

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 29, 2020

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 13503 Elena Gallegos Place NE
Revised Grading and Drainage Plan
Engineer's Certification Date: 4/23/20
Engineer's Stamp Date: 03/16/20
Hydrology File: E23D035**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 04/27/2020, the Revised Grading and Drainage Plan are approved for Building Permit and Building Pad Certification for 13503 Elena Gallegos Place NE. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 13501 elena gallegos **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT 5 UNIT 1 THE HIGHLANDS AT HIGH DESERT

City Address: 13501 Elena Gallegos

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: PLAT RESIDENCE DRB SITE ADMIN SITE

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL

SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

Plan was revised to get HOA approval from BHI

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



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7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 26, 2020

Mr. Rob Montoya
NCC High Desert Homeowners Association
Albuquerque, NM

Re: Lot 5– The Highlands (13503 Elena Gallegos)
Review of the Lot Specific Grading and Drainage

Dear Rob:

Based on the revised grading and drainage plan for the above referenced Lot stamped dated 03/06/2020 and 03/16/2020 by Rio Grande Engineering, it appears that all the comments have been addressed. A copy of the plan is attached.

Please let me know if you have any comments or concerns.

Sincerely,

Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development and Planning

Cc\David Soule

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY
CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN
SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 3/16/20

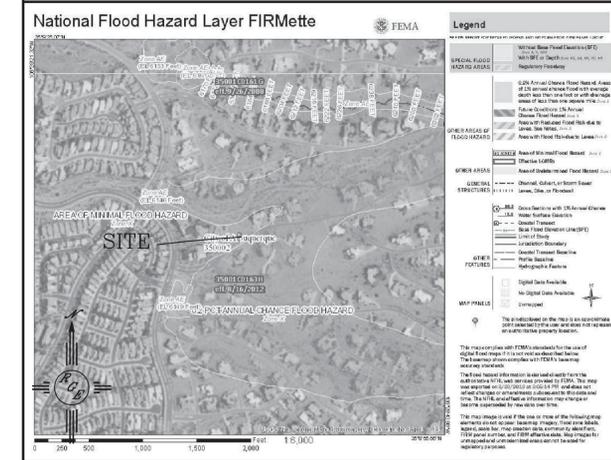
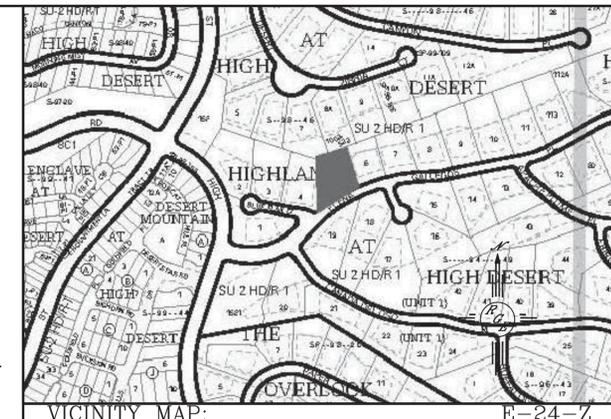


EROSION CONTROL NOTES:

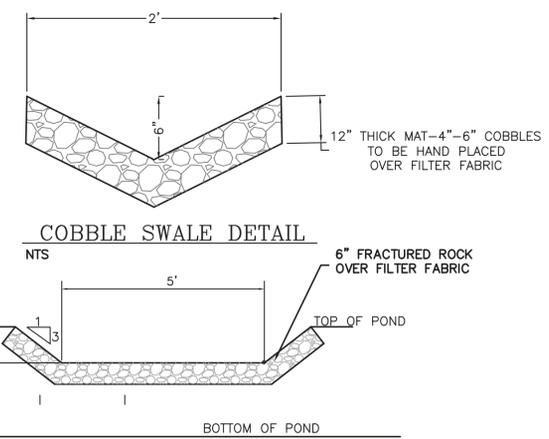
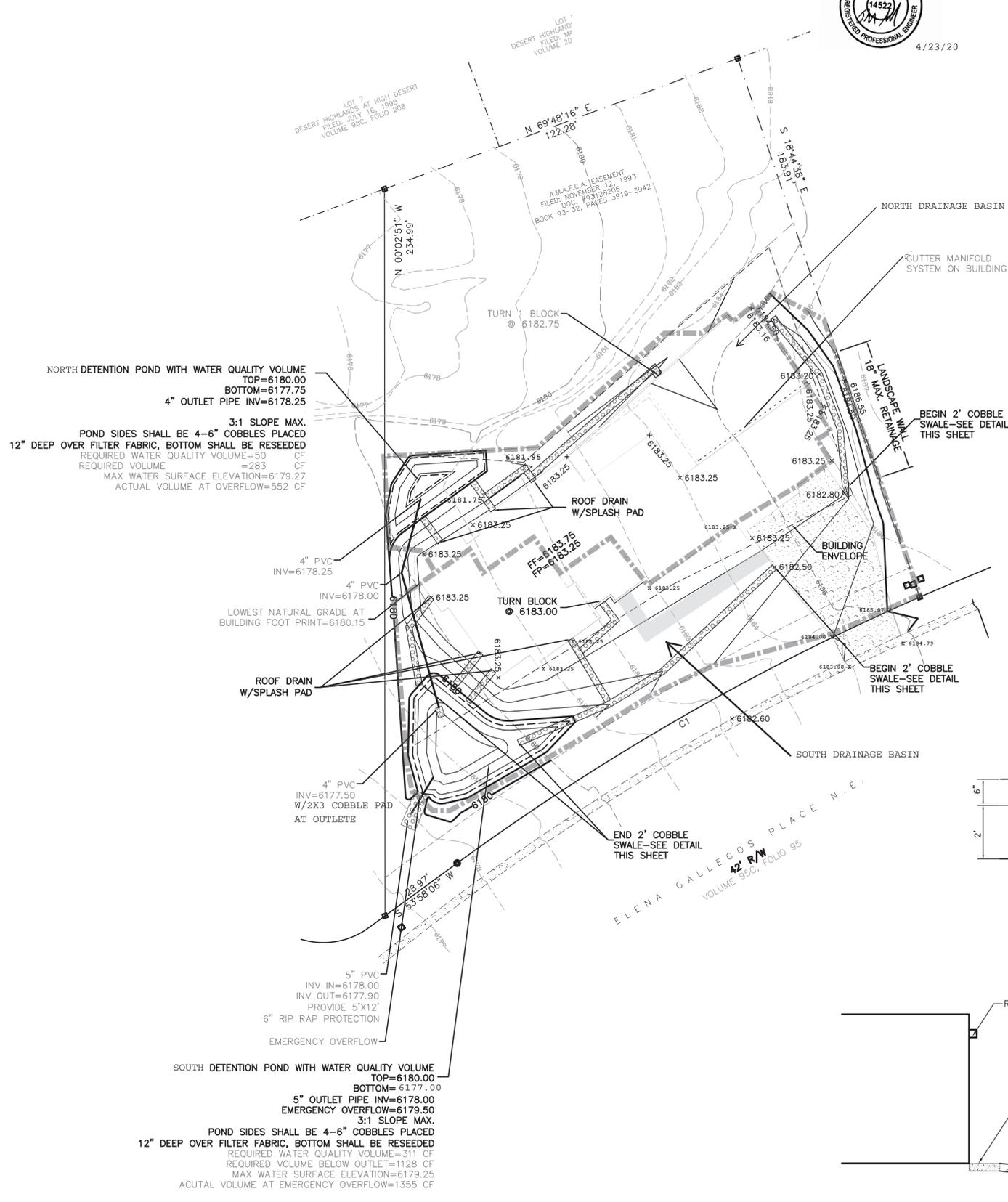
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL ROOF DRAINS SHALL HAVE A SPLASH PAD AND 2' COBBLE SWALE THAT SHALL TIE TO MAIN COBBLES SWALES AROUND THE HOUSE PER DETAIL THIS SHEET..
3. ALL DISTURBED AREAS SHALL BE RESEDED WITH APPROVED HIGH DESERT MIX WITHIN 30 DAYS AFTER THE END OF DISTURBANCE.
4. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
5. SURVEY PROVIDED BY COMMUNITY SCIENCES CORPORATION, BASED UPON NAVD 1988 DATUM.

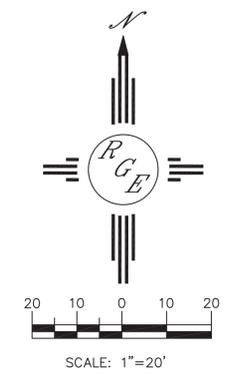


LEGAL DESCRIPTION:
LOT 5, HIGHLANDS AT HIGH RESORT UNIT 1



LEGEND

-----XXXX	EXISTING CONTOUR
-----XXXX	EXISTING INDEX CONTOUR
-----XXXX	PROPOSED CONTOUR
-----XXXX	PROPOSED INDEX CONTOUR
-----	SLOPE TIE
• XXXX	EXISTING SPOT ELEVATION
+ XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	CENTERLINE
-----	RIGHT-OF-WAY
=====	PROPOSED CURB AND GUTTER
-----	EXISTING EDGE OF ASPHALT
-----	2' COBBLE SWALE-SEE DETAIL THIS SHEET
=====	BASIN LIMITS



ENGINEER'S SEAL	11907 ELENA GALLEGOS PLACE NE	DRAWN BY WCVJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	LOT 5 THE HIGHLANDS AT HIGH RESORT UNIT 1	DATE 9-10-19
3/16/20 3/9/20	GRADING AND DRAINAGE PLAN	2109073-LAYOUT-9-10-19
DAVID SOULE P.E. #14522	<i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-9998	SHEET #
		JOB # 2109073