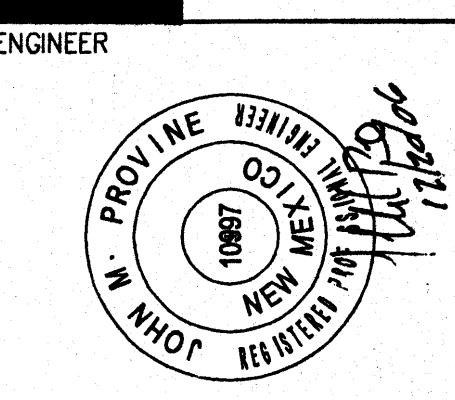
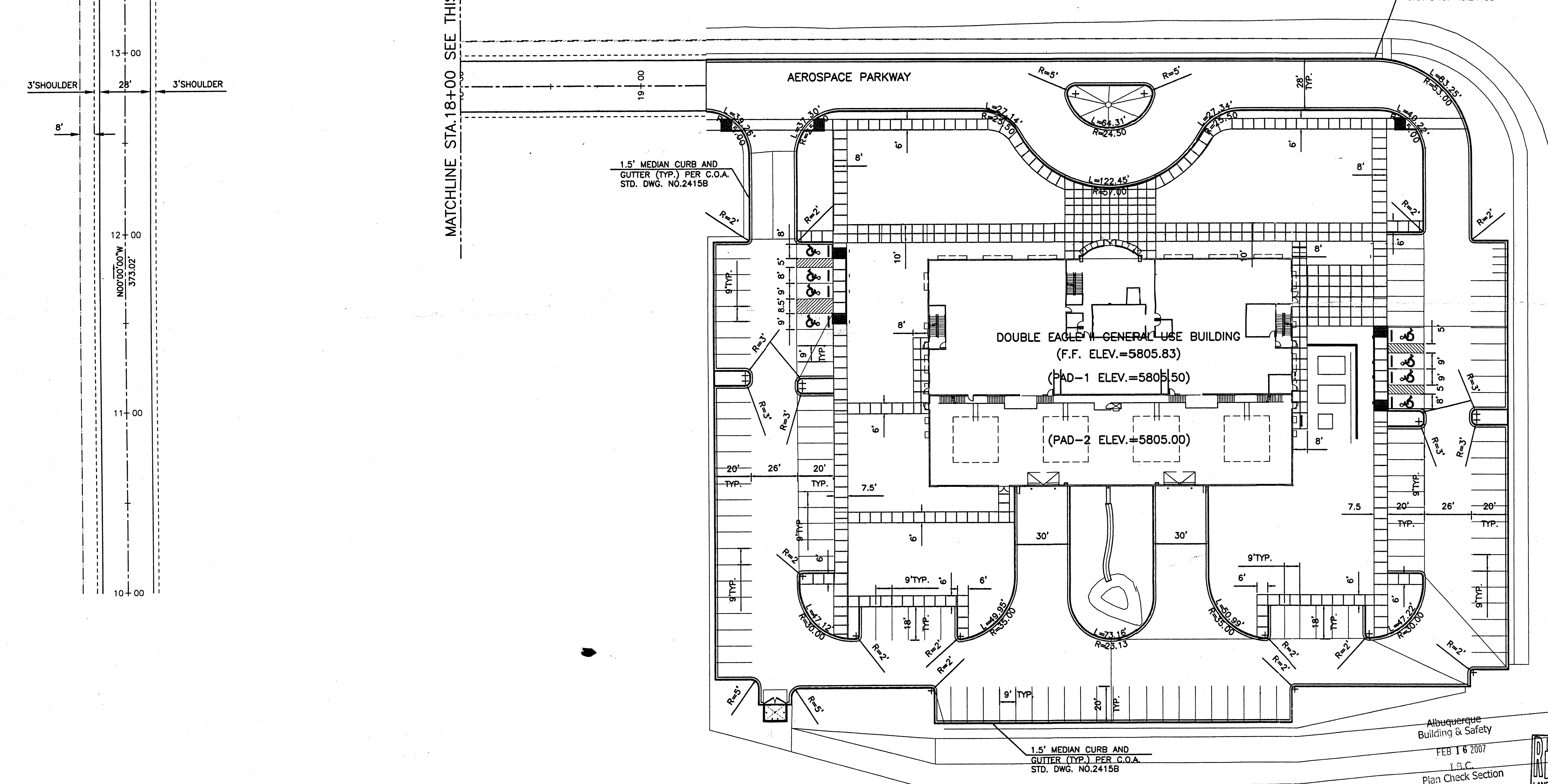
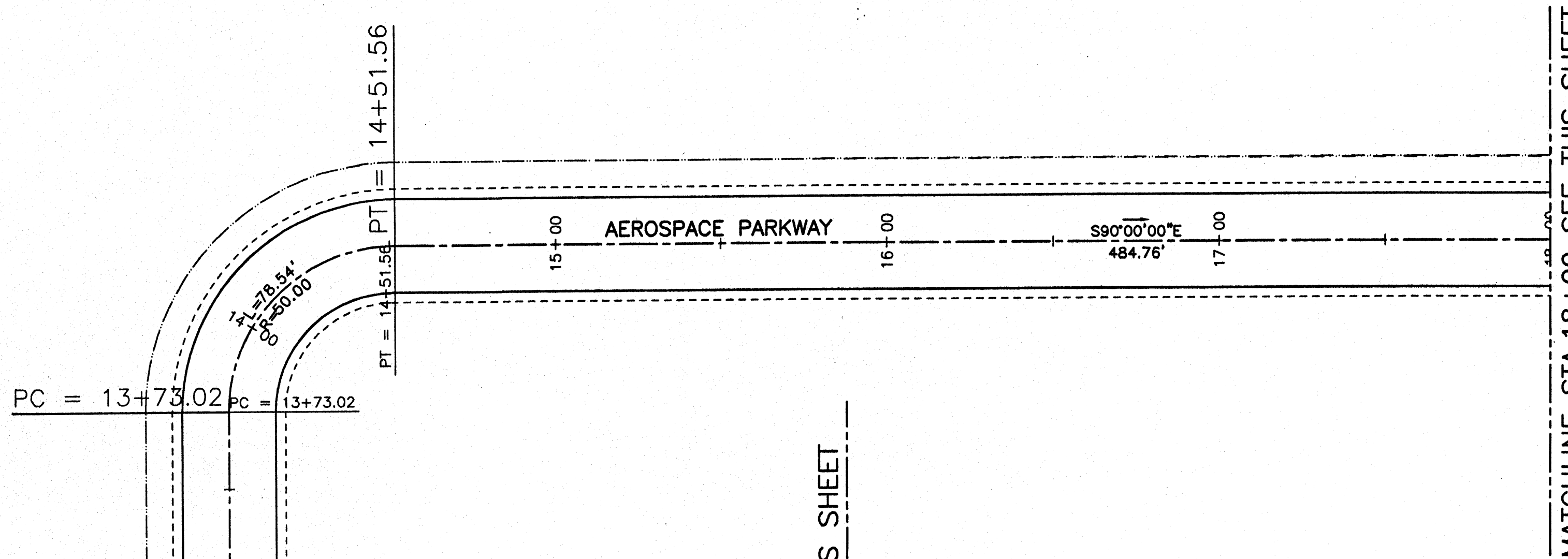
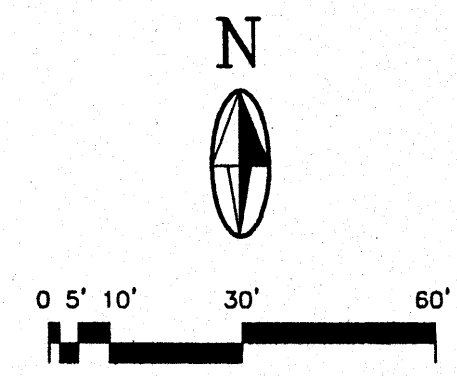


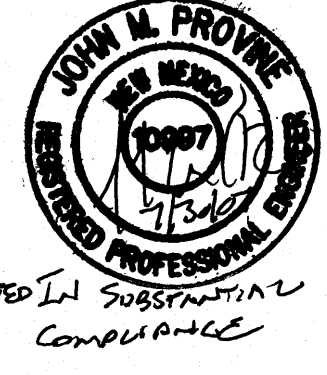


**DOUBLE EAGLE II
GENERAL USE BUILDING**
Albuquerque, New Mexico

REVISIONS

△	
△	
△	
△	

DRAWN BY	CMS
REVIEWED BY	JMP
DATE	12-20-06
PROJECT NO.	
DRAWING NAME	
LAND DEVELOPMENT SECTION	TRAFFIC CIRCULATION PLAN



**TRAFFIC CIRCULATION LAYOUT
APPROVED**

[Signature] 1/10/07
Signed Date

2701 MILES RD SE
ALBUQUERQUE, NM 87108
TEL: 505-242-5700
FAX: 505-242-0873

**MOLZEN-CORBIN
& Associates**
ARCHITECTS/PLANNERS

RECEIVED
JUL 30 2007
HYDROLOGY SECTION

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

REID & ASSOCIATES
DESIGN BUILDERS

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Albuquerque, New Mexico 87120
Phone: 505-891-2528 Fax: 505-892-1489

SHEET NO.

C102

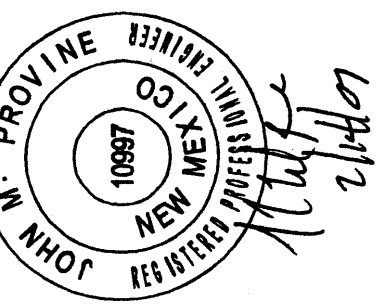
OF

**Dekker
Perich
Sabatini**

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Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER



PROJECT

**DOUBLE EAGLE II
GENERAL USE BUILDING**
Albuquerque, New Mexico

REVISIONS

- △ 1/4/2007
- △ 1/16/2007
- △ 2/14/2007
- △ 2/15/2007 I.F.C.

DRAWN BY **CMS**

REVIEWED BY **JMP**

DATE **12-20-06**

PROJECT NO.

DRAWING NAME

**GRADING AND
DRAINAGE PLAN**



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SHEET NO.

C101

OF

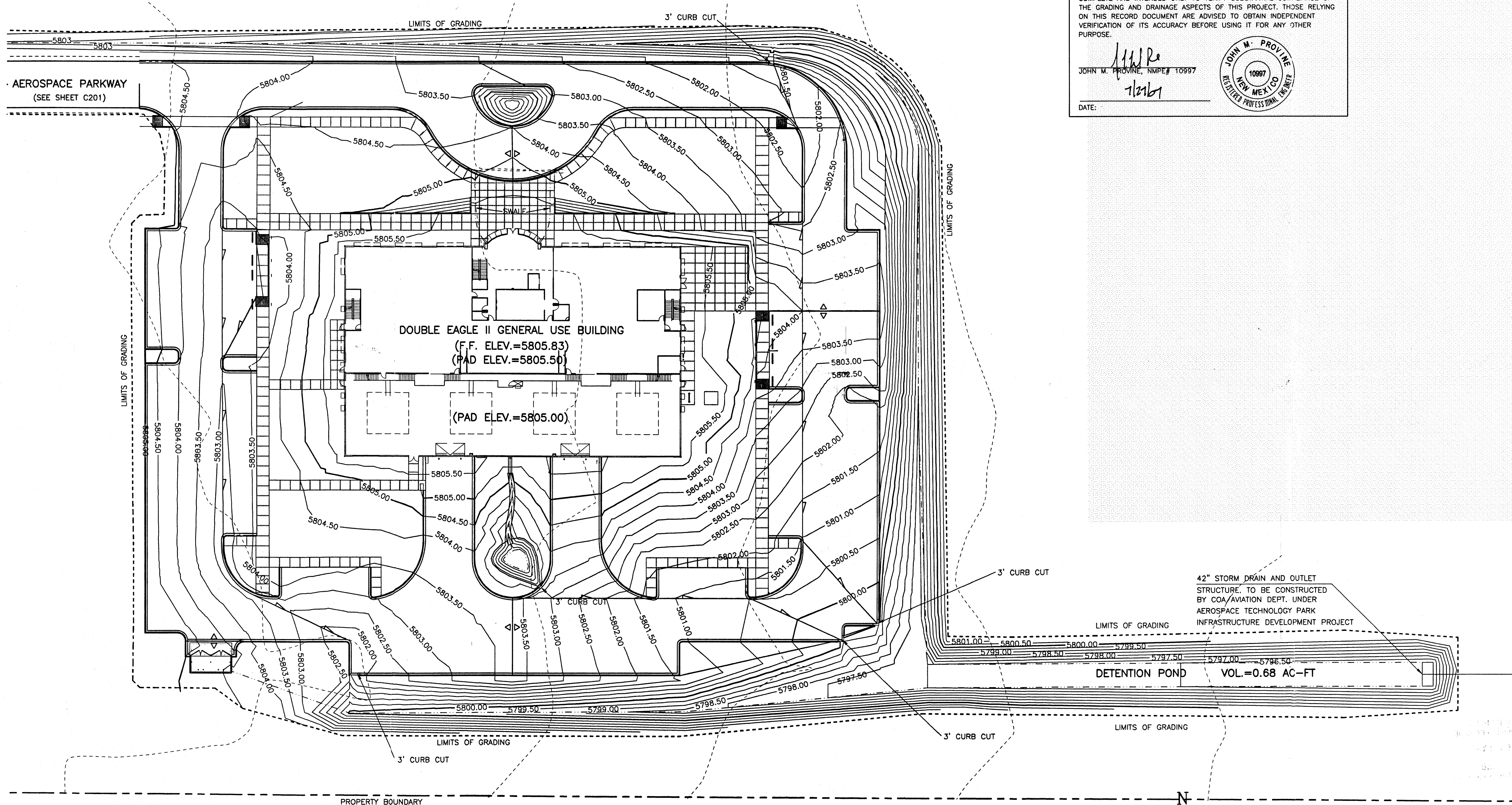
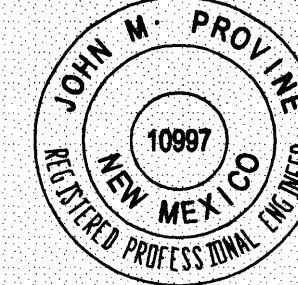
DRAINAGE CERTIFICATION

I, JOHN M. PROVINE, NMPE #10997, OF THE FIRM MOLZEN-CORBIN & ASSOCIATES, HERBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEBRUARY 21, 2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

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JMP
JOHN M. PROVINE, NMPE # 10997
1/21/07

DATE:

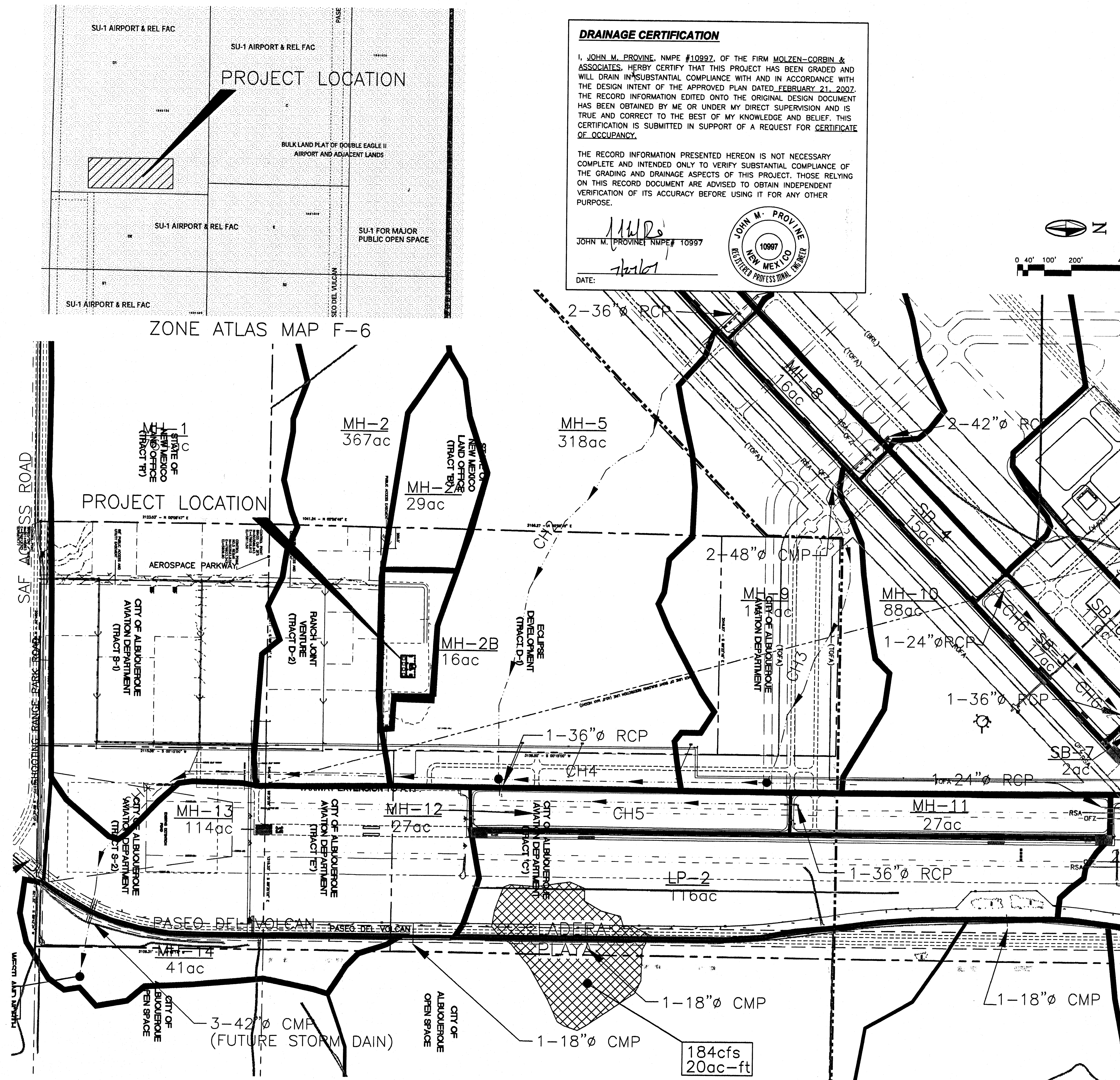


0' 5' 10' 30' 60'

MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS



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ALBUQUERQUE, NM 87106
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FAX: 505.242.0873



Albuquerque
Building & Safety
FEB 21 2007
J.B.C.
Plan Check Section

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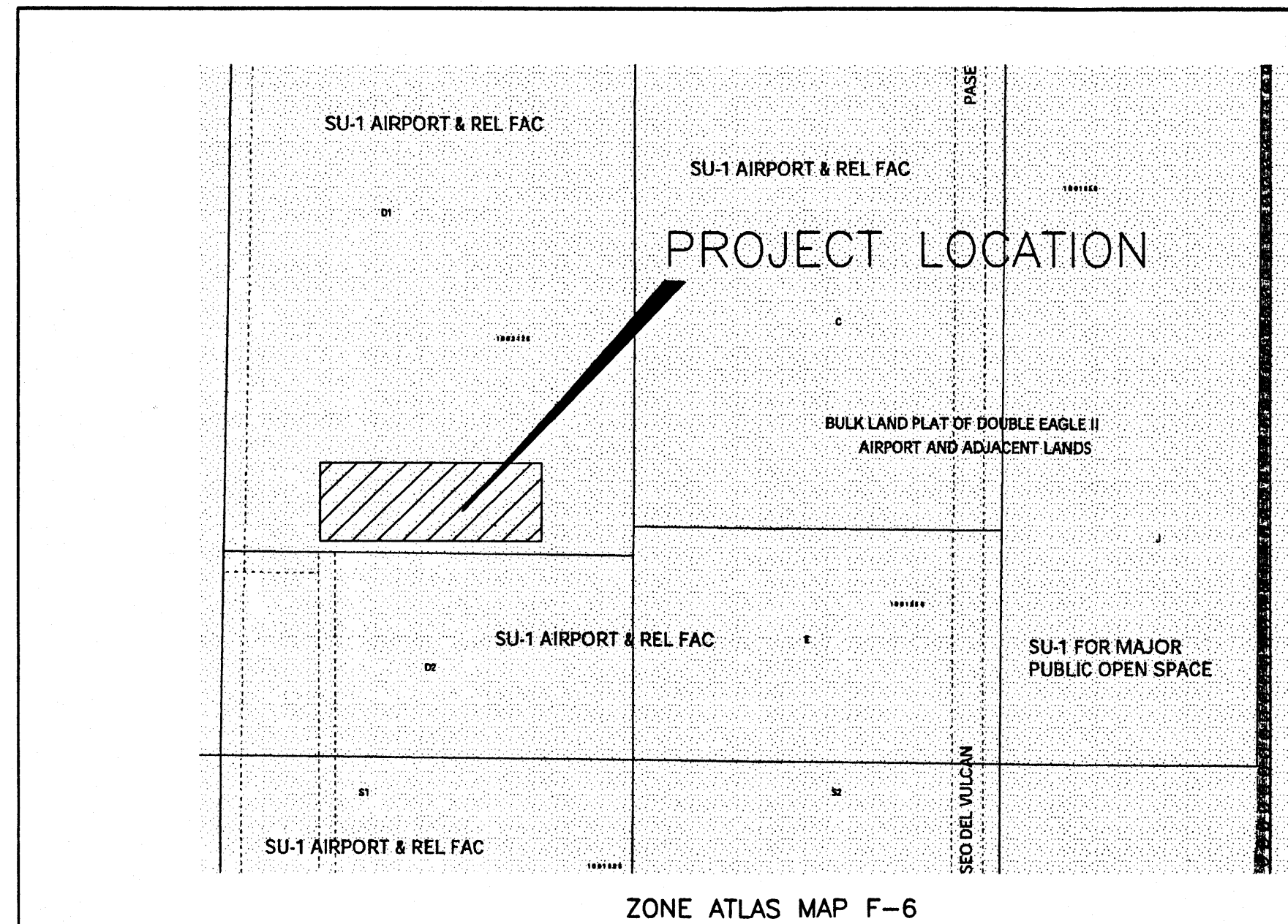
MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

TITLE: DOUBLE EAGLE II GENERAL USE BUILDING

GRADING AND DRAINAGE PLAN - PROPOSED CONDITIONS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. Sheet **C100A**
F-5 TO F-7



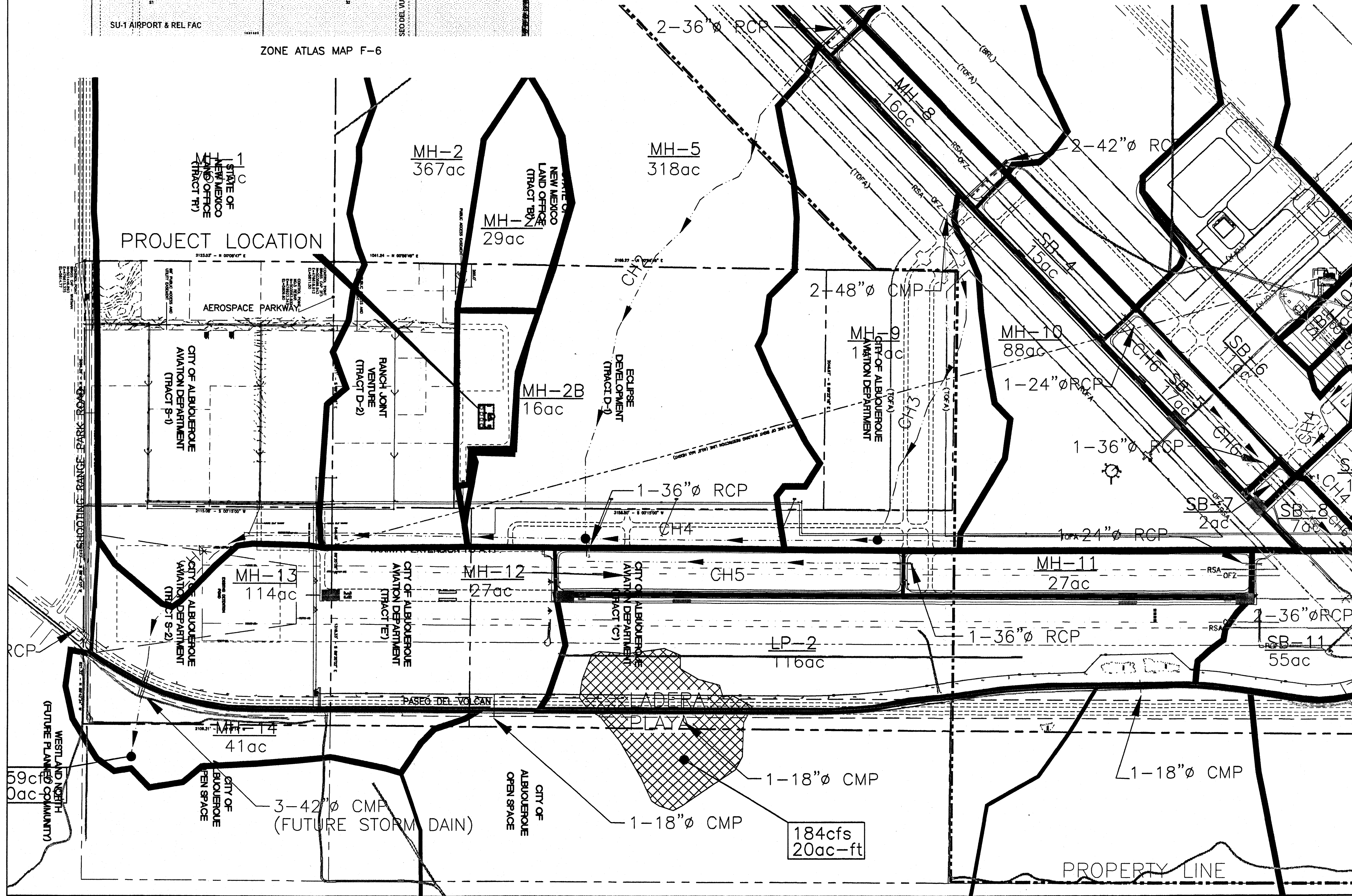
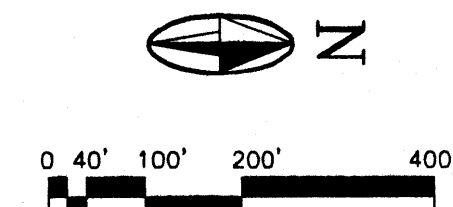
NOTES

PROJECT IS LOCATED ON THE ECLIPSE AVIATION PROPERTY, TRACT D-1, LANDS OF DEH AIRPORT. AS SHOWN ON THE VICINITY MAP, THE SITE IS LOCATED WEST OF ALBUQUERQUE AND CAN BE ACCESSED BY EXISTING WEST BOUND 1-25 AT THE PASEO DEL VOLCAN OFFRAMP AND CONTINUING NORTH ON PASEO DEL VOLCAN TO THE INTERSECTION OF SHOOTING RANGE ACCESS ROAD, TURNING EAST ON SHOOTING RANGE ROAD AND CONTINUING EAST FOR APPROX. 2720' AND THE SITE IS THEN LOCATED APPROX. 3350' TO THE NORTH.

THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1.0' INTERVAL AS SHOWN FROM THE TOPOGRAPHIC SURVEY PROVIDED BY BERNALILLO COUNTY. 2) PROPOSED GRADES ARE INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1.0' INTERVALS. 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS. 4) THE LIMIT AND CHARACTER OF PROPOSED IMPROVEMENTS, AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. SEE SHEET C-001 FOR SITE GRADING.

THE PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF APPROXIMATELY 238,500SF FLIGHT TRAINING FACILITY INCLUDING A PAVED EMPLOYEE PARKING AREA, PAVED ACCESS ROAD AND LANDSCAPING. BUILDING AREA = 31392SF.

PROPOSED DEVELOPMENT GRADING WILL CONTINUE TO ALLOW THE SITE TO DRAIN FROM WEST TO EAST VIA AN APPROX. 4' WIDE X 2'-3' DEEP DITCH LOCATED AROUND THE EAST, NORTH AND SOUTH SIDES OF SITE. DITCH IS THEN DISCHARGED INTO AN APPROX. 20' WIDE X 4' DEEP POND LOCATED ON EAST SIDE OF SITE, VOLUME = XXXX'. THE CALCULATIONS SHOWN FOR BOTH EXISTING AND FUTURE CONDITIONS ANALYZE BOTH THE 100yr-24hr AND THE 100yr-6hr STORM EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1983, IN CONJUNCTION WITH THE ARID-LANDS HYDROLOGIC MODEL "AHYMO-97" COMPUTER PROGRAM, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND THE VOLUME OF RUNOFF GENERATED BY THIS DEVELOPMENT.



LEGEND

- 36' 7.00' --- EXISTING CONTOUR (1' CONTOUR INTERVAL)
- LIMITS OF FUTURE DISTURBED AREA
- EXISTING SUB-BASIN BOUNDARY
- DRAINAGE FLOW DIRECTION

CALCULATIONS

- *SUB-BASIN MH-1
Q(100yr-6yr) = 294cfs
Q(100yr-24yr) = 294cfs
RUNOFF Vol.(100yr-6hr) = 28.431ac-ft
RUNOFF Vol.(100yr-24hr) = 28.442ac-ft
TP(100yr-6hr) = 0.58hr
- *SUB-BASIN MH-2
Q(100yr-6yr) = 155cfs
Q(100yr-24yr) = 155cfs
RUNOFF Vol.(100yr-6hr) = 15.220ac-ft
RUNOFF Vol.(100yr-24hr) = 15.536ac-ft
TP(100yr-6hr) = 0.60hr
- *SUB-BASIN MH-5
Q(100yr-6yr) = 76cfs
Q(100yr-24yr) = 76cfs
RUNOFF Vol.(100yr-6hr) = 13.089ac-ft
RUNOFF Vol.(100yr-24hr) = 13.328ac-ft
TP(100yr-6hr) = 1.07hr
- *SUB-BASIN MH-2A
Q(100yr-6yr) = 9.52cfs
Q(100yr-24yr) = 9.52cfs
RUNOFF Vol.(100yr-6hr) = 1.0615ac-ft
RUNOFF Vol.(100yr-24hr) = 1.0615ac-ft
TP(100yr-6hr) = 0.57hr
- *SUB-BASIN MH-2B
Q(100yr-6yr) = 19.50cfs
Q(100yr-24yr) = 19.50cfs
RUNOFF Vol.(100yr-6hr) = 0.5858ac-ft
RUNOFF Vol.(100yr-24hr) = 0.5858ac-ft
TP(100yr-6hr) = 0.14hr

EXISTING SITE CHARACTERISTICS

(FROM DOUBLE EAGLE II AIRPORT DRAINAGE MANAGEMENT PLAN)

- *100 YEAR RAINFALL TABLE
100yr - 1hr = 1.87in
100yr - 6hr = 2.20in
100yr - 24hr = 2.66in

- *SUB-BASIN MH-1
AREA = 764ac
LAND TREATMENT:
A = 100.0%
B = 0.0%
C = 0.0%
D = 0.0%
REACH = 13,208.00ft
HIGH EL. = 5914.00ft
LOW EL. = 5792.00ft

- *SUB-BASIN MH-2
AREA = 367ac
LAND TREATMENT:
A = 100.0%
B = 0.0%
C = 0.0%
D = 0.0%
REACH = 11,057.00ft
HIGH EL. = 5904.00ft
LOW EL. = 5798.00ft

- *SUB-BASIN MH-5
AREA = 318ac
LAND TREATMENT:
A = 95.0%
B = 0.0%
C = 3.0%
D = 2.0%
REACH = 5,249.00ft
HIGH EL. = 5838.00ft
LOW EL. = 5798.00ft

- *SUB-BASIN MH-2A
AREA = 29ac
LAND TREATMENT:
A = 100.0%
B = 0.0%
C = 0.0%
D = 0.0%
REACH = 2020.00ft
HIGH EL. = 5825.00ft
LOW EL. = 5807.00ft

- *SUB-BASIN MH-2B
AREA = 16ac
LAND TREATMENT:
A = 100.0%
B = 0.0%
C = 0.0%
D = 0.0%
REACH = 1511.00ft
HIGH EL. = 5807.00ft
LOW EL. = 5800.00ft

DRAINAGE CERTIFICATION

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JOHN M. PROVINE, NMPE# 10997

DATE:



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ALBUQUERQUE, NM 87105
TEL: 505.242.5700
FAX: 505.242.0873

MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

TITLE: DOUBLE EAGLE II GENERAL USE BUILDING

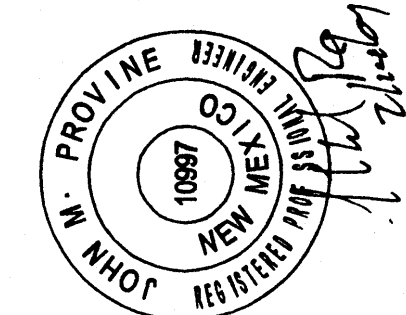
GRADING AND DRAINAGE PLAN - EXISTING CONDITIONS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. F-5 TO F-7 Sheet **C100** of

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ENGINEER



DOUBLE EAGLE II GENERAL USE BUILDING

Albuquerque, New Mexico

DRAWN BY	CMS
REVIEWED BY	JMP
DATE	12-20-06
PROJECT NO.	
DRAWING NAME	

**SPOT ELEVATION
PLAN**

 **REID & ASSOCIATES**
DESIGN BUILDERS
6300 Riverside Plaza Lane NW Suite 220
Albuquerque, New Mexico 87120
Phone: 505-891-2528 Fax: 505-892-1489

SHEET NO.

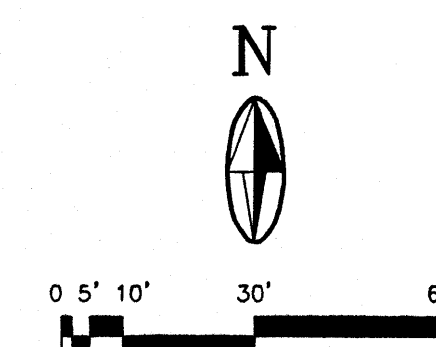
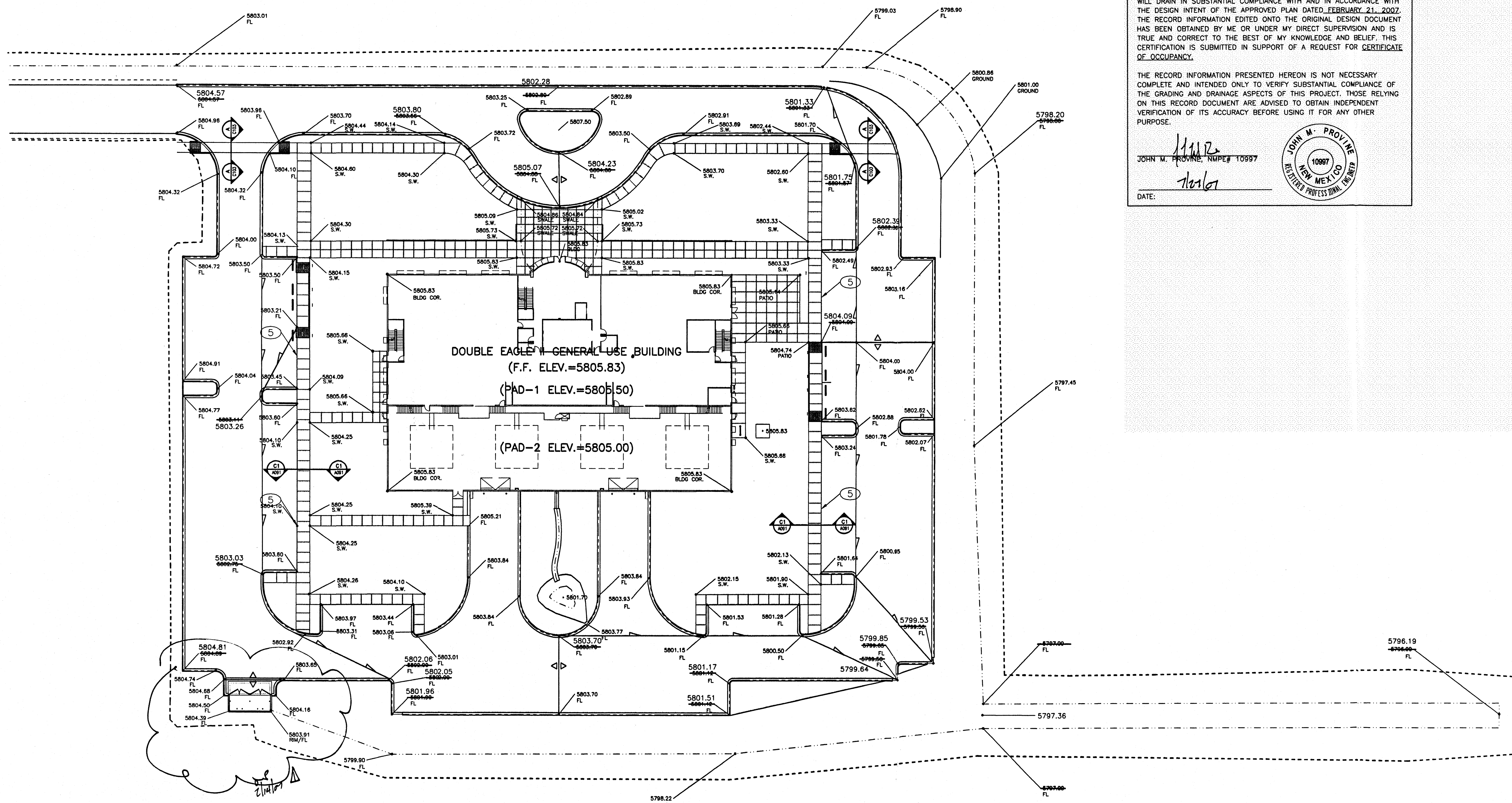
05

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JOHN M. PROVINCE, NMPE# 10997

DATE: _____



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