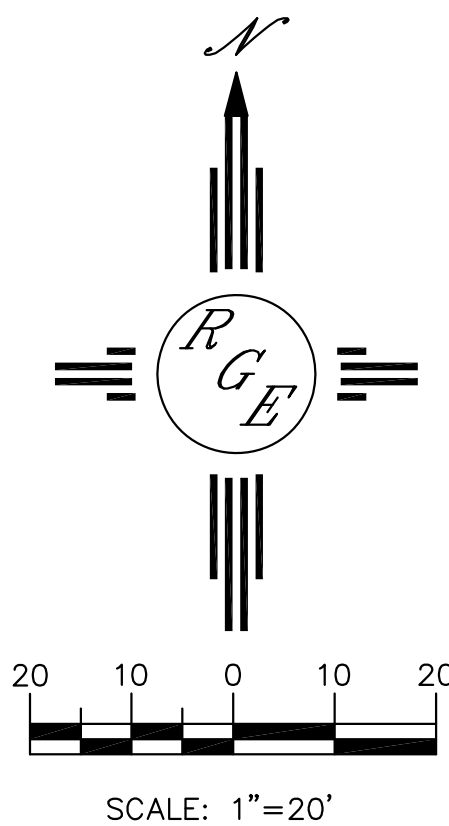
EMERGENCY OVERFLOW DETAIL  
NTS



COBBLE SWALE DETAIL  
NTS


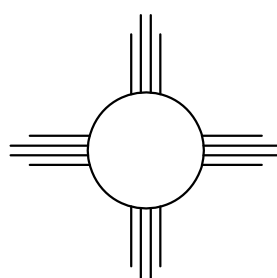


ROOF DRAIN SPLASH PAD DETAIL  
NTS



LEGEND

- XXXX--- EXISTING CONTOUR
- - - - -XXXX- - - EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- X--- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== PROPOSED CURB AND GUTTER
- EXISTING EDGE OF ASPHALT
- ===== PROPOSED 1'-2 LANDSCAPE WALL
- ===== COBBLE SWALE-SEE DETAIL THIS SHEET
- BASIN LIMITS

ENGINEER'S SEAL  10/9/19 DAVID SOULE P.E. #14522	13648 APACHE PLUME	DRAWN BY: WCUJ
	GRADING AND DRAINAGE PLAN	DATE: 8-12-19
	 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0998	2109064-LAYOUT-8-12-19 SHEET # JOB # 2109064

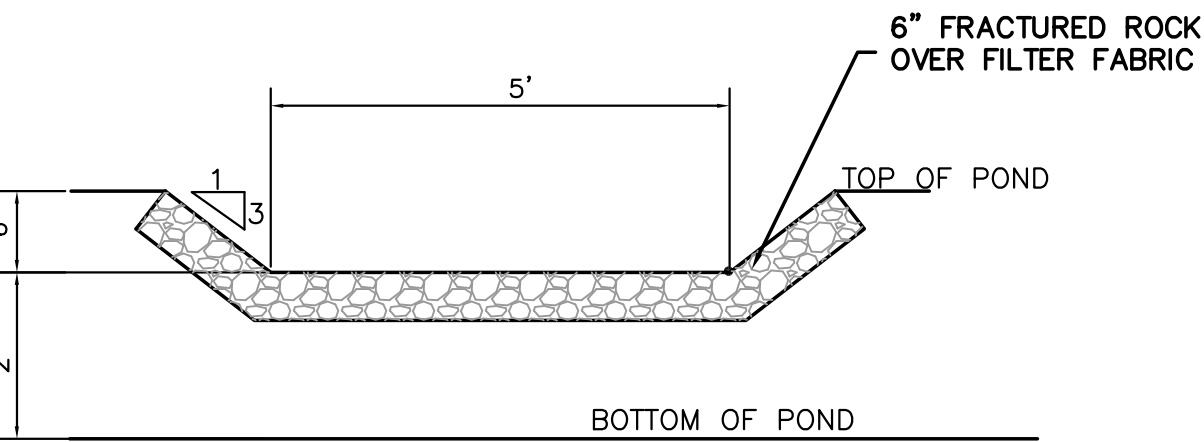
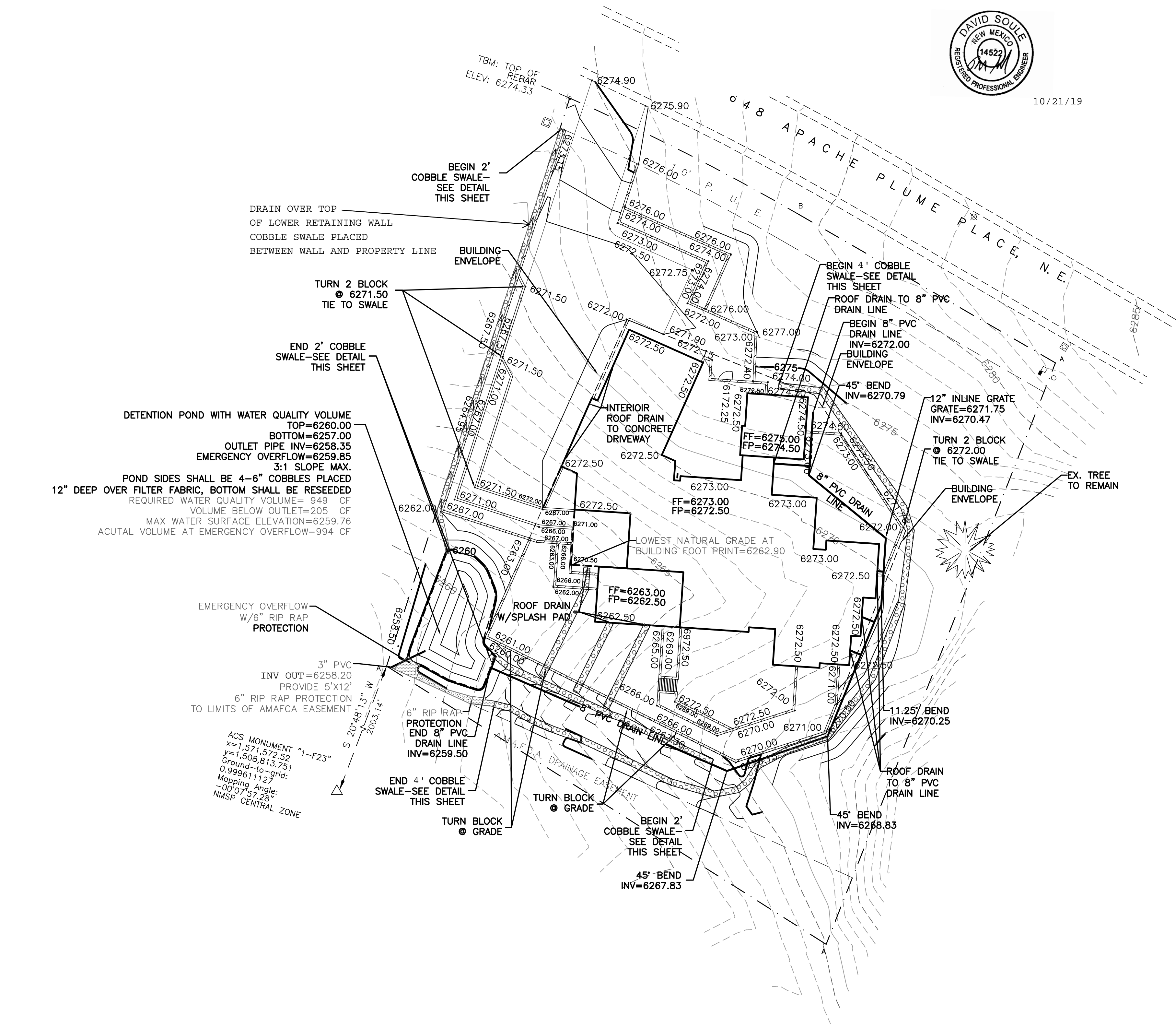


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ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY  
CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN  
SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 10/9/19

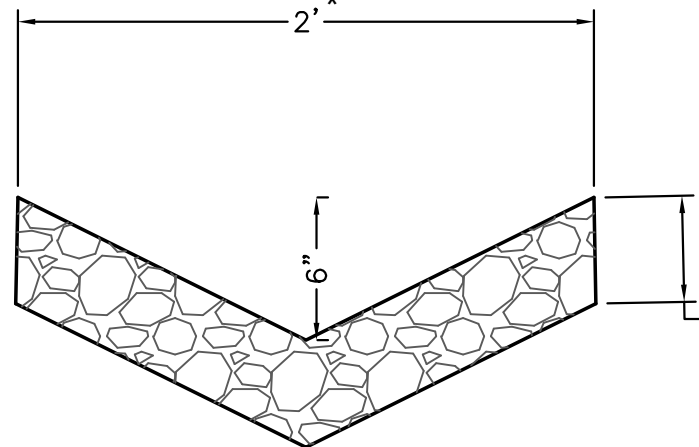


10/21/19



EMERGENCY OVERFLOW DETAIL

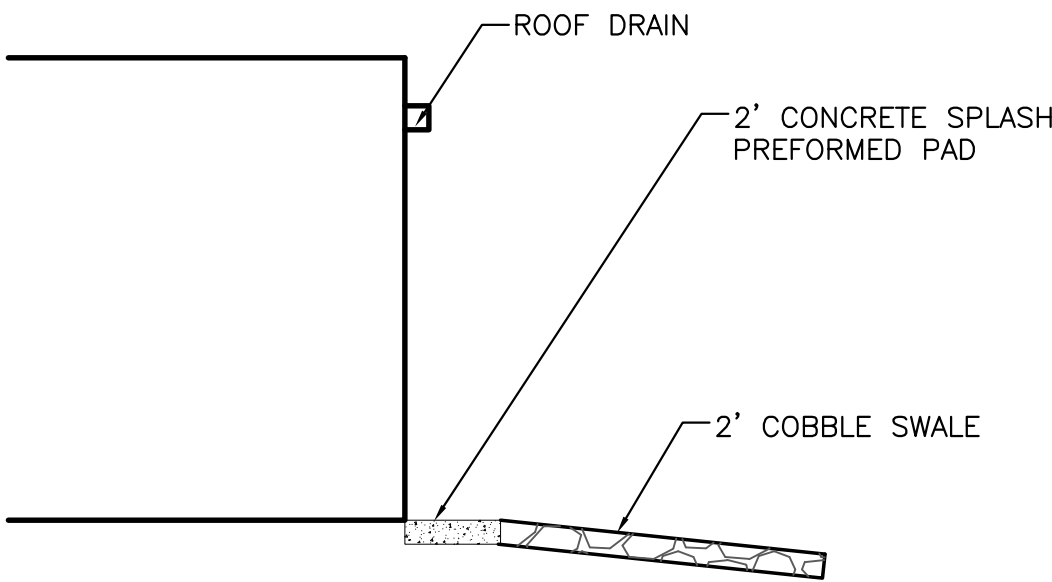
NTS



COBBLE SWALE DETAIL

NTS

\* SWALE ON EAST SIDE OF HOUSE  
SHALL BE 4' WIDE X 1' DEEP  
TO CONVEY UPLAND FLOW



ROOF DRAIN SPLASH PAD DETAIL

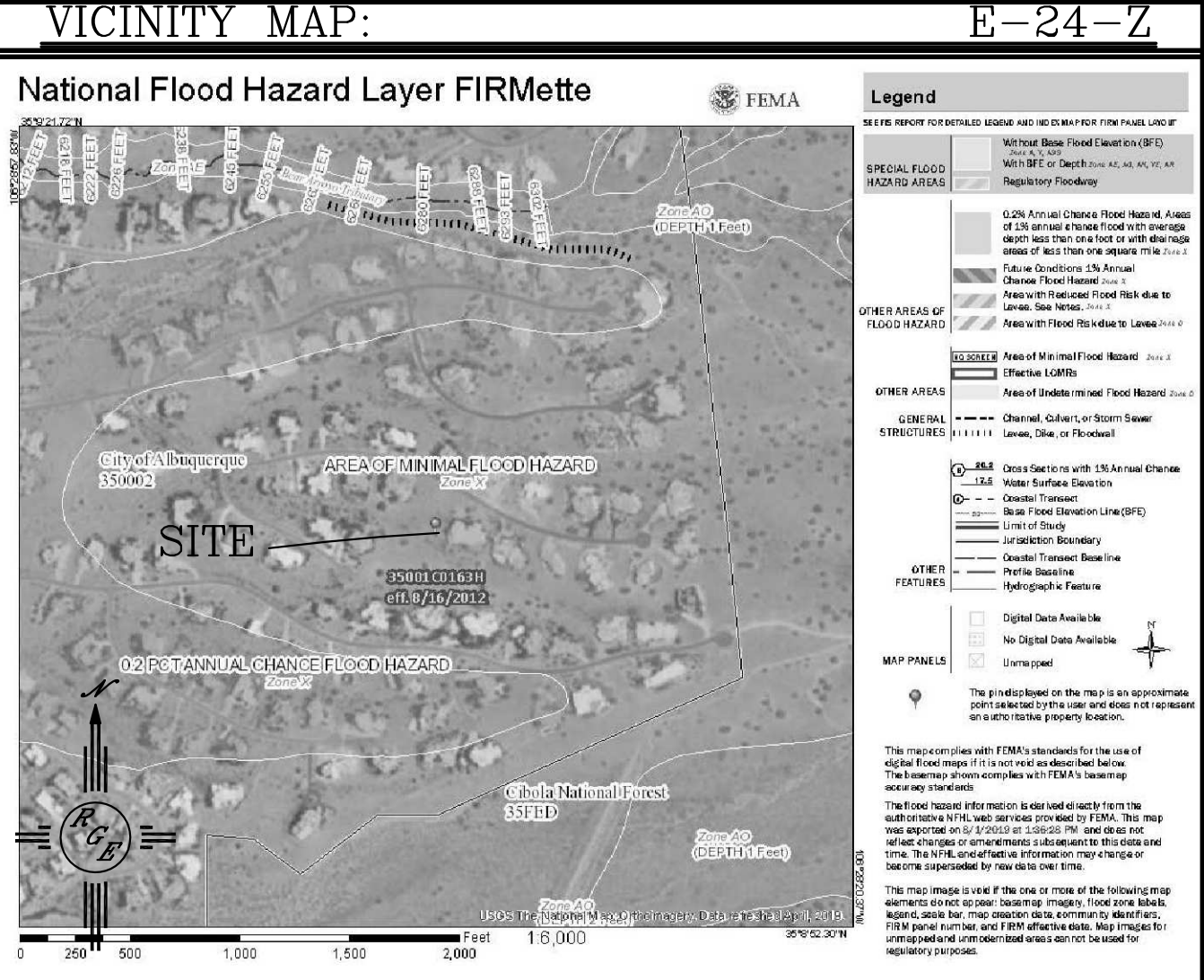
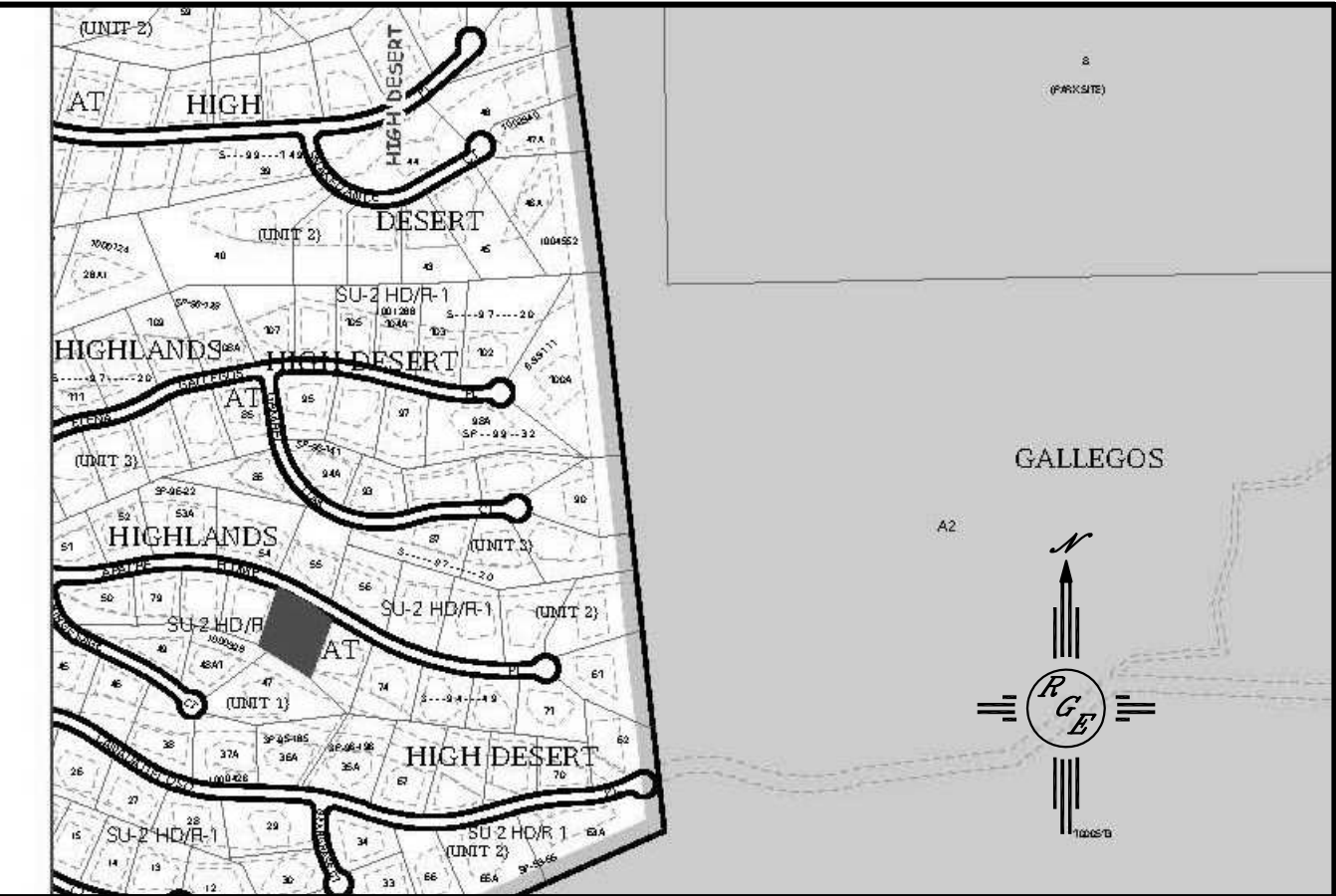
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