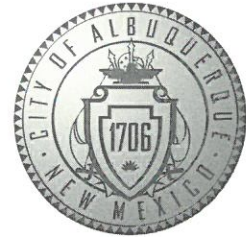


CITY OF ALBUQUERQUE

Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

May 3, 2018

Jake Bordenave
Bordenave Designs
PO Box 91194
Albuquerque, NM 87199

RE: **13701 Ricegrass Place NE**
Grading and Drainage Plan
Engineer's Stamp Date 8/24/2017
Hydrology File: E24D005

Dear Mr. Bordenave:

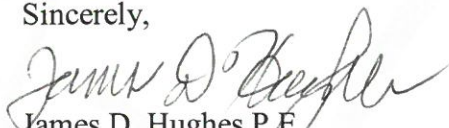
Based on the information provided in the submittal received on 5/1/2018 the above-referenced Grading and Drainage Plan is approved Building Permit.

If you have any questions, I can be contacted at 924-3986 or jhughes@cabq.gov.

PO Box 1293

Sincerely,

Albuquerque


James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ Building Permit #: 2018 13731 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 50 Unit B Mountain Highlands

City Address: 13701 Kiergrass Pl NE

Applicant: ACTAIR Homes Contact: Nick Gofar

Address: 1204 Wind Orion Ave NW

Phone#: 799.1112 Fax#: 799.1112 E-mail: NTYACTAIRCHSD.COM

Other Contact: _____ Contact: _____

Address: _____

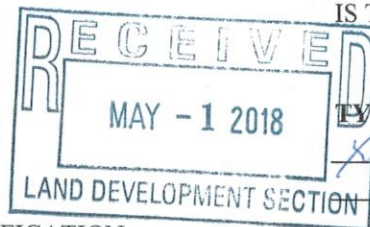
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION



TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

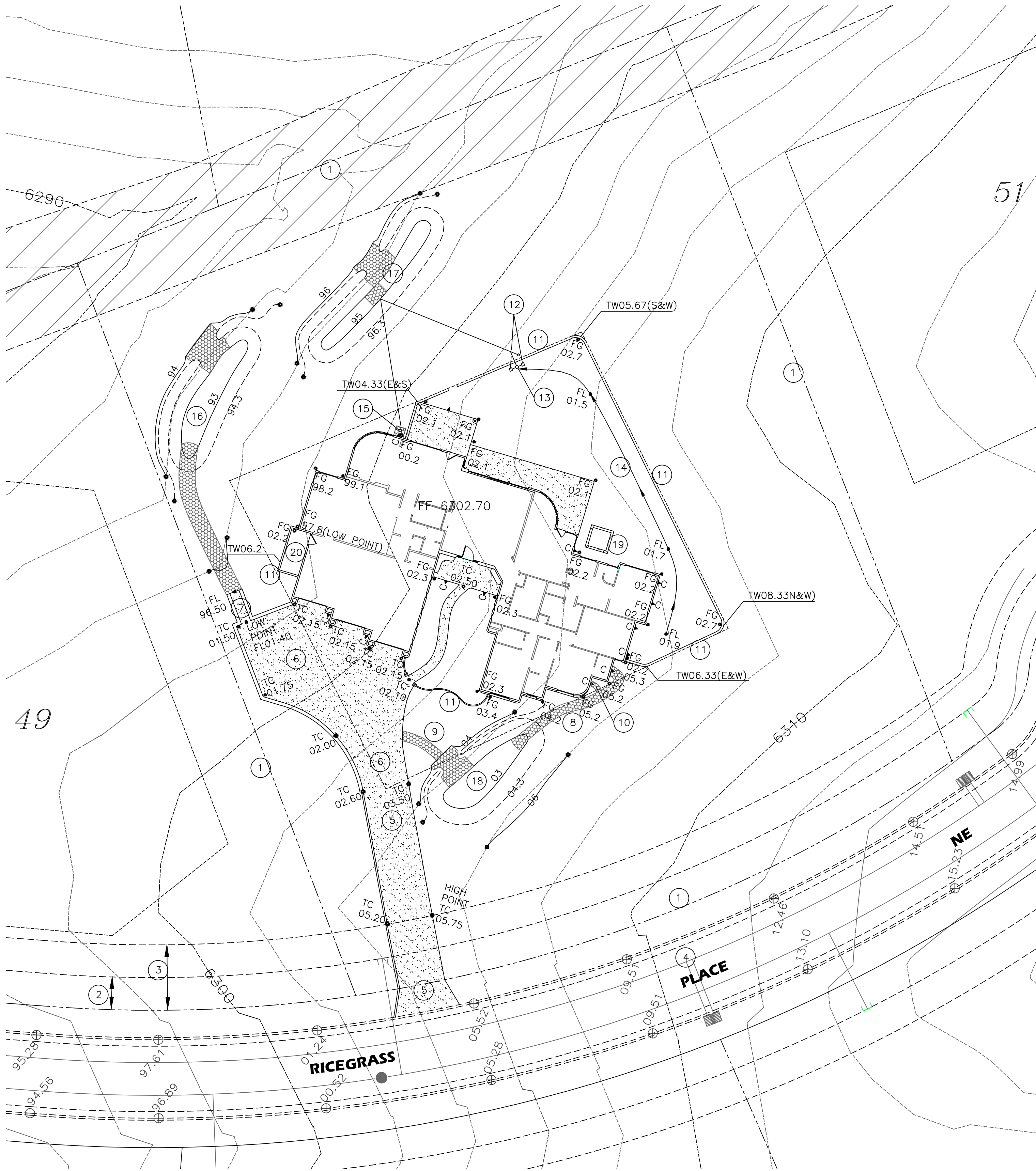
DATE SUBMITTED: 5/1/18 By: Nick Gofar

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

GRADING PLAN



CONSTRUCTION NOTES:
ELEVATIONS SHOWN ARE BASED ON CONTOUR MAPS PREPARED BY BHI. ELEVATION CONTROL INFORMATION CAN BE OBTAINED FROM THE HIGH DESERT HOA. VERTICAL CONTROL MONUMENTS ARE LOCATED IN THE STREETS. ELEVATION BASIS NAD 88.

DRY STREAMS FROM CANALES TO MAIN STREAM SHALL BE A MINIMUM OF 6" WIDE.

EXISTING GROUND ELEVATIONS SHALL REMAIN UNALTERED EXCEPT WHERE SHOWN TO BE ADJUSTED ON THIS GRADING PLAN.

SURFACE OF COBBLE STONES (WHERE THEY ABUT NATURAL GROUND) IN ALL EROSION CONTROL FACILITIES SHALL BE FLUSH WITH ADJACENT EARTH SURFACES.

DISTURBED AREAS THAT ARE NOT BEING TREATED AS PART OF THE FORMAL LANDSCAPING PLAN SHALL BE SEEDED WITH THE 'HIGH DESERT' SEED MIX.

ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER.

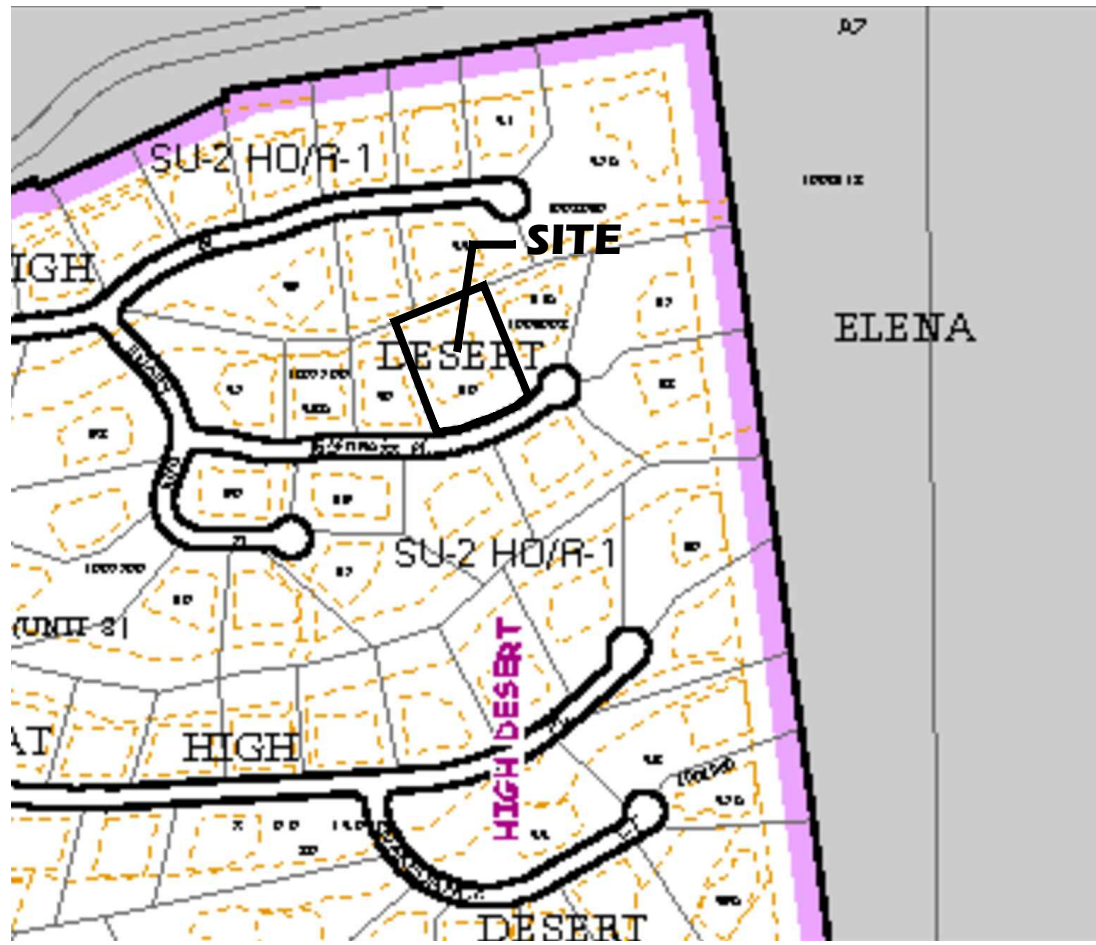
OWNERS NOTE:

THE PROPERTY OWNER SHALL MAKE PERIODIC INSPECTIONS OF DRAINAGE FACILITIES TO ASSURE THEY ARE OPERATIONAL. MAINTENANCE OF THESE FACILITIES IS THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNERS.

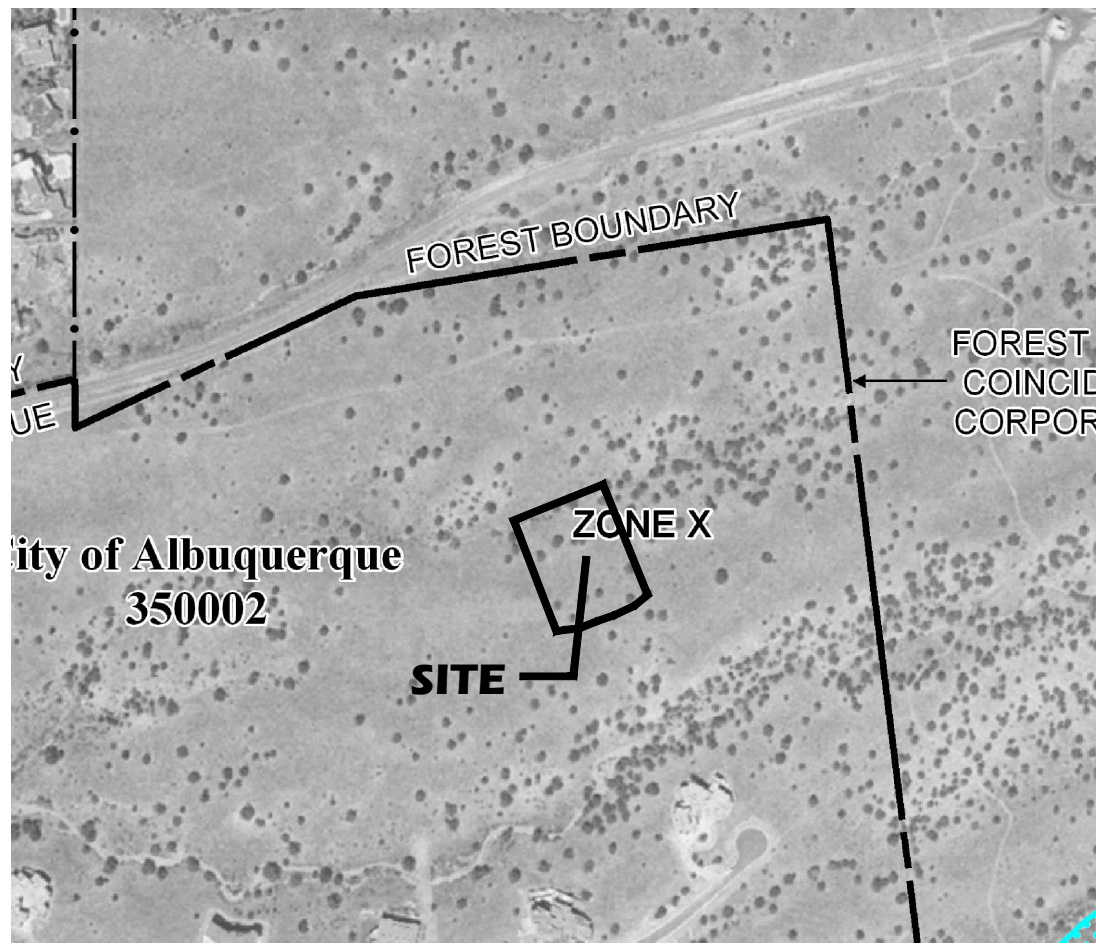
KEYED NOTES

1. PROPERTY LINE.
2. 10' UTILITY EASEMENT.
3. 20' PRIVATE LANDSCAPE EASEMENT.
4. EXISTING ASPHALT STREET WITH ROLL TYPE MOUNTABLE CONCRETE CURB.
5. NEW 14' CONCRETE DRIVEWAY w/ 4" HIGH x 6" WIDE CONCRETE CURB ON WEST SIDE.
6. NEW CONCRETE DRIVEWAY w/ 12" HIGH STONE OR STONE FACED RETAINING WALL ON WEST SIDE.
7. NEW 36" CONCRETE CHANNEL. SUBSTITUTE RETAINING WALL DEFINED IN KEYED NOTE 6 ABOVE FOR 6" CONCRETE WALLS SHOWN IN DETAIL. CONNECT TO POND w/ 36" DRY STREAM.
8. 18" DRY STREAM. SEE DETAIL THIS SHEET.
9. 30" DRY STREAM. SEE DETAIL THIS SHEET.
10. 6" DRY STREAM. SEE DETAIL THIS SHEET.
11. VARIABLE HEIGHT CMU RETAINING WALL. STUCCO TO MATCH RESIDENCE STUCCO.
12. 8"x8" GRATE IN CONCRETE OR POLYCARBONATE BASIN w/ 3" PVC OUTLET. GRATE ELEV. 01.3.
13. 8"x8" GRATE IN CONCRETE OR POLYCARBONATE BASIN w/ 8" PVC OUTLET. GRATE ELEV. 01.9. PIPE OUTLET INV. 95.0.
14. EARTH SWALE.
15. 8"x8" GRATE IN CONCRETE OR POLYCARBONATE BASIN w/ 6" PVC OUTLET. GRATE ELEV. 00.1. PIPE OUTLET INV. 95.0.
16. WATER HARVESTING POND w/ 3:1 CUT AND FILL SLOPES. FORM A 5' WIDE x 3" DEEP OVERFLOW SECTION. POND TO RETAIN MIN. 12" DEPTH OF WATER. APPROX. 268 CU. FT. STORAGE CAPACITY. INSTALL COBBLE AT INLETS AND OUTLETS AS SHOWN. DO NOT LINE POND WITH COBBLE.
17. WATER HARVESTING POND w/ 3:1 CUT AND FILL SLOPES. FORM A 5' WIDE x 3" DEEP OVERFLOW SECTION. POND TO RETAIN MIN. 12" DEPTH OF WATER. APPROX. 250 CU. FT. STORAGE CAPACITY. INSTALL COBBLE AT INLETS AND OUTLETS AS SHOWN. DO NOT LINE POND WITH COBBLE.
18. WATER HARVESTING POND w/ 3:1 CUT AND FILL SLOPES. FORM A 5' WIDE x 3" DEEP OVERFLOW SECTION. POND TO RETAIN MIN. 12" DEPTH OF WATER. APPROX. 253 CU. FT. STORAGE CAPACITY. INSTALL COBBLE AT INLETS AND OUTLETS AS SHOWN. DO NOT LINE POND WITH COBBLE.
19. SPA.
20. WALLED REFUSE ENCLOSURE WITH GRAVEL SURFACE.

VICINITY MAP NO. E-24



FEMA FIRM PANEL NO. 161



DRAINAGE DATA

POND FOR INITIAL RUNOFF

REQUIRED
NEW IMPERVIOUS AREA CREATED = 8303 sf
VOLUME = (8557)(0.44-0.10)/12 = 242 cf
PROVIDED = 771 cf

CALCULATIONS INCLUDE THE ENTIRE DRIVEWAY BEING PAVED WITH CONCRETE. A PORTION OF THE DRIVEWAY DIRECT DISCHARGES TO THE STREET AND A PORTION OR THE ENTIRE DRIVE MAY BE SURFACED WITH CRUSHER FINES.

CONDITION	STORM PERIOD	TREATMENT TYPE	TREATMENT AREA	PRECIPITATION	EXCESS	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	RETURN PERIOD							
	N	(table 4)			(table 8)	(table 9)		
	year		sq. ft.		in	cfs/acre	cu. ft.	cfs
EXISTING	10	A	38940	0.28	0.87	909	0.70	
		B	9390	0.46	1.45	360	0.31	
		C	0	0.73	2.26	0	0.00	
		D	0	1.69	3.57	0	0.00	
		TOTAL	48330			1269	1.09	
	100	A	38940	0.80	2.20	2596	1.97	
		B	9390	1.08	2.92	845	0.63	
		C	0	1.46	3.73	0	0.00	
		D	0	2.64	5.25	0	0.00	
		TOTAL	48330			3441	2.60	
DEVELOPED	10	A	25467	0.28	0.87	594	0.51	
		B	13353	0.46	1.45	512	0.44	
		C	953	0.73	2.26	58	0.05	
		D	8557	1.69	3.57	1205	0.70	
		TOTAL	48330			2369	1.70	
	100	A	25467	0.80	2.20	1698	1.29	
		B	13353	1.08	2.92	1202	0.90	
		C	953	1.46	3.73	116	0.08	
		D	8557	2.64	5.25	1883	1.03	
		TOTAL	48330			4898	3.29	
	2	A	25467	0.02	0.05	42	0.03	
		B	13353	0.11	0.38	122	0.12	
		C	953	0.27	0.81	21	0.02	
		D	8557	1.01	2.17	720	0.43	
		TOTAL	48330			907	0.59	

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE SLAB
BC	TOP/BACK OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS MATER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD OR C	ROOF DRAIN OR CANALE

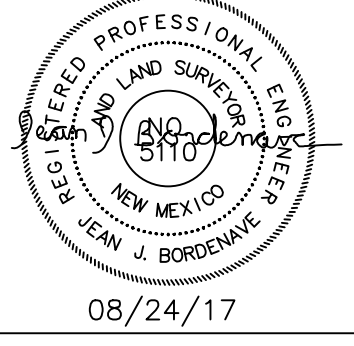
GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO 811 SYSTEM AT 811 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWEEP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

1	08/24	ADD REFUSE ENCLOSURE WEST OF GARAGE	JUB
		ADDRESS BHI COMMENTS	
no.	date	remarks	by



REVISIONS

project title
HARLEY RESIDENCE
13701 RICEGRASS PLACE NE
ALBUQUERQUE, NM

sheet title
GRADING & DRAINAGE PLAN

sheet date
08/11/17

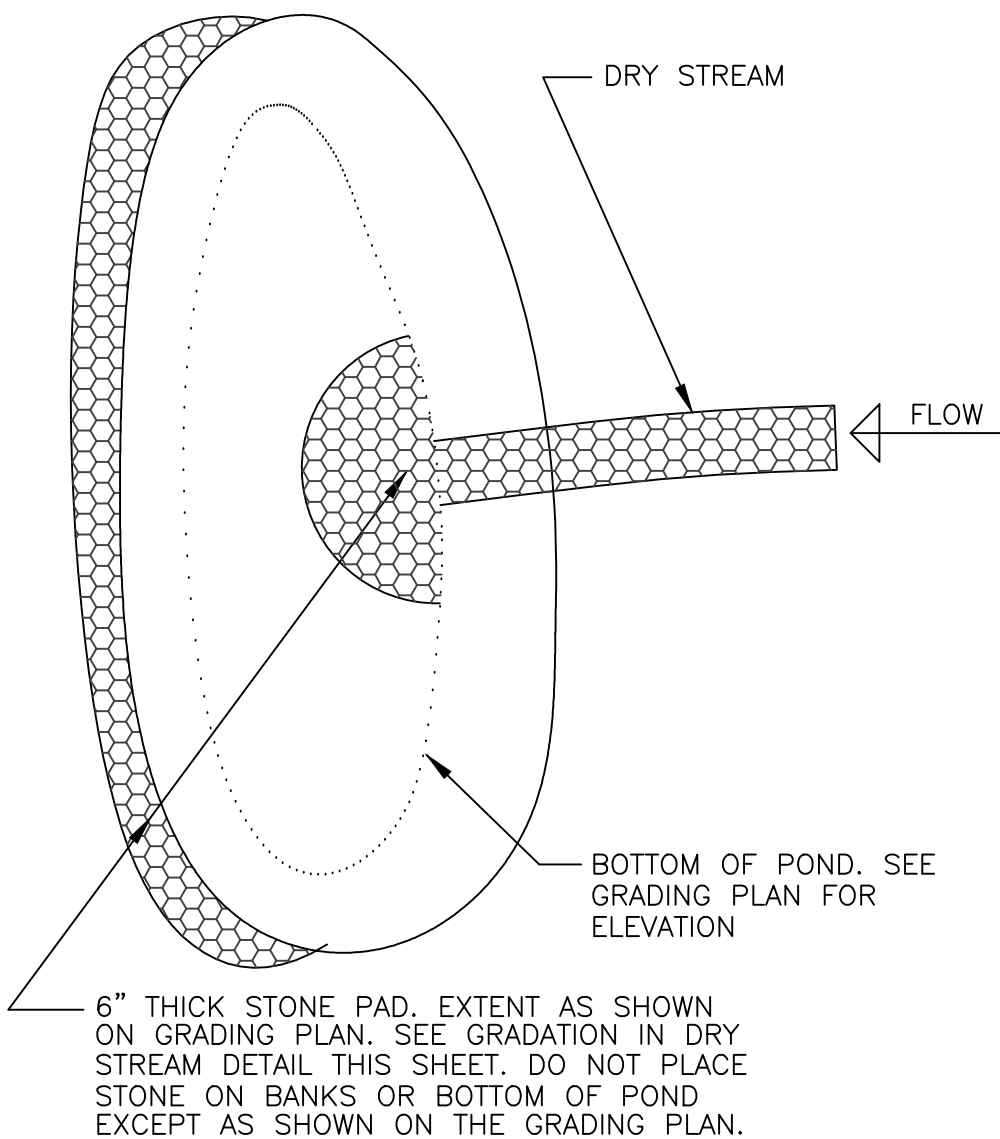
design by
JUB

project no.
1516

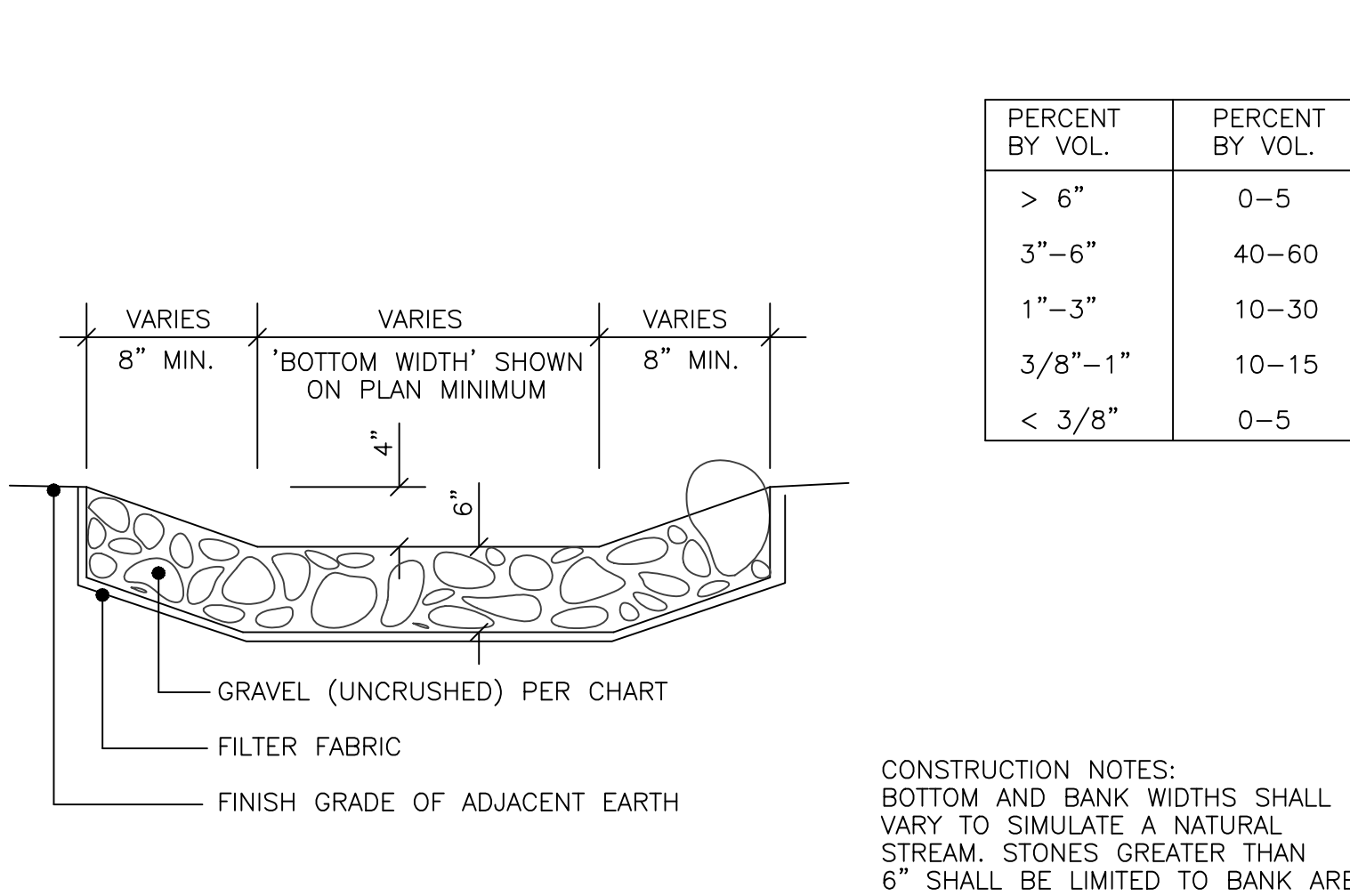
sheet
C2

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105
jakebordenave@comcast.net

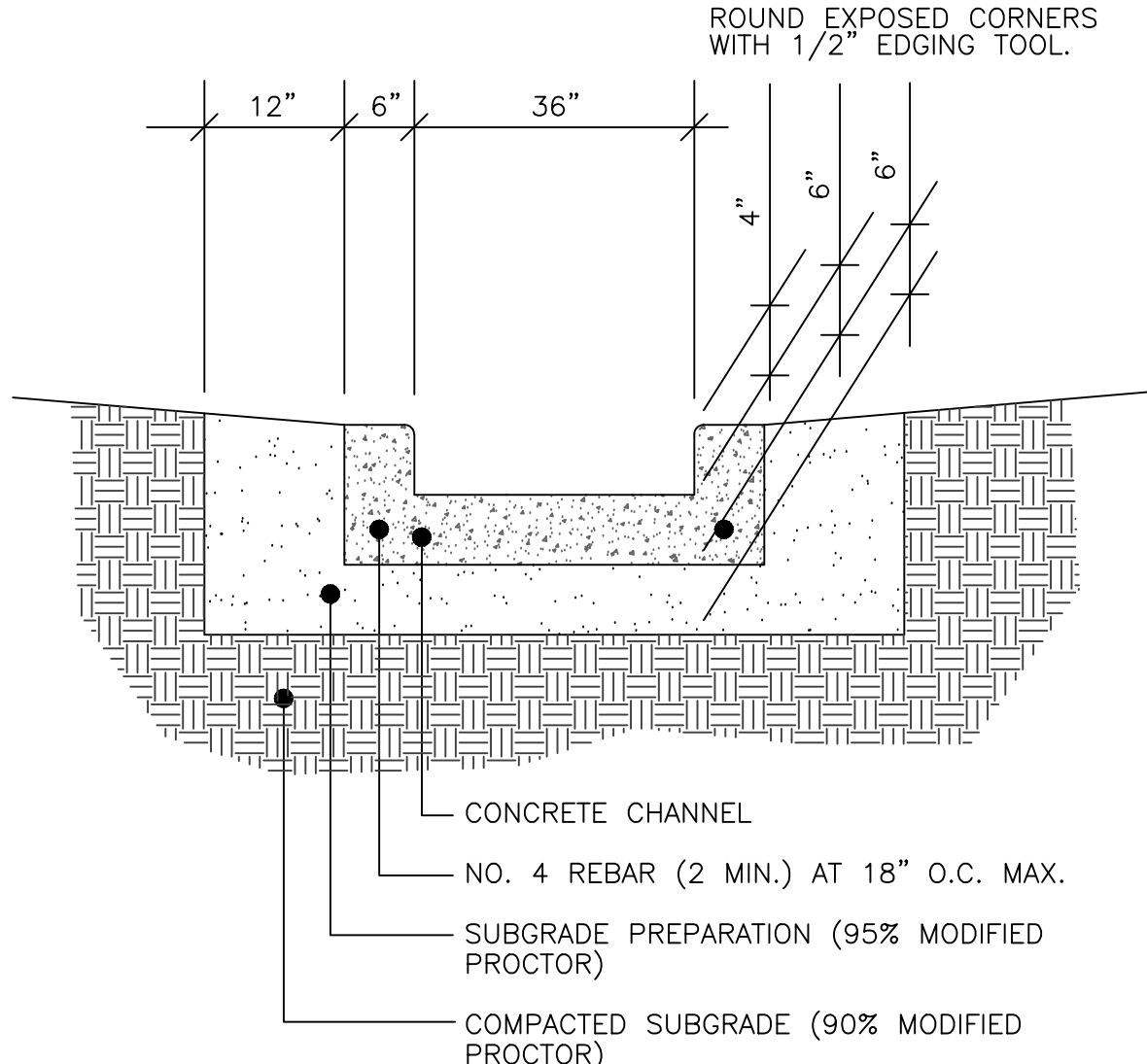
WATER HARVESTING POND



DRY STREAM



CONCRETE CHANNEL



LEGAL DESCRIPTION

LOT 50, UNIT 2, MOUNTAIN HIGHLANDS AT HIGH DESERT

PERMANENT BENCHMARK

TOPOGRAPHY SHOWN IS BASED ON THE TOPOGRAPHY OBTAINED FOR THE DESIGN AND CONSTRUCTION OF THE SUBJECT SUBDIVISION. CONTACT THE HIGH DESERT ARCHITECTURAL COMMITTEE TO OBTAIN LOCATION AND ELEVATION OF STREET MONUMENTS.

GRADING CERTIFICATION

I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.

Jean J. Bordenave 08/06/17
Jean J. Bordenave, NM PE & PS No. 5110