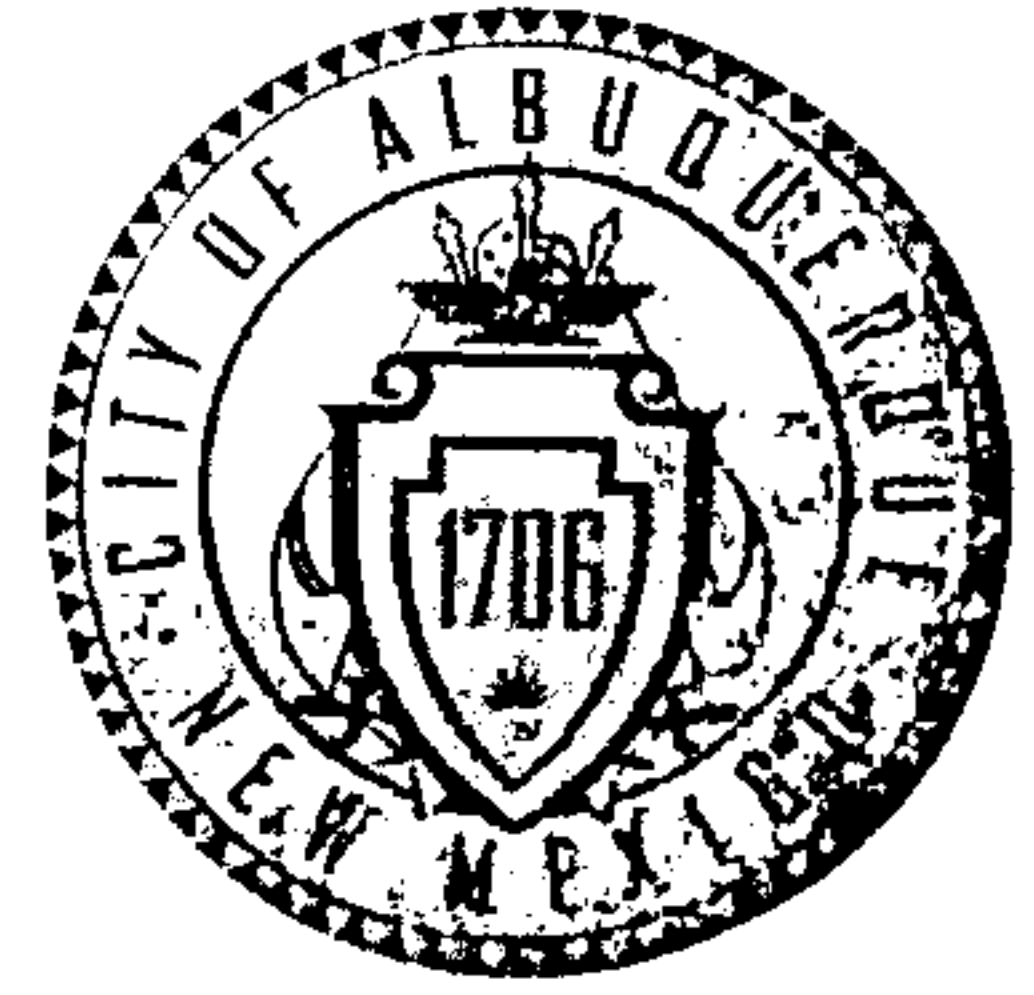


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



October 14, 2008

John A. Tellez, P.E.
Molzen-Corbin & Associates
2701 Miles Rd SE
Albuquerque, NM 87106

F05 - mH2D001

Re: **Double Eagle II Airport - Tri-Motor Charter School** (F06-D004 G06-D 001)
Grading and Drainage Plan for Grading, Paving, and Building Permits
Engineer's Stamp dated 9-08-08

Dear Mr. Tellez:

Based upon the information provided in your submittal received 9/08/08, the above referenced Grading and Drainage Plan cannot be approved until the following comments are addressed:

- 1) The cul-de-sac is still shown to be on a R/W. DRC reviewed and approved Work Order is required for this roadway construction.
- 2) This submittal provides schematic layout of the site location. Lacking a plat or site plan which dimensions this lot location, please provide a lease layout or other representation of the portion of Tract S-1 that is to be developed.
- 3) Ref. C-102:
 - a. Sidewalk culverts shown do not go from R/W to the back of curb, per standard drawing 2236.
 - b. Contours indicate a cross slope to the north on the cul-de-sac. Why not crowned, per COA standards?
 - c. The grades on the north side of the cul-de-sac concentrate flow at the edge of the sidewalk. This should drain to the street.
 - d. Legend does not show what the cobble looking area is on the west and southwest side of the building.
 - e. Is it concrete sidewalks on the north, east and south sides of the building?
 - f. Is the dumpster properly located on the east side of the building?
 - g. Label any "Water Harvesting" pond areas and their respective ponds volumes and bottom/top elevations.
- 4) Ref. C-103:
 - a. This plan states that "offsite drainage considerations were not included in this study." However, contours provided indicate some flows entering the site along the south site boundary, and approximately 2.25 acres of offsite area draining into the site from

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

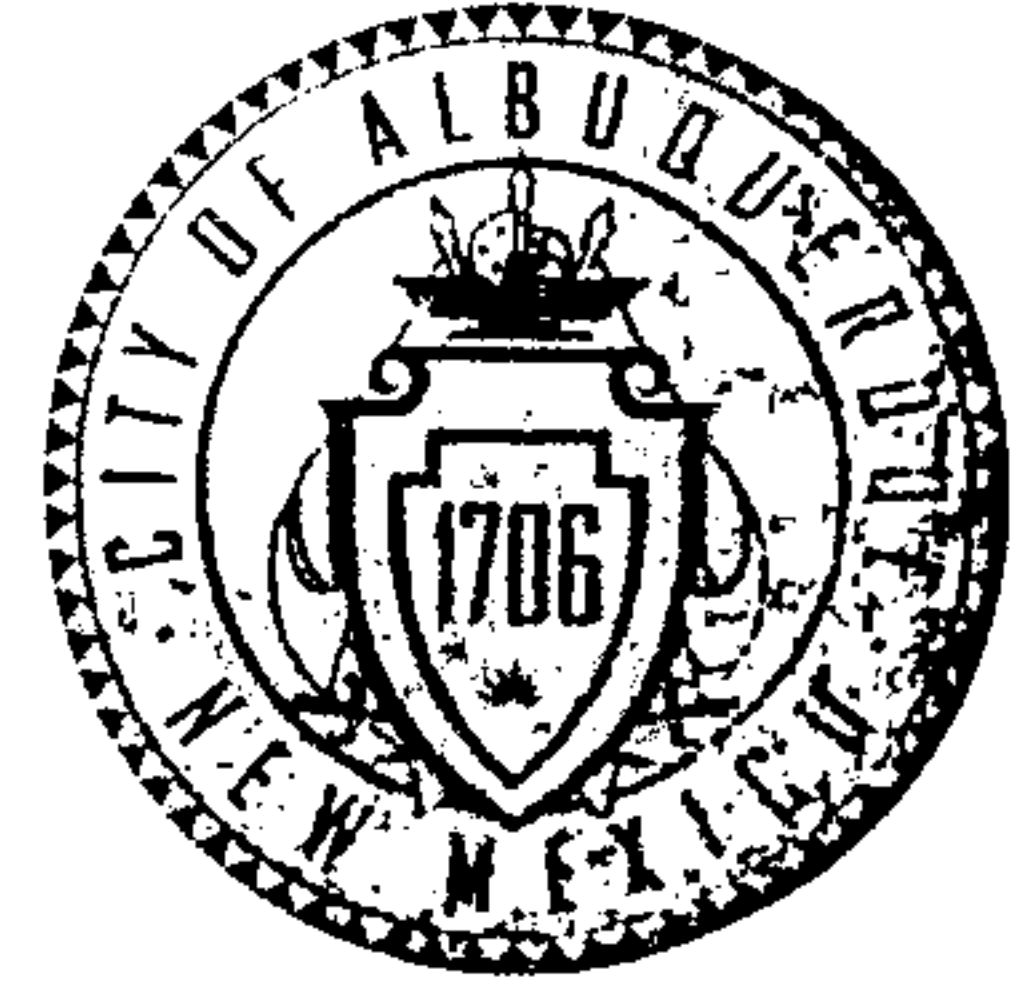
CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

Double Eagle II – Aerospace Technical Park, Tract S-1

Tri-Motor Charter School

October 14, 2008



the west (between the “berm” and the western site boundary. Review and correct site computations and design.

- 5) Include appropriate permit language on the plan for the “SO-19” construction and inspection of the proposed sidewalk culverts.
- 6) A Storm Water Pollution Prevention Plan (SWPPP) is required for this site. A SWPPP in MS Word or PDF format on a CD is required to be submitted to Hydrology Section before Hydrology will approve a Building Permit for this site.

If you have any questions or would like to schedule a meeting to discuss this, you may contact me at 924-3981.

Sincerely,

PO Box 1293

Gregory R. Olson 10/14/08

Albuquerque

Gregory R. Olson, P.E.
Hydrology Section

NM 87103

XC: Brad Bingham, COA/Hydrology
Drainage file ~~F06-D-004~~ G06-D001



www.cabq.gov

2701 Miles Road SE
Albuquerque, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

September 8, 2008

Gregory R. Olson, P.E.
City of Albuquerque
Planning Department - Hydrology Section
P.O. Box 1293
Albuquerque, NM 87103

Re: Double Eagle II Airport - Tri-Motor Charter School
Grading and Drainage Plan for Grading, Paving, and Building Permits
Engineer's Stamp dated 4-12-08 (F06-D004)

Dear Mr. Olson,

With regards to your letter dated May 8, 2008 we submit the following responses to your comments:

COA Comment: *"Provide a better location map which includes platting and clarifying the location of the site to be developed. The location map should also show where Aerospace Parkway is located, and include a north arrow."*

MCA Response: This site will not be platted, thus, property lines will be called Lease Lines. See attached sheets.

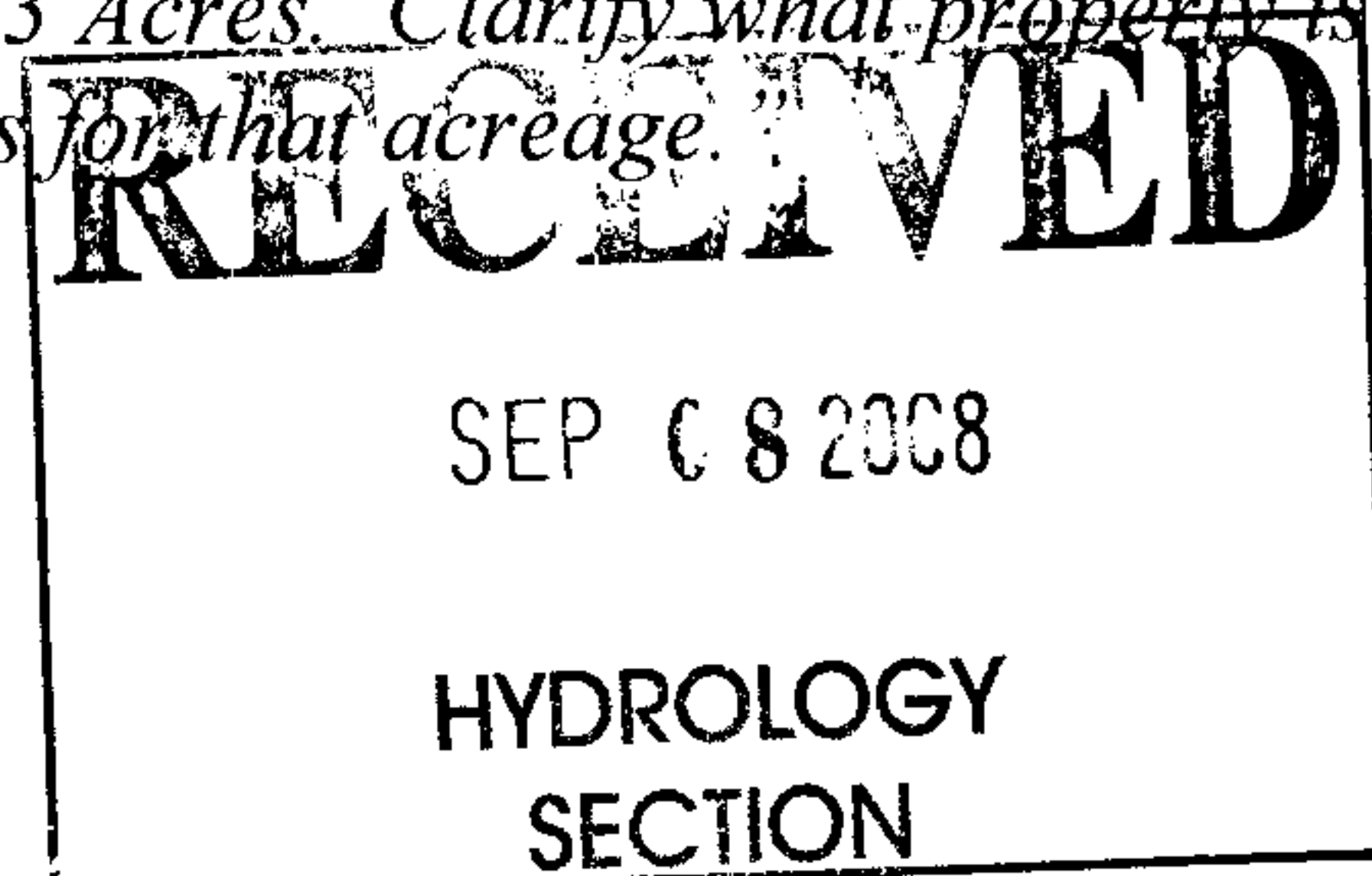
*- Cul-de-Sac still labelled as HWY
Proposed as such to DRB/EPC*

✓ **COA Comment:** *"Purpose and site location section indicates that the site is near the SW corner of Aerospace Parkway and Shooting Range Road. Is it NW of that intersection?"*

MCA Response: Yes, it is located northwest of the intersection of Aerospace Parkway and Shooting Range Road.

✓ **COA Comment:** *"The Drainage Information Sheet indicates that the site is within Aerospace Technology Park, Tract S-1, which is roughly 102 Ac; the Drainage Analysis section states that the site encompasses approximately 7.3 Acres of undeveloped land; the drainage plan depicts grading of approximately 2.3 Acres. Clarify what property is being developed and provide the drainage analysis for that acreage."*

MCA Response: See Sheet C-103.

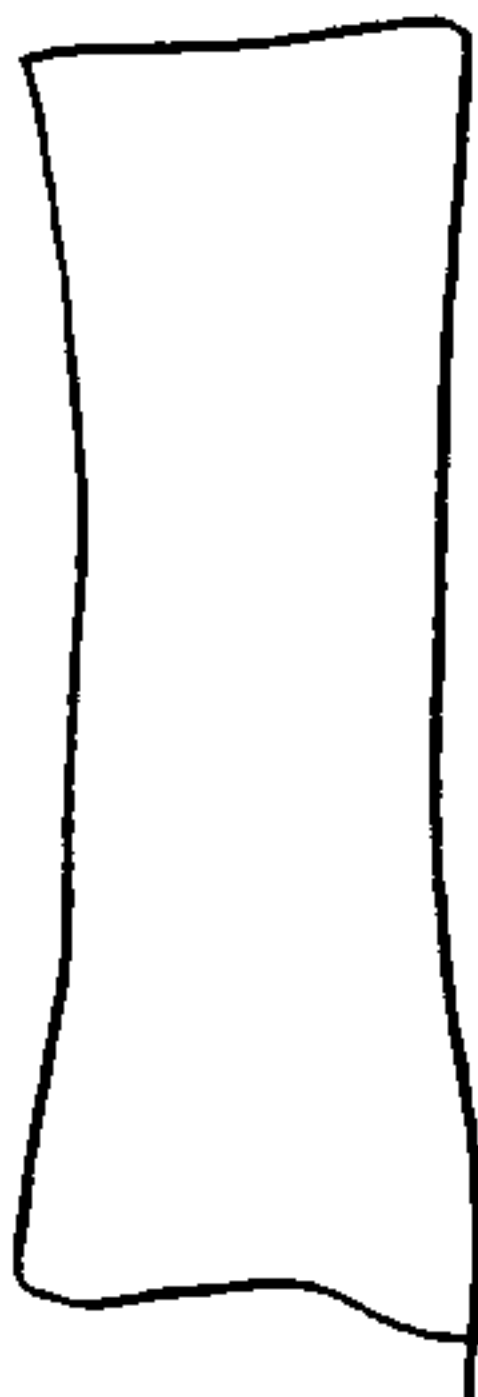


✓ **COA Comment:** *"It appears that the intended site is over 1 Acre, in which case the plan should include notes indicating that a SWPPP will be required of the contractor."*

MCA Response: A construction note will be placed in the Grading & Drainage Plan. See Sheet C-102.

✓ **COA Comment:** *"The layout of the Drainage Analysis section is confusing. Clarify that the upper portions of the text precede "PAGE 1", "PAGE 2", etc."*

MCA Response: This has been clarified. See Sheet C-103.



COA Comment: *"I do not have access to any planning that may have been done for the Aerospace Technical Park, nor Aerospace Parkway and the associated storm drain system. This submittal is focused on the Charter School site, and does not address offsite flows upstream and downstream of the school site. A drainage plan needs to be submitted for Aerospace Technical Park and Tract S-1 so that drainage planning for the Charter School site within S-1 can be evaluated."*

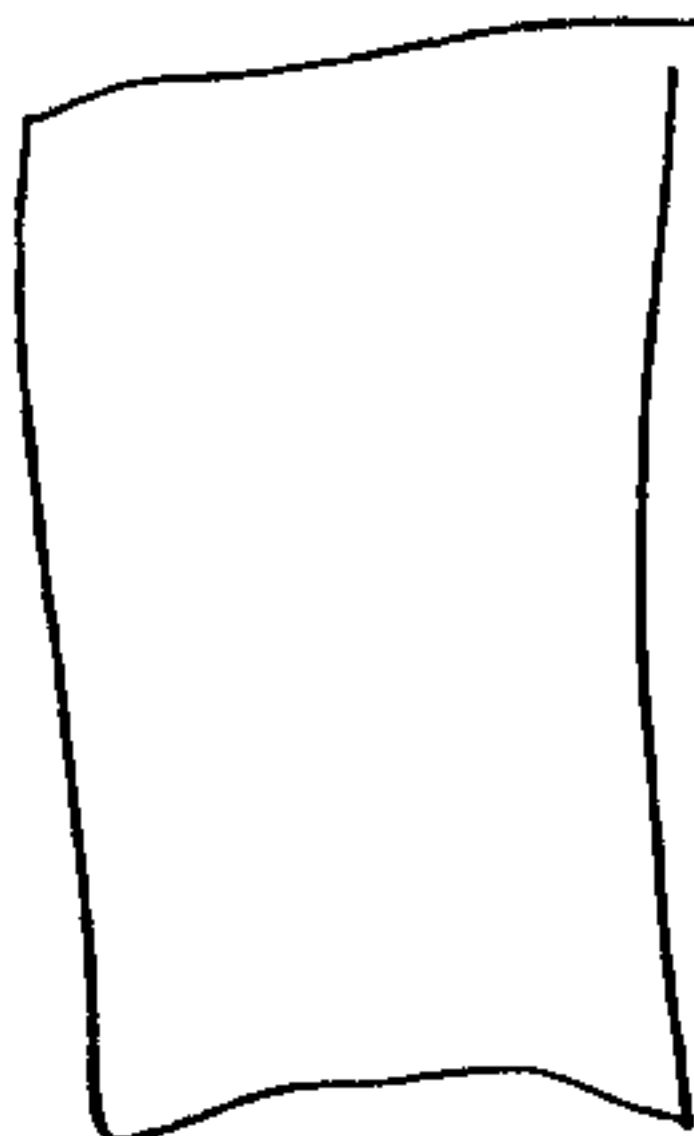
MCA Response: Please refer to Sheets C-103A, C-103B and the Double Eagle II Drainage Master Plan.

✓ **COA Comment:** *"Sheet C-103: The Drainage Basin map for the school site overlooks two relatively large sub-basins on the west and south sides of the building, which represent approximately 0.6 Acres. Also, sub-basin A1 is not identified on the basin map."*

MCA Response: This has been clarified. See Sheet C-103.

✓ **COA Comment:** *"Sheet C-103: The Drainage calculations need to be corrected to match site areas for "Existing" and "Proposed" development."*

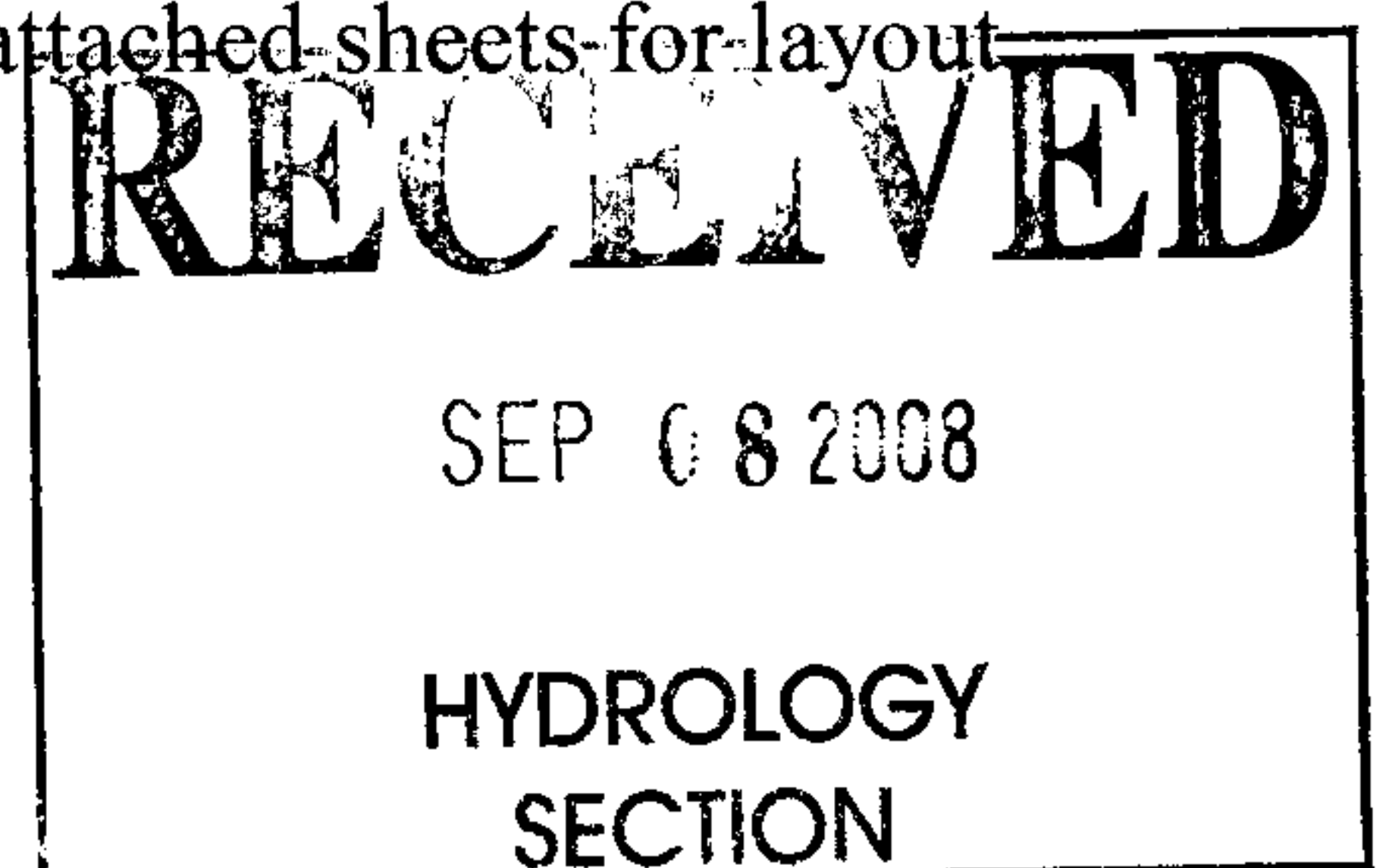
MCA Response: These have been corrected. See Sheet C-103.



COA Comment: *"The submittal should provide layout and dimensioning to indicate what portion of Tract S-1 is being developed, and provide details of the indicated platting and R/W."*

MCA Response: As previously stated the site being developed will not be platted, therefore, property lines will be labeled as Lease Lines. See attached sheets for layout and right-of-way details.

Status of platting is will become public in future, a W.D. is necessary for DRG review & approval



R/W?

COA Comment: *"If this site is to be replatted, provide indication of the proposed lot number. If it is just a Leased Parcel boundary, label "property lines" it appropriately."*

MCA Response: See previous MCA response.

✓
However
2+ Ac. between
Berm & Site
Need to be
addressed

COA Comment: *"The Drainage Analysis section indicates that here is a "berm" on the western boundary of the property, which diverts all flows south to Shooting Range Road. The plan does not show contours representing any such diversion. Also, the Master Drainage Plan does not include such a diversion. If the berm is in place, show it on this drainage plan, show where those flows are being diverted, and show how they are conveyed to the Master Planned outfall (pond "MHP2") near the northwest corner of Shooting Range Road and Paseo del Volcan."*

MCA Response: See attached Sheets C-103A and C-103B.

✓**COA Comment:** *"Paving and utility improvements shown on Aerospace Parkway appear to be inaccurate. Specifically, the Storm Drain do not fit with the curb line. Verify location and depth of existing lines to ensure there are no grade conflicts between site grading and proposed pond excavation."*

MCA Response: Plans have been corrected to show/clarify existing infrastructure.

✓**COA Comment:** *"The Drainage Analysis states that there will be no runoff from the site, yet sub-basin "D" discharges 2.12 cfs to Aerospace Parkway. The plan needs to include flow arrows at inflow and discharge points, annotated with flow rates."*

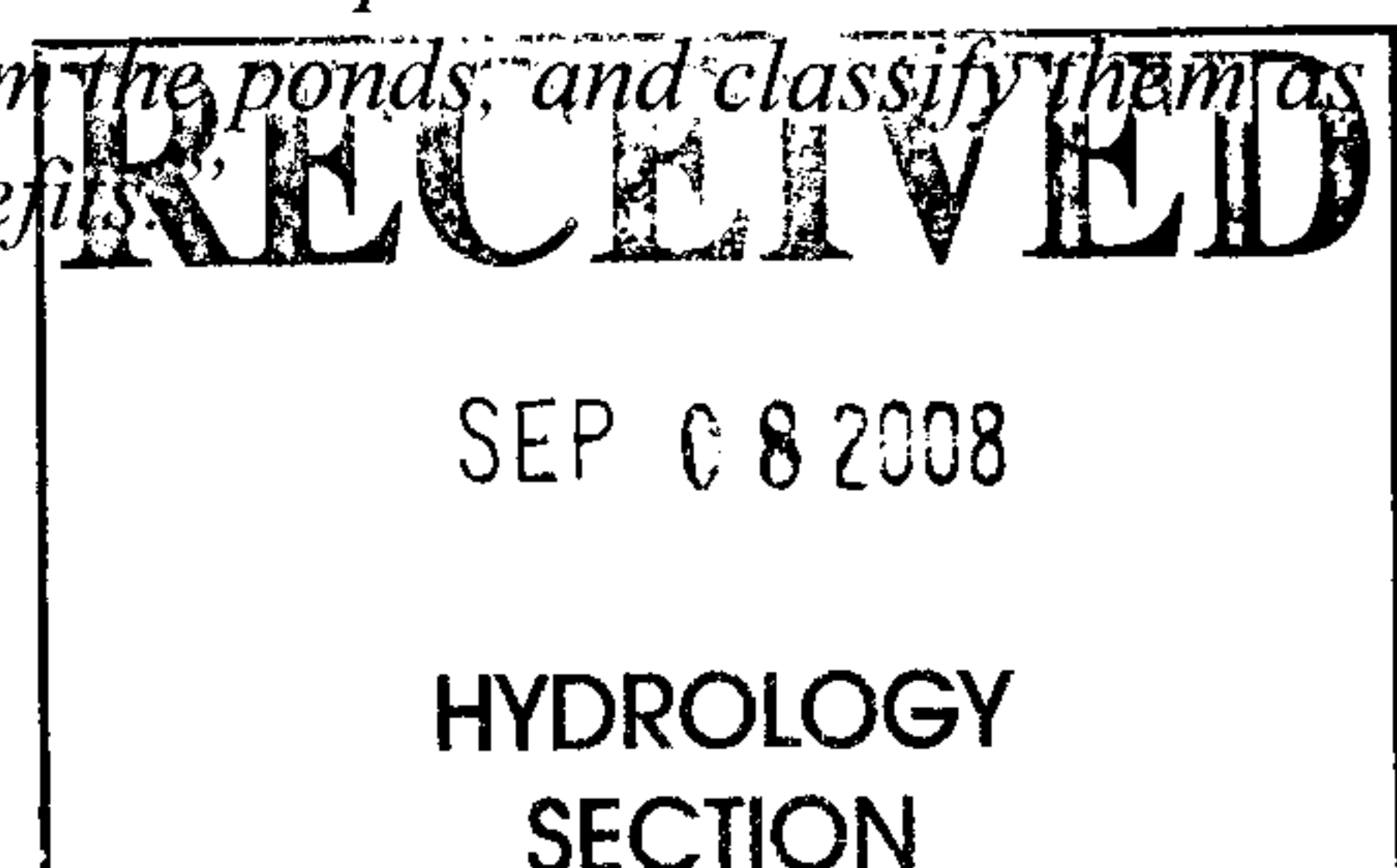
MCA Response: Plans have been corrected to show/clarify all inflow/outflow runoff. Flow rates were not included due to sheet looking to "busy". See table on Sheet C-103 for flow rates.

still not
labelled
& No Volume
calcs.

COA Comment: *"The concept of Water Harvesting is good, but this drainage plan must consider runoff volumes, pond volumes and pond overflow protection and routing. Label ponds with volumes and bottom/top elevations."*

MCA Response: Plans have been corrected to better show/clarify pond information.

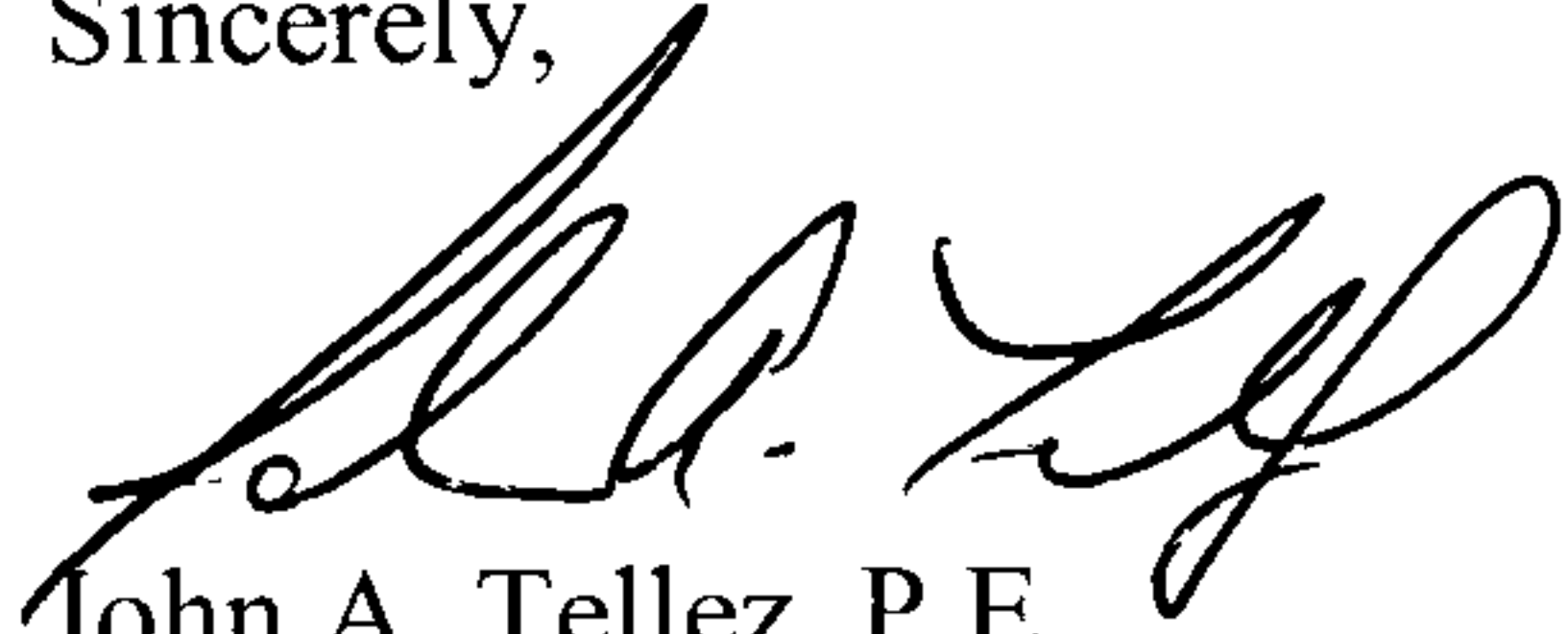
COA Comment: *"Full retention of storm water on this site brings in significant issues with pond volume requirements and the requirement to drain the pond within 96-hours. It may be desirable to provide small diameter drains from the ponds, and classify them as "detention" while still creating "water harvesting" benefits."*



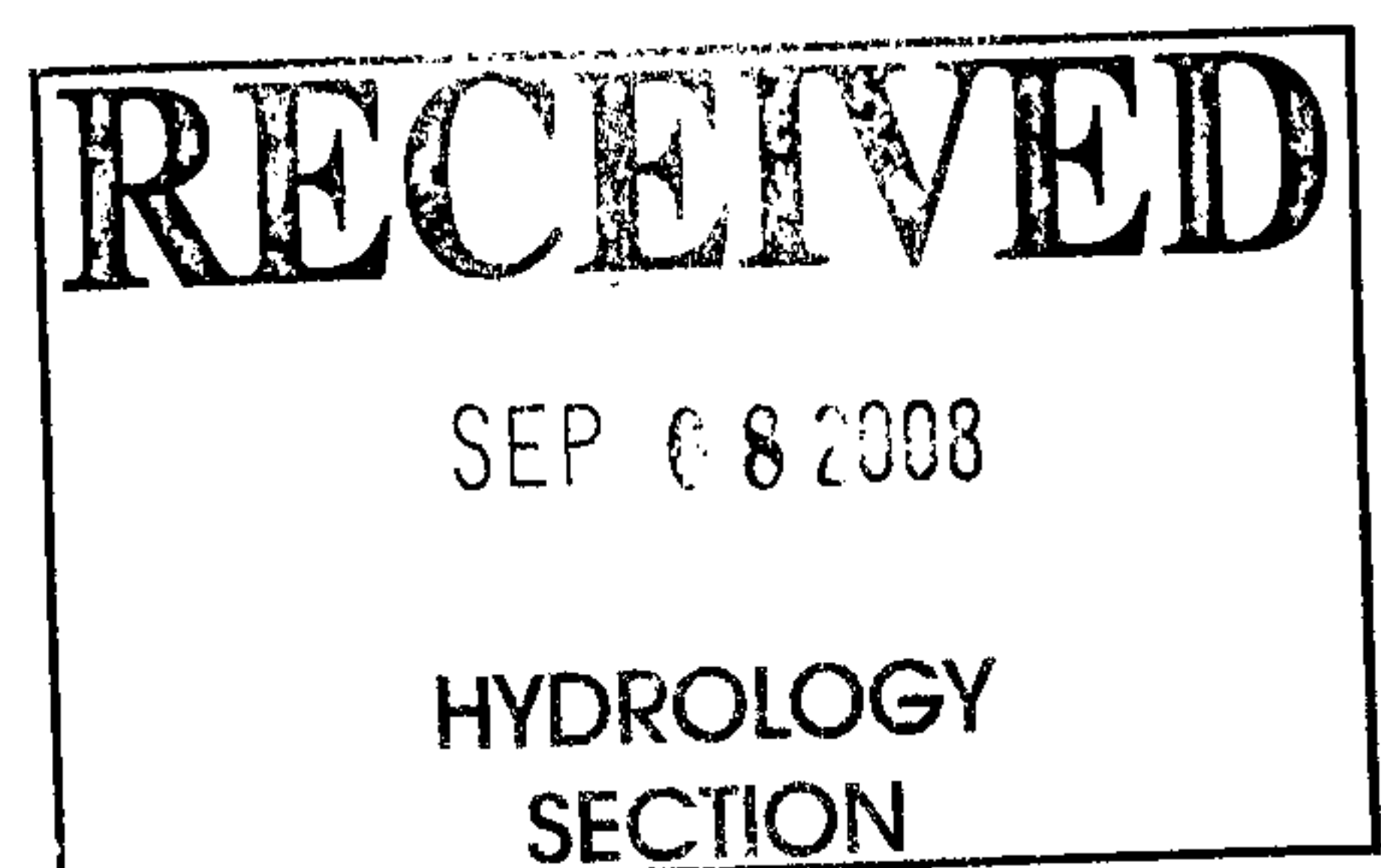
MCA Response: Ponds have been adjusted to classify them as detention ponds rather than retention ponds.

If you have any further questions, please do not hesitate to contact me at 242-5700.

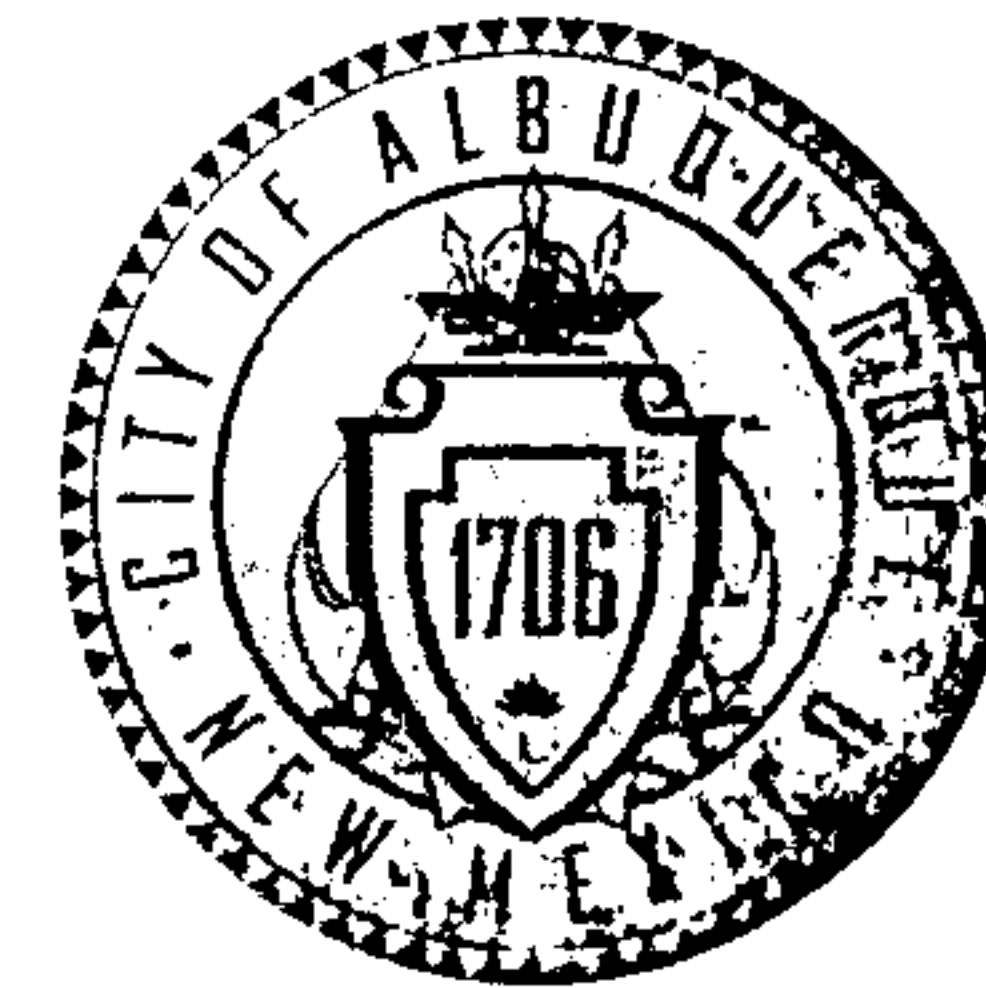
Sincerely,

A handwritten signature in black ink, appearing to read 'John A. Tellez', written in a cursive style.

John A. Tellez, P.E.
Civil Engineer



CITY OF ALBUQUERQUE



April 28, 2008

John Tellez, P.E.
Molzen-Corbin & Associates
2701 Miles Rd. SE
Albuquerque, NM 87106

Re: Tri Motor Charter School, 7401 Paseo del Volcan NW, Traffic Circulation Layout

Engineer's Stamp dated 4-10-08 (~~E06-D004~~)

F05-M42 D001

Dear Mr. Tellez,

The above referenced plan is not approved through the TCL process. Due to the existing zoning, this project is site plan controlled and will need to be submitted through the DRB. If this plan has already been approved through the DRB process, be sure to include it in the plan set when applying for building permit.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File
DRB 1003125