

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

October 8, 2015

Marie Holloway  
Cherry See Reames Architects  
220 Gold Ave., SW  
Albuquerque, NM 87102

**Re: Chaparral Elementary School  
6325 Milne Rd., NW  
Certificate of Occupancy – Transportation Development  
Engineer's/Architect's Stamp dated 6-12-13 (F10-D005)  
Certification dated 9-24-15**

Dear Ms. Holloway,

Based upon the information provided in your submittal received 9-25-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Chaparral Elementary School Building Permit #: 2014-92151 City Drainage #: F10 D005  
DRB#: not applicable EPC#: not applicable Work Order#: \_\_\_\_\_  
Legal Description: Lot B - Chaparral Elementary School subdivision  
City Address: 6325 Milne Road NW; Albuquerque, NM 87120

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Owner: Albuquerque Public Schools Contact: \_\_\_\_\_  
Address: 915 Oak Street SE; Albuquerque NM 87106  
Phone#: 848-8876 Fax#: 246-9020 E-mail: ritchey\_d@aps.edu  
Architect: Cherry See Reames Architects Contact: Marie Holloway  
Address: 220 Gold Avenue SW; Albuquerque NM 87102  
Phone#: 842-1278 Fax#: 766-9269 E-mail: msholloway@cherryseereames.com  
Other Contact: Thompson Construction Contact: Dennis Thompson  
Address: 8200 Venice NE; Albuquerque NM 87122 or Zach Thompson zach@tci-nm.com  
Phone#: 823-1218 Fax#: 856-1375 E-mail: dennis@tci-nm.com

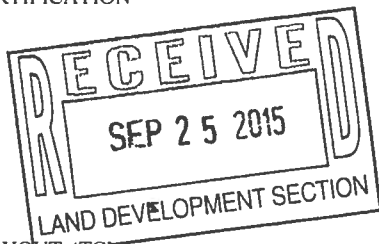
Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_



### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☒ OTHER (SPECIFY) Traffic Certification

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: September 24, 2015

By: Marie Shaver Holloway of Cherry See Reames Architects

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

## TRAFFIC CERTIFICATION


I, TINA REAMES, NEW MEXICO REGISTERED ARCHITECT, OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-12-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TINA REAMES OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 24, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

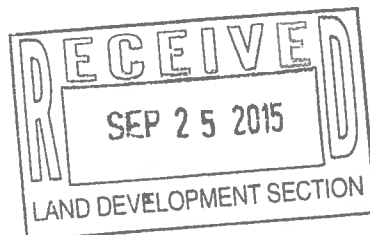
<LIST EXCEPTIONS, IF ANY>

- NO STRIPING AT CAFETERIA DELIVERY.
- ASI#105 REV2 PLAYGROUND MODIFICATIONS

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Engineer or Architect

9/24/15  
Date





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

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☐ PAVING PERMIT APPROVAL  
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☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

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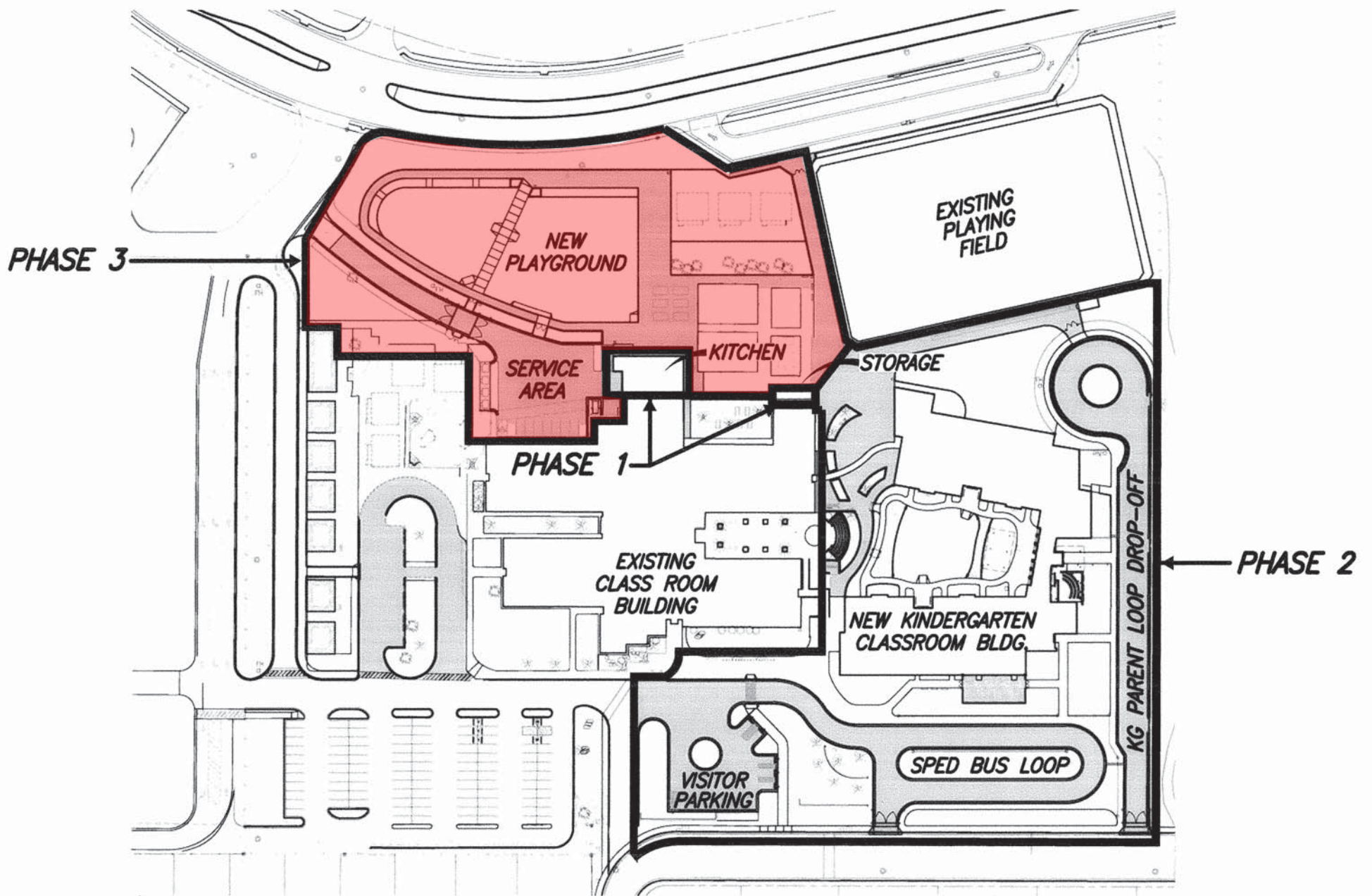


Signature of Engineer or Architect



Date





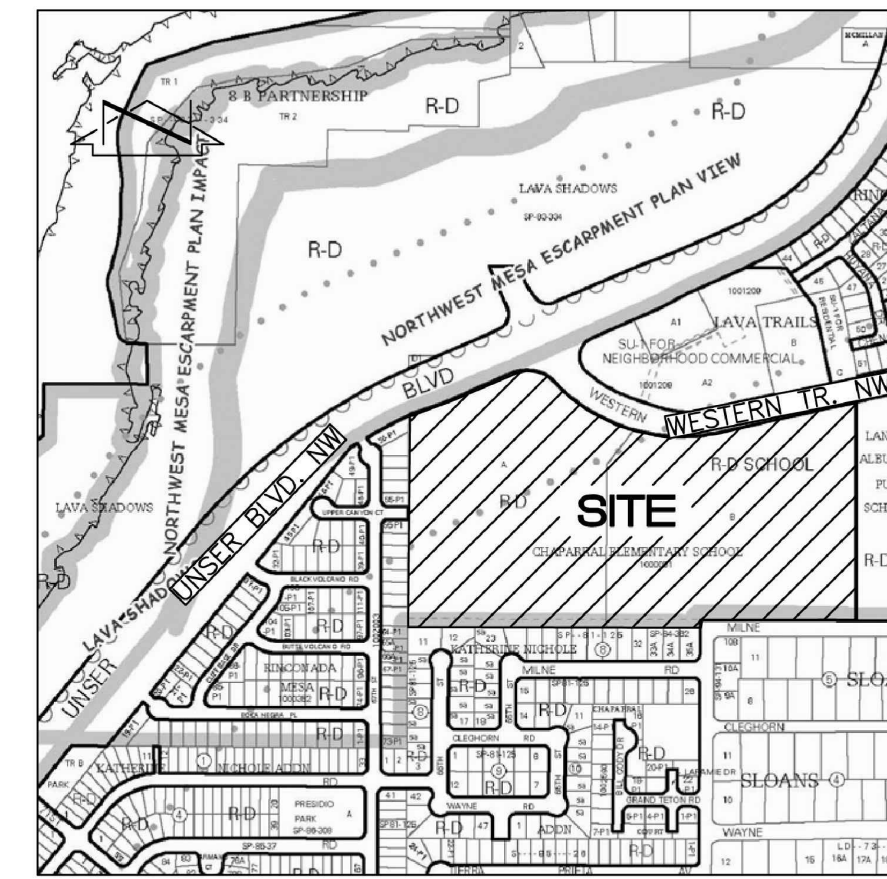
D4

## PHASING KEY MAP

N.T.S.

Chaparral Elementary - Traffic Certification for Phase 3





VICINITY MAP F-10  
SCALE: 1" = 750'

LEGEND

- NEW CONCRETE
- NEW ASPHALT AT PATH PAVING
- NEW ASPHALT AT ROAD PAVING
- GRASS
- PLAYGROUND - 16" MIN COMPACTED ENGINEERED WOOD FIBER MULCH, NIC
- EXISTING BUILDING
- ADDITIONS
- FUTURE WORK
- CHAIN LINK FENCE
- FENCE OTHER - SEE DETAIL CALLOUTS OR KEYNOTES
- EXISTING FENCE TO REMAIN
- CURB TO BE PAINTED AT FIRELANE
- PERFORATED METAL SHEET AT FENCING
- PROPERTY LINE

GENERAL SHEET NOTES

- REFER TO SHEET A001 FOR GENERAL ARCHITECTURAL INFORMATION.
- REFER TO SHEET AS102 FOR SITE DIMENSIONS.
- REFER TO SHEET AS401 FOR DIMENSIONS AND ADDITIONAL NOTES. BRING ANY DISCREPANCIES BETWEEN THE CIVIL, DEMOLITION, AND ARCHITECTURAL SITE PLANS TO THE ARCHITECT'S ATTENTION PRIOR TO BEGINNING WORK IN THE AREA IN QUESTION.
- EXISTING VEGETATION TO REMAIN UNLESS NOTED OTHERWISE. COORDINATE WITH SHEET AS011.
- WHERE EXISTING SIDEWALK IS IN POOR CONDITION, REMOVE & REPLACE THAT PORTION OF CONCRETE/ FIBER MULCH, NIC.
- ALL RESURFACED PAVING AND PARKING WITH NEW SIGNAGE SHALL BE STRIPED AS PER PLAN.
- ALL NEW AND EXISTING SIDEWALKS TO HAVE A MINIMUM OF 3'-0" MIN CLEAR SIDEWALK AROUND FIRE HYDRANTS.
- TYPICAL PARKING SPACES ARE 9' X 20'. 6/20/13 F.A.

KEYED NOTES

- NEW ASPHALT ROAD PAVING. SEE DETAIL A4/AS501.
- NEW LANDSCAPING, NIC.
- NEW CONCRETE SIDEWALK PER DETAIL C4/AS501. COORDINATE WITH CIVIL DWGS.
- NEW CONCRETE CURB AND GUTTER PER DETAIL E3/AS501, TYP. COORDINATE WITH CIVIL DWG.
- EXISTING FIRE HYDRANT TO REMAIN.
- NEW FIRE HYDRANT, NIC.
- EXISTING RELOCATED FIRE HYDRANT, NIC.
- NEW CROSSWALK, PROVIDE STRIPING ON ASPHALT DRIVE AS SHOWN.
- EXISTING PORTABLE TO REMAIN, PROTECT DURING CONSTRUCTION.
- NEW CHAIN-LINK FENCE, SEE DETAIL C1/AS504.
- PROVIDE NEW OPENING IN EXISTING FENCE AT NEW SIDEWALK.
- PROVIDE "FIRE LANE, NO PARKING" RED CURB WITH WHITE LETTERING AS INDICATED BY DASHED LINE AT EXISTING AND NEW CURB.
- HANDICAP PARKING DROP-OFF ZONE.
- 3' X 4' UNDERGROUND TELE. PA FA BOX.
- NEW METAL FENCE WITH 12'-0" GATE FOR MAINTENANCE ACCESS.
- EXISTING 2" WATER METER.
- NEW ASPHALT PATH PAVING. SEE DETAIL A5/AS501.
- FUTURE LOCATION FOR PORTABLE BUILDING.
- EXISTING CONCRETE COURTS TO BE REPAINTED TO MATCH NEW.
- NEW CONCRETE MOW STRIP/EDGER, SEE DETAIL E1/AS501.
- HANDICAP PARKING SIGN, SEE DETAILS C1 & E1/AS502.
- VAN ACCESSIBLE PARKING SIGN, SEE DETAILS C1 & E1/AS502.
- NEW BIKE RACKS SEE DETAIL MODEL #BRP3 IN GROUND MOUNT TYP. OF 18.
- NEW BOLLARD PIPE RAIL, SEE DETAIL E4/AS502.
- NEW PIPE GATE, SEE DETAIL A1/AS504 PER CITY DWG. 2251.
- NEW BENCH HEIGHT CONCRETE EDGER WALL. SEE DETAIL E2/AS501 & D4/AS501 SIM.
- NEW BENCH HEIGHT CONCRETE EDGER WALL WITH METAL FENCE, OFFSET FENCE SO BENCH IS STILL USABLE. D4/AS501 SIMILAR.
- PLAYGROUND CONTAINMENT WALL, SEE DETAIL D4/AS502.
- RAMP AT PLAYGROUND, SEE DETAILS A1 & B3/AS501.
- HOV PARKING SIGN TYP. OF 6, SEE DETAILS C1 & E1/AS502.
- MOTORCYCLE PARKING SIGN, SEE DETAILS C1 & E1/AS502.
- RELOCATED DUMPSTERS, TYP. OF 5.
- NEW METAL FENCE, SEE DETAIL A1 & A2/AS502.
- NEW LONG-JUMP SAND PIT, SEE DETAIL D1/AS504.
- ROLL OVER CURB, SIM. TO CITY DETAIL DWG. 2428.
- RELOCATED EXISTING BENCHES, TYP. OF 6.
- RELOCATED EXISTING TRASH RECEPTACLE, TYP. OF 3.
- EXISTING CROSS WALK LIGHT TO REMAIN.
- NEW BENCH HEIGHT CONCRETE EDGER WALL WO/FENCE, SIMILAR TO DETAIL E2/AS501.
- NEW SITE LIGHTING, SEE ELECTRICAL SITE PLAN.
- TRENCH DRAIN, SEE CIVIL.
- PIPE GATE OPEN POSITION STOP BOLLARD PER CITY DETAIL DWG. 2251.
- DUMPSTER ENCLOSURE PER CITY STANDARDS, SEE DETAIL E1 & E3/AS504 & C5/AS502.
- PROVIDE 6'-0" HANDICAP ACCESSIBLE RAMP AT NEW SIDEWALK AND CROSSWALK. RAMP SLOPE TO MEET ANSI 117.1-2003 STANDARDS.
- EXISTING SITE LIGHTING TO REMAIN. SEE ELECTRICAL SITE PLAN.
- PORTION OF EXISTING CMU WALL TO REMAIN.
- AREA FOR NEW HOPS/COTCH LAYOUTS, PROVIDE 3 OF EACH, SEE A6 AND B6 ON AS504.
- FUTURE CONCRETE WALKWAY.
- FUTURE ADA PARKING WITH SIGNAGE AND PARKING BLOCKS.
- FUTURE ACCESSIBLE WALKWAY.
- FUTURE ASPHALT & CURB WORK.
- PLAYAREA ACCESS RAMP - SEE DETAIL C6 OF AS501.
- NEW CONCRETE WITH PAINTED 4 SQUARE LAYOUT, DIMENSIONS & PLACEMENT TO BE CONFIRMED BY OWNER. JOINTS SIMILAR TO DETAIL C4/AS501.
- CONCRETE PARKING BLOCK WHERE PARKING SIGNAGE IS USED AND AT WALKWAYS - TYPICAL OF 15.
- PLAYAREA ACCESS RAMP - SEE DETAIL B6 OF AS501.
- EXISTING A "DO NOT ENTER" SIGN AT EGRESS POINT OF THE PARENT DROP OFF.
- EXISTING PAINTED CROSS WALK.
- NEW METAL FENCE WITH DOUBLE GATE FOR STUDENT ACCESS, SEE ENLARGED PLAN FOR DIMENSIONS.
- EXISTING END ISLANDS.
- NEW DRIVE PAD PER CITY DRAWING 2425.

CODE ANALYSIS PER IBC 2009  
NEW KINDERGARTEN BUILDING

ZONING per Bernalillo County Atlas page F-10-Z  
The site is zoned R-D. A school is a permissive use in an R-D Zone. See 14-16-2-14(A)(10).

ADDRESS  
Chaparral Elementary School  
6325 Milne Rd NW  
Albuquerque, NM 87120

DESCRIPTION  
Tracts A and B, Chaparral Elementary School, Albuquerque, NM as the same is shown and designated on the plat filed in office of the County Clerk of Bernalillo County, New Mexico on January 11, 2000, Book 200C, Page 9.

SITE SIZE 15.2 Acres

PARKING REQUIREMENTS

CARS	
Albuquerque Zoning Ordinance, Section 14-16-3-1(A)(29): One car space for each school employee.	
Anticipated number of employees	151*
*Parking Calculations	
Full-Time Staff	118
Part-Time Staff	15
Transient Staff	30-35
1/2 time on campus	15-18
Total Employees	148-151

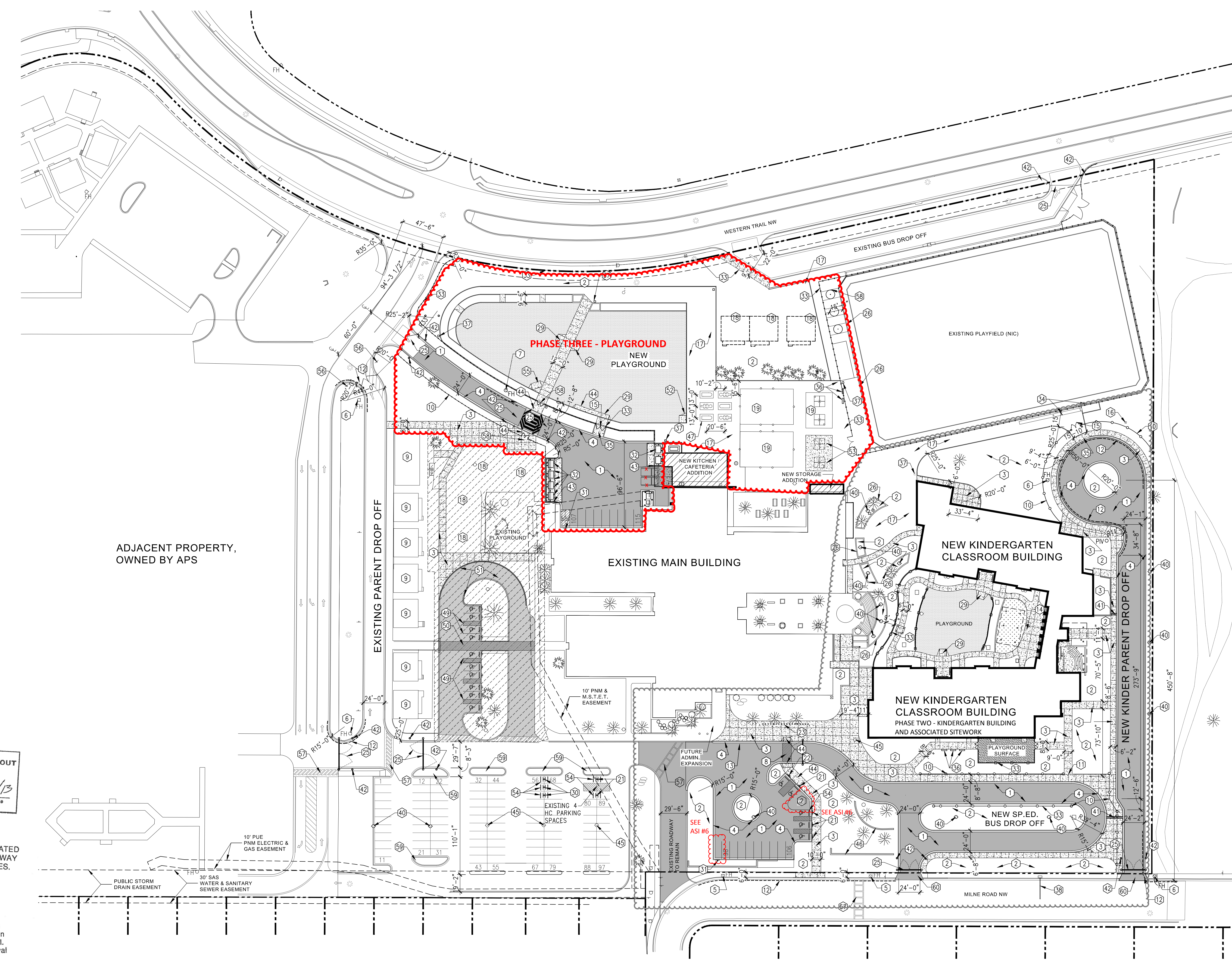
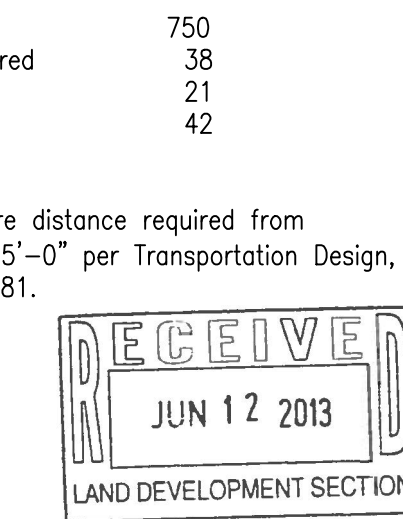
Number of parking spaces provided 166  
includes E & W Parent Parking  
32 additional spaces at non-peak hours  
and 9 HC spaces.

DISABLED PARKING SPACES  
Albuquerque Zoning Ordinance, Section 14-16-3-1(F)(9)(a)  
Required for 101-300 8  
Provided 9

MOTORCYCLES  
Albuquerque Zoning Ordinance, Section 14-16-3-1(C)(1)  
Required for 151-300 cars 5  
Provided 4

BICYCLES  
Albuquerque Zoning Ordinance, Section 14-16-3-1(B)(3b)  
One bicycle space for each 20 students.  
Anticipated Student Enrollment 750  
At 1:20, Bicycles spaces required 38  
Bike racks provided 21  
Bicycles spaces provided 42

LOCATION OF DRIVES  
The minimum approach and departure distance required from Intersection of two local streets is 25'-0" per Transportation Design, Chapter 23, August 2005, Page 23-81.



TRAFFIC CIRCULATION LAYOUT

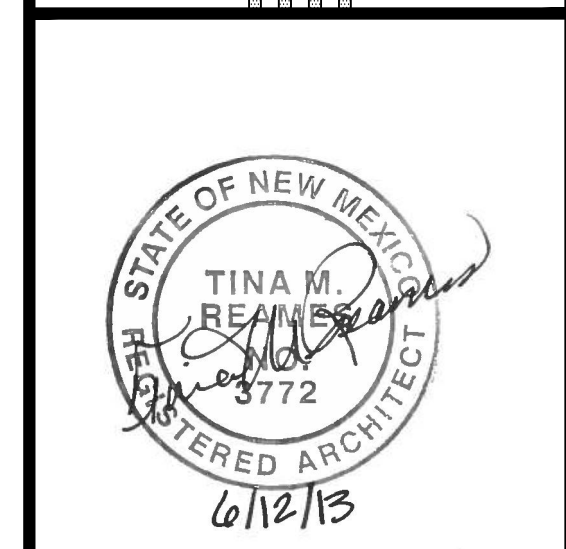
SCALE: 1" = 50'-0"

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
CLB  
Signed  
6/24/13  
Date

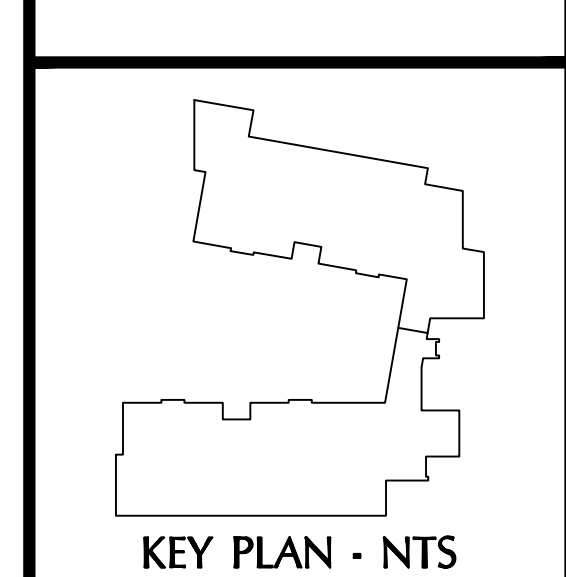
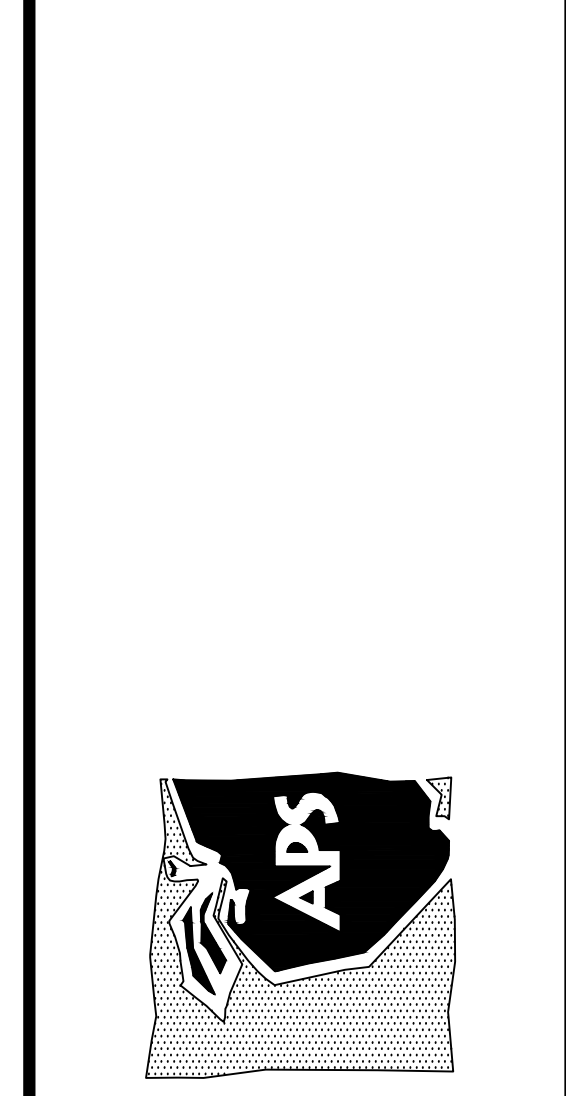
ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

CHERRY/SEE/REAMES  
ARCHITECTS, PC  
220 gold avenue sw albuquerque, nm 87102  
505 - 842 - 1278 fax 505 - 766 - 9269



Kindergarten / Classroom Building  
Chaparral Elementary School Addition  
6325 Milne Rd NW  
Albuquerque, NM 87120



KEY PLAN - NTS

MARK	DATE	DESCRIPTION
	4/1/2013	100% CD's
ISSUE:		

MANAGEMENT BLOCK  
PROJECT NO: CHAPARRAL  
CAD DWG FILE: CHAP AS101DWG  
DRAWN BY: TMR  
CHECKED BY:  
COPYRIGHT: Cherry/See/Reames PC, 2013

TITLE OF SHEET  
TRAFFIC  
CIRCULATION  
LAYOUT

SHEET NUMBER  
TCL101  
SHEET OF



**ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS**OWNER  
ARCHITECT  
CONTRACTOR  
FIELD  
OTHER

X
X

PROJECT: Chaparral Elementary School  
Additions - 6325 Milne Road NW  
Albuq., NM 87120

ARCHITECT'S  
SUPPLEMENTAL  
INSTRUCTION #105 REV2  
Playground Modifications

DATE OF ISSUANCE:  
July 8, 2015

OWNER: The Board of Education  
Albuquerque Public Schools  
6400 Uptown Blvd. NE  
Albuq., NM 87110

APS PROJ. NO.: 0234.5107.31141

PSFA: P12-003

TO: Shumate Constructors, Inc.  
8200 Venice Avenue NE  
Albuq., NM 87122

ARCHITECT: Cherry / See / Reames Architects, PC  
220 Gold Avenue SW  
Albuq., NM 87102

CONTRACT FOR: CONSTRUCTION

ARCHITECT'S PROJECT CODE: CHAPARRAL

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

Description:

Modify the Main Playground per the attached sketch.

Summary of changes:

1. Move the Playground six (6) feet north to avoid the existing electrical pullbox.
2. Widen sidewalk on the south side of the Playground from 8' to 12'.

Contractor to have their surveyor confirm that the northward shift of the playground does NOT cause the northernmost paving to encroach into the utility easement along Western Trail. If it does, the Contractor needs to notify the architects so that this MCR can be modified to avoid that encroachment.

Attachments:

AS 402 REV2 Enlarged Site Plan (30"x42") – Playground with dimension modifications

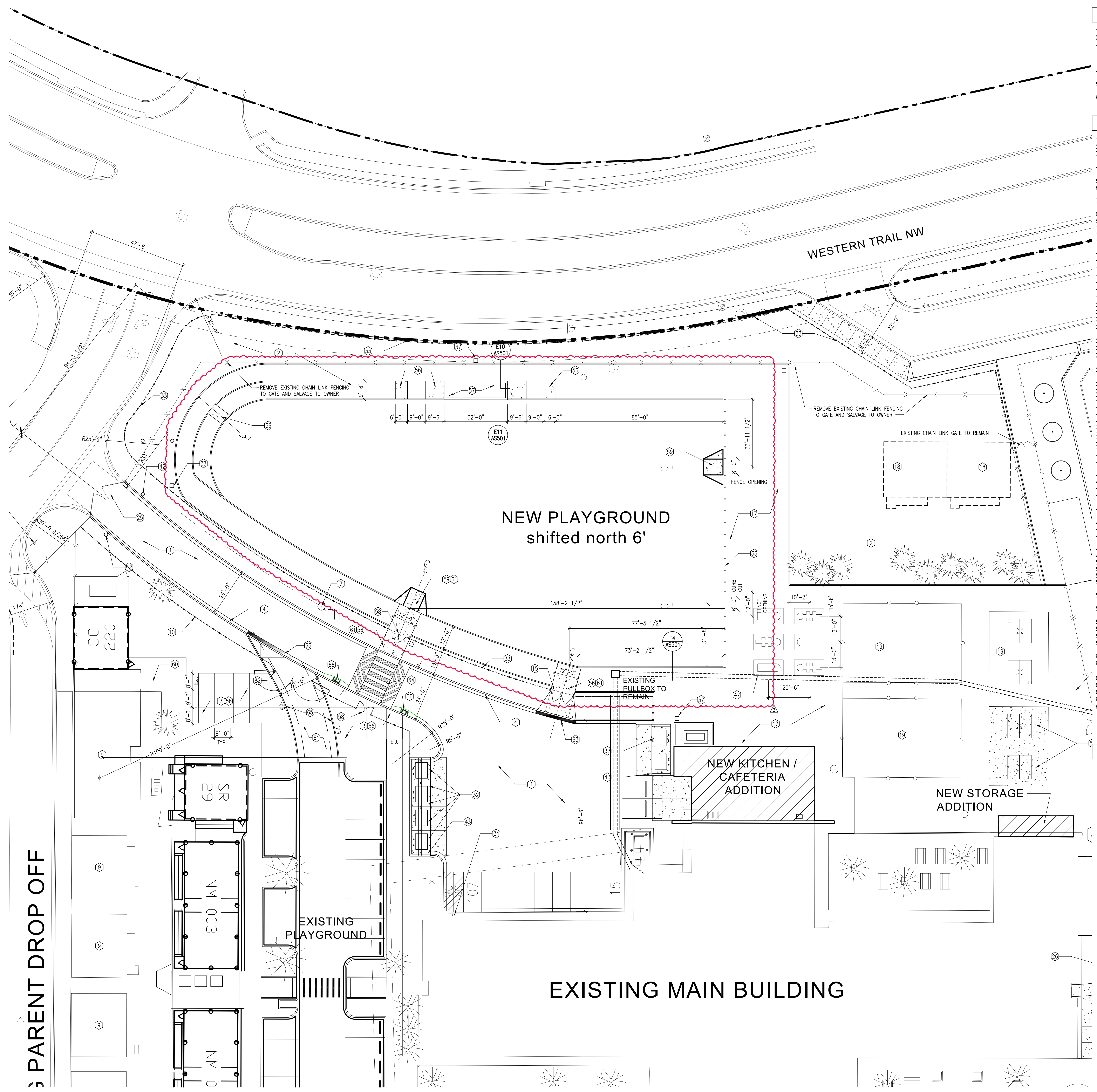
ISSUED:

ACCEPTED:

BY: Marie Shaver Holloway  
Project Manager

BY: \_\_\_\_\_  
Contractor Date





GENERAL SHEET NOTES

1. REFER TO SHEET A001 FOR GENERAL ARCHITECTURAL INFORMATION.
2. REFER TO SHEET AS102 FOR SITE DIMENSIONS.
3. REFER TO SHEET AS401 FOR DIMENSIONS AND ADDITIONAL NOTES.
4. BRING ANY DISCREPANCIES BETWEEN THE CIVIL, DEMOLITION, AND ARCHITECTURAL SITE PLANS TO THE ARCHITECT'S ATTENTION PRIOR TO BEGINNING WORK IN THE AREA IN QUESTION.
5. COORDINATE WITH SHEET AS011.
6. EXISTING VEGETATION TO REMAIN UNLESS NOTED OTHERWISE.
7. WHERE EXISTING SIDEWALK IS IN POOR CONDITION, REMOVE & REPLACE THAT PORTION OF CONCRETE.
8. ALL RESURFACED PAVING AND PARKING WITH NEW SIGNAGE SHALL BE STRIPED AS PER PLAN.

KEYED NOTES

1. NEW ASPHALT ROAD PAVING. SEE DETAIL A4/AS501.
2. NEW LANDSCAPING. NIC.
3. NEW CONCRETE SIDEWALK PER DETAIL C4/AS501. COORDINATE WITH CIVIL DWG.
4. NEW CONCRETE CURB AND GUTTER PER DETAIL E3/AS501, TYP. COORDINATE WITH CIVIL DWG.
5. EXISTING FIRE HYDRANT TO REMAIN.
6. NEW FIRE HYDRANT. NIC.
7. NEW FIRE HYDRANT. NIC. COORDINATE WITH ALTOR.
8. NEW CROSSWALK. PROVIDE STRIPING ON ASPHALT DRIVE AS SHOWN.
9. EXISTING PORTABLE TO REMAIN. PROTECT DURING CONSTRUCTION.
10. NEW CHAIN-LINK FENCE, SEE DETAIL C1/AS504.
11. PROVIDE NEW OPENING IN EXISTING FENCE AT NEW SIDEWALK.
12. PROVIDE "FIRE LANE, NO PARKING" RED CURB WITH WHITE LETTERING AS INDICATED BY DASHED LINE AT EXISTING AND NEW CURB.
13. HANDICAP PARKING DROP-OFF ZONE.
14. 3' X 4' UNDERGROUND TELE PA FA BOX.
15. NEW METAL FENCE WITH 12'-0" GATE FOR MAINTENANCE ACCESS.
16. EXISTING 2" WATER METER.
17. NEW ASPHALT PATH PAVING. SEE DETAIL A5/AS501.
18. FUTURE LOCATION FOR PORTABLE BUILDING.
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21. HANDICAP PARKING SIGN, SEE DETAILS C1 & E1/AS502.
22. VAN ACCESSIBLE PARKING SIGN, SEE DETAILS C1 & E1/AS502.
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27. NEW BENCH HEIGHT CONCRETE EDGER WALL WITH METAL FENCE, OFFSET FENCE SO BENCH IS STILL USABLE. D4/AS501 SIMILAR.
28. PLAYGROUND CONTAINMENT WALL, SEE DETAIL D4/AS502.
29. RAMP AT PLAYGROUND, SEE DETAILS A1 & B3/AS501.
30. HOV PARKING SIGN TYP. OF 6, SEE DETAILS C1 & E1/AS502.
31. MOTORCYCLE PARKING SIGN, SEE DETAILS C1 & E1/AS502.
32. RELOCATED DUMPSTERS, TYP. OF 5.
33. NEW METAL FENCE, SEE DETAIL A1 & A2/AS502.
34. NEW LONG-JUMP SAND PIT, SEE DETAIL D1/AS504.
35. ROLL OVER CURB, SIM. TO CITY DETAIL DWG. 2428.
36. RELOCATED EXISTING BENCHES. TYP. OF 6.
37. RELOCATED EXISTING TRASH RECEPTACLE. TYP. OF 3.
38. EXISTING CROSS WALK LIGHT TO REMAIN.
39. NEW BENCH HEIGHT CONCRETE EDGER WALL WO/FENCE, SIMILAR TO DETAIL E2/AS501.
40. NEW SITE LIGHTING, SEE ELECTRICAL SITE PLAN.
41. TRENCH DRAIN, SEE CIVIL.
42. PIPE GATE OPEN POSITION STOP BOLLARD PER CITY DETAIL DWG. 2251.
43. DUMPSTER ENCLOSURE PER CITY STANDARDS, SEE DETAIL E1 & E3/AS504 & C5/AS502.
44. PROVIDE 6'-0" HANDICAP ACCESSIBLE RAMP AT NEW SIDEWALK AND CROSSWALK. RAMP SLOPE TO MEET ANSI 117.1-2003 STANDARDS.
45. EXISTING SITE LIGHTING TO REMAIN. SEE ELECTRICAL SITE PLAN.
46. PORTION OF EXISTING CMU WALL TO REMAIN.
47. AREA FOR NEW HOPSCOTCH LAYOUTS, PROVIDE 3 OF EACH. SEE A6 AND B6 ON AS504.
48. FUTURE CONCRETE WALKWAY.
49. FUTURE ADA PARKING WITH SIGNAGE AND PARKING BLOCKS.
50. FUTURE ACCESSIBLE WALKWAY.
51. FUTURE ASPHALT & CURB WORK.
52. PLAY AREA ACCESS RAMP - SEE DETAIL C6 OF AS501.
53. NEW CONCRETE WITH PAINTED 4 SQUARE LAYOUT. DIMENSIONS & PLACEMENT TO BE CONFIRMED BY OWNER.
54. CONCRETE PARKING BLOCK WHERE PARKING SIGNAGE IS USED AND AT WALKWAYS - TYPICAL OF 15.
55. PLAY AREA ACCESS RAMP - SEE DETAIL B6 OF AS501.
56. NEW CONCRETE SIDEWALK, SEE APS STD. DTL. P-201.
57. RAISED PLANTER, SEE DETAIL E10 & E11/AS501.
58. 8'-0" GATE FOR PEDESTRIAN ACCESS. SEE DTL. C2/AS-504.
59. NEW HC RAMP TO PLAYGROUND, SEE APS STANDARD SITE DETAILS P601A & P601B WITH MODIFIED DIMENSIONS.
60. EXISTING ASPHALT PAVEMENT.
61. 6" THICK, 4,000 PSI CONCRETE WITH 6" X 6" X 6 GA. W.W.M. OVER 6" BASE COURSE OVER 12" COMPACTED (95%) SUBGRADE.
62. ROLLING CHAIN LINK GATE - DTL. C2/AS-504 SIM.
63. MOUNTABLE CURB AND GUTTER, SEE APS STANDARD SITE DETAIL P-106.
64. RAISED PEDESTRIAN CROSSWALK - SEE E4 & E5 / AS504 (ASI #47).
65. INTEGRALLY COLORED (RED) HEADER CURB, SEE APS STD. DTL. P-103.
66. DRAIN INLET, SEE CIVIL DRAWINGS IN ASI #47.

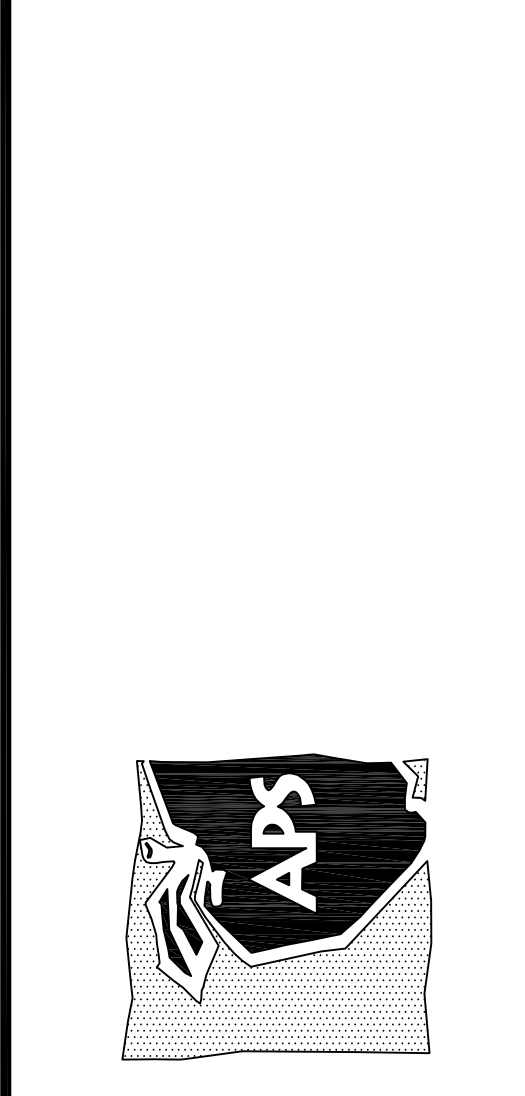
LEGEND

- NEW CONCRETE
- NEW ASPHALT AT PATH PAVING
- NEW ASPHALT AT ROAD PAVING
- GRASS
- PLAYGROUND - 16" MIN COMPACTED ENGINEERED WOOD FIBER MULCH, NIC
- EXISTING BUILDING
- ADDITIONS
- FUTURE WORK
- CHAIN LINK FENCE
- FENCE OTHER - SEE DETAIL CALLOUTS OR KEYNOTES
- EXISTING FENCE TO REMAIN
- CURB TO BE PAINTED AT FIRELANE
- PERFORATED METAL SHEET AT FENCING
- E.J. EXPANSION JOINT

CHERRY/SEE/REAMES  
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STATE OF NEW MEXICO  
TINA M. CHERRY  
REGISTERED ARCHITECT  
NO. 3772  
7/08/15

Chaparral Elementary School Addition  
6325 Milne Rd NW  
Albuquerque, NM 87120



KEY PLAN  
NOT REQUIRED

MARK	DATE	DESCRIPTION
7/8/2015	ASI #105 REV	
5/14/2015	ASI #105	
4/7/2013	100% CD SUBMITTAL	

ISSUE
MANAGEMENT BLOCK
PROJECT NO: CHAPARRAL
CAD DWG FILE: CHAP AS101DWG
DRAWN BY: TMR
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TITLE OF SHEET  
ENLARGED  
SITE PLAN  
PLAYGROUND

SHEET NUMBER  
AS402  
SHEET OF

ENLARGED SITE PLAN - MAIN PLAYGROUND

SCALE 1" = 20'-0"