CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

December 12, 2014

Tina Reames, R.A. Cherry See Reames Architects 220 Gold Ave SW Albuquerque, NM 87102

Re: Chaparral Elementary Kindergarten Classroom, 6325 Milne Rd NW Submittal for Certificate of Occupancy – Transportation Development Architect's Stamp dated 03/12/13 (F10D005A) Certification dated 12/08/2014

Dear Ms. Reames,

The Letter of Certification submitted on 12/09/2014 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

PO Box 1293

• All drive aisles must be free of construction equipment and storage containers prior to release of Certificate of Occupancy.

Albuquerque

• Construction fencing must be removed from site prior to release of Certificate of Occupancy.

New Mexico 87103

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos and PDF files to <u>rmichel@cabq.gov</u> or <u>mortiz@cabq.gov</u> prior to submittal. If you have any questions, please contact me at (505) 924-3991.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E. Traffic Engineer, Planning Dept. Development Review Services

C: File

TRAFFIC CERTIFICATION

I, TINA REAMES, NEW MEXICO REGISTERED ARCHITECT, OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TINA REAMES OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 8, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

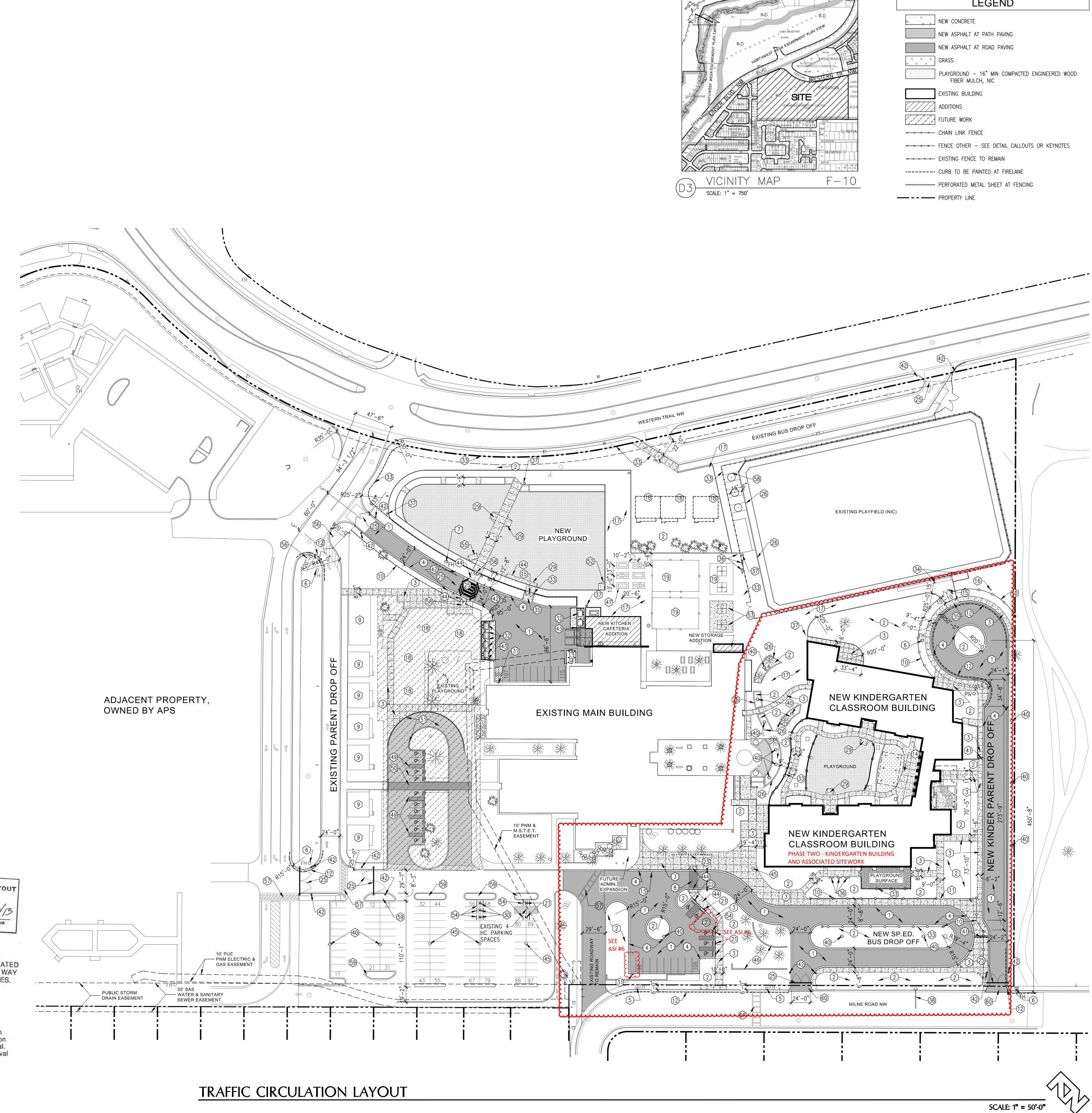


220 gold avenue sw, albuquerque, nm 87102 505-842-1278 fax 505-766-9269

Pla Development	F Albuquerqu nning Department & Building Services Divi NSPORTATION INFORMA (REV 02/2013)	sion	
Project Title: <u>CHAPARRAL ELEM. SCH</u> DRB#:EPC#: Legal Description: LOT B - Chapara City Address: <u>6325</u> MILNE RO	Elem School 3	City Drainage #: Work Order#: WH 81120	
Engineering Firm:Address:	·	Contact:	
Phone#: Fax#:		E-mail:	
Owner: <u>AUBUG-PUBUC SCHOOL</u> Address: 915 OAK STREET	'S	Contact: <u>PAVID RITCHEY</u>	
Phone#: 848-897 Fax#:		E-mail: ritchey- ceaps. edu	
Architect: <u>CHERRY</u> SEE REAM Address: <u>220</u> COLD AVENUE	-SW	Contact: MARIE HOUOWAY	
Phone#: <u>842-1278</u> Fax#: Surveyor:	766-9269 C	E-mail: <u>msholloway</u> henry see reames, com	
Address:			
Phone#: Fax#:		E-mail:	
THOMPOOR CONST	FRUCTION	DETINIC THEMPERAL	
	LBUR, NM 9712	Contact: DENNIS THOMPSON	
Phone#: 823-1218 Fax#:	850-1375	E-mail: d+hompson@shunge.	
TYPE OF SUBMITTAL:		AL/ACCEPTANCE SOUGHT:	
DRAINAGE REPORT SIA/FINANCIAL GUARAN			
DRAINAGE PLAN Ist SUBMITTAL PRELIMINARY PLAT APPROVAL			
DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL			
CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL			
GRADING PLANSECTOR PLAN APPROVAL			
EROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL ENGINEER'S CERT (HYDROLOGY) FINAL PLAT APPROVAL CERTIFICATE OF OCCUPANCY (PERM)			
CLOMR/LOMR			
TRAFFIC CIRCULATION LAYOUT (TCL)			
	IGINEER'S CERT (TCL) BUILDING PERMIT APPROVAL		
ENGINEER'S CERT (DRB SITE PLAN)			
ENGINEER'S CERT (ESC)			
SO-19 WORK ORDER APPROVAL			
OTHER (SPECIFY)	GRADING CERTIFICATIO		
WAS A PRE-DESIGN CONFERENCE ATTENDED: DATE SUBMITTED: $12 - 9 - 2014$	Yes No C	aver Holloway	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal The particular nature for action, and scope to the proposed development defines the degree of drainage detail One or more of the following levels of submittal may be required based on the followin 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans 2. Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres

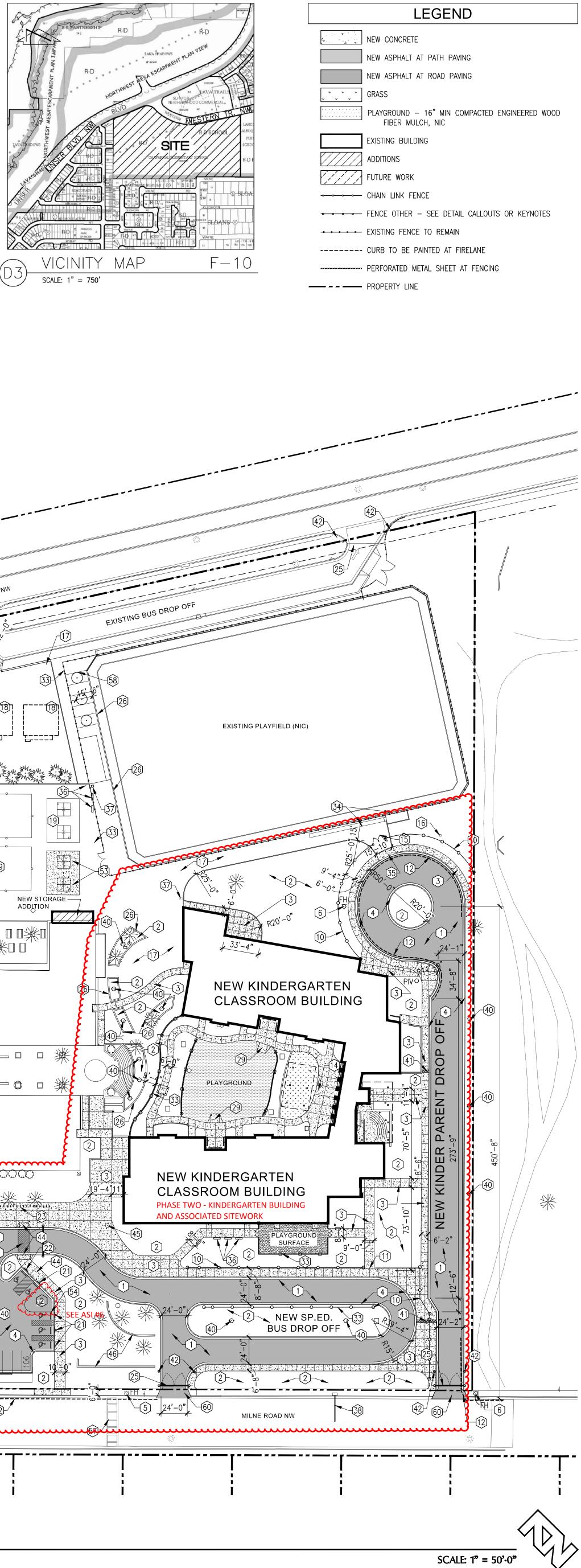
- 3.
- Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including 4. project less than 1-acre than are part of a larger common plan of development



TRAFFIC CIRCULATION LAYOUT 12413 Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

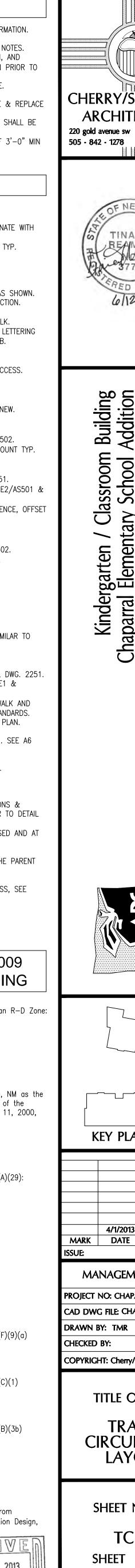


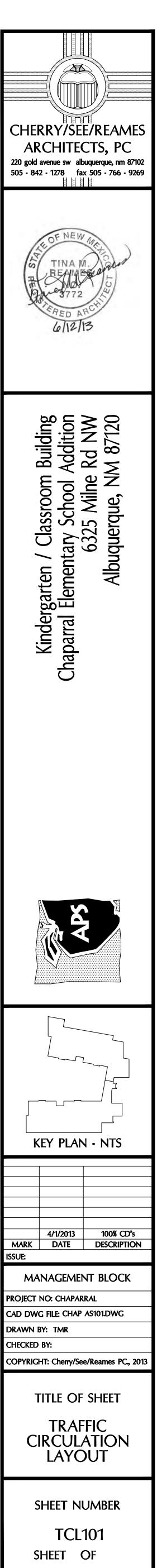
	GENERAL SHEET NOTES
1. 2. 3.	REFER TO SHEET A001 FOR GENERAL ARCHITECTURAL INFORMA REFER TO SHEET AS102 FOR SITE DIMENSIONS. REFER TO SHEET AS401 FOR DIMENSIONS AND ADDITIONAL NOT BRING ANY DISCREPANCIES BETWEEN THE CIVIL, DEMOLITION, AN ARCHITECTURAL SITE PLANS TO THE ARCHITECT'S ATTENTION PF
4.	BEGINNING WORK IN THE AREA IN QUESTION. EXISTING VEGETATION TO REMAIN UNLESS NOTED OTHERWISE. COORDINATE WITH SHEET ASO11.
5. 6.	WHERE EXISTING SIDEWALK IS IN POOR CONDITION, REMOVE & THAT PORTION OF CONCRETE. ALL RESURFACED PAVING AND PARKING WITH NEW SIGNAGE SH
7.	STRIPED AS PER PLAN. ALL NEW AND EXISTING SIDEWALKS TO HAVE A MINIMUM OF 3' CLEAR SIDEWALK AROUND FIRE HYDRANTS.
8.	TYPICAL PAKING SPACES ARE 9' X 20'. 6/20/13 F.A.
\bigcirc	KEYED NOTES
1. 2. 3.	NEW ASPHALT ROAD PAVING. SEE DETAIL A4/AS501. NEW LANDSCAPING. NIC. NEW CONCRETE SIDEWALK PER DETAIL C4/AS501. COORDINATE
4.	CIVIL DWGS. NEW CONCRETE CURB AND GUTTER PER DETAIL E3/AS501, TYP COORDINATE WITH CIVIL DWG.
5. 6. 7.	EXISTING FIRE HYDRANT TO REMAIN. NEW FIRE HYDRANT. NIC. EXISTING RELOCATED FIRE HYDRANT. NIC.
8. 9. 10.	NEW CROSSWALK. PROVIDE STRIPING ON ASPHALT DRIVE AS S EXISTING PORTABLE TO REMAIN. PROTECT DURING CONSTRUCTIONEW CHAIN-LINK FENCE, SEE DETAIL C1/AS504.
10. 11. 12.	PROVIDE NEW OPENING IN EXISTING FENCE AT NEW SIDEWALK. PROVIDE "FIRE LANE, NO PARKING" RED CURB WITH WHITE LET
13. 14.	AS INDICATED BY DASHED LINE AT EXISTING AND NEW CURB. HANDICAP PARKING DROP-OFF ZONE. 3' X 4' UNDERGROUND TELE PA FA BOX.
15. 16. 17.	NEW METAL FENCE WITH 12'-O" GATE FOR MAINTENANCE ACCE EXISTING 2" WATER METER. NEW ASPHALT PATH PAVING. SEE DETAIL A5/AS501.
18. 19.	FUTURE LOCATION FOR PORTABLE BUILDING. EXISTING CONCRETE COURTS TO BE REPAINTED TO MATCH NEW
20. 21. 22.	NEW CONCRETE MOW STRIP/EDGER, SEE DETAIL E1/AS501. HANDICAP PARKING SIGN, SEE DETAILS C1 & E1/AS502. VAN ACCESSIBLE PARKING SIGN, SEE DETAILS C1 & E1/AS502
23. 24.	NEW BIKE RACKS SEE DETAIL MODEL #BRP3 IN GROUND MOUN OF 18. NEW BOLLARD PIPE RAIL, SEE DETAIL E4/AS502.
24. 25. 26.	NEW PIPE GATE, SEE DETAIL A1/AS504 PER CITY DWG. 2251. NEW BENCH HEIGHT CONCRETE EDGER WALL. SEE DETAIL E2/
27.	D4/AS501 SIM. NEW BENCH HEIGHT CONCRETE EDGER WALL WITH METAL FENC FENCE SO BENCH IS STILL USABLE. D4/AS501 SIMILAR.
28. 29. 30.	
31. 32.	MOTORCYCLE PARKING SIGN, SEE DETAILS C1 & E1/AS502. RELOCATED DUMPSTERS, TYP. OF 5.
33. 34. 35.	NEW METAL FENCE, SEE DETAIL A1 & A2/AS502. NEW LONG-JUMP SAND PIT, SEE DETAIL D1/AS504. ROLL OVER CURB, SIM. TO CITY DETAIL DWG. 2428.
36. 37. 38.	
	NEW BENCH HEIGHT CONCRETE EDGER WALL WO/FENCE, SIMILA DETAIL E2/AS501. NEW SITE LIGHTING, SEE ELECTRICAL SITE PLAN.
41. 42.	TRENCH DRAIN, SEE CIVIL.
43. 44.	E3/AS504 & C5/AS502. PROVIDE 6'-0" HANDICAP ACCESSIBLE RAMP AT NEW SIDEWALK
45. 46.	
47. 48.	AREA FOR NEW HOPSCOTCH LAYOUTS, PROVIDE 3 OF EACH. SI AND B6 ON AS504. FUTURE CONCRETE WALKWAY.
49. 50. 51.	FUTURE ACCESSIBLE WALKWAY.
52. 53.	
54.	C4/AS501.
55. 56.	PLAYAREA ACCESS RAMP - SEE DETAIL B6 OF AS501. EXISTING A "DO NOT ENTER" SIGN AT EGRESS POINT OF THE F
57. 58.	NEW METAL FENCE WITH DOUBLE GATE FOR STUDENT ACCESS,
59. 60.	
	CODE ANALYSIS PER IBC 200 NEW KINDERGARTEN BUILDIN
	NING per Bernalillo County Atlas page F-10-Z
	The site is zoned R—D. A school is a permissive use in an f See 14—16—2—14(A)(1a).
ADL	DRESS Chaparral Elementary School 6325 Milne Rd NW Albuquerque, NM 87120
DES	SCRIPTION Tracts A and B, Chaparral Elementary School, Albuquerque, N same is shown and desginated on the plat filed in office of County Clerk of Bernalillo County, New Mexico on January 11, Book 200C, Page 9.
SITE	E SIZE 15.2 Acres
PAF	R <mark>KING REQUIREMENTS <u>CARS</u> Albuquerque Zoning Ordinance, Section 14-16-3-1(A)(2</mark>
	One car space for each school employee.
	Anticipated number of employees 151* *Parking Calculations Full—Time Staff — 118 Part—Time Staff — 15
	Transient Staff – 30-35 <u>1/2 time on campus 15-18</u> Total Employees 148-151

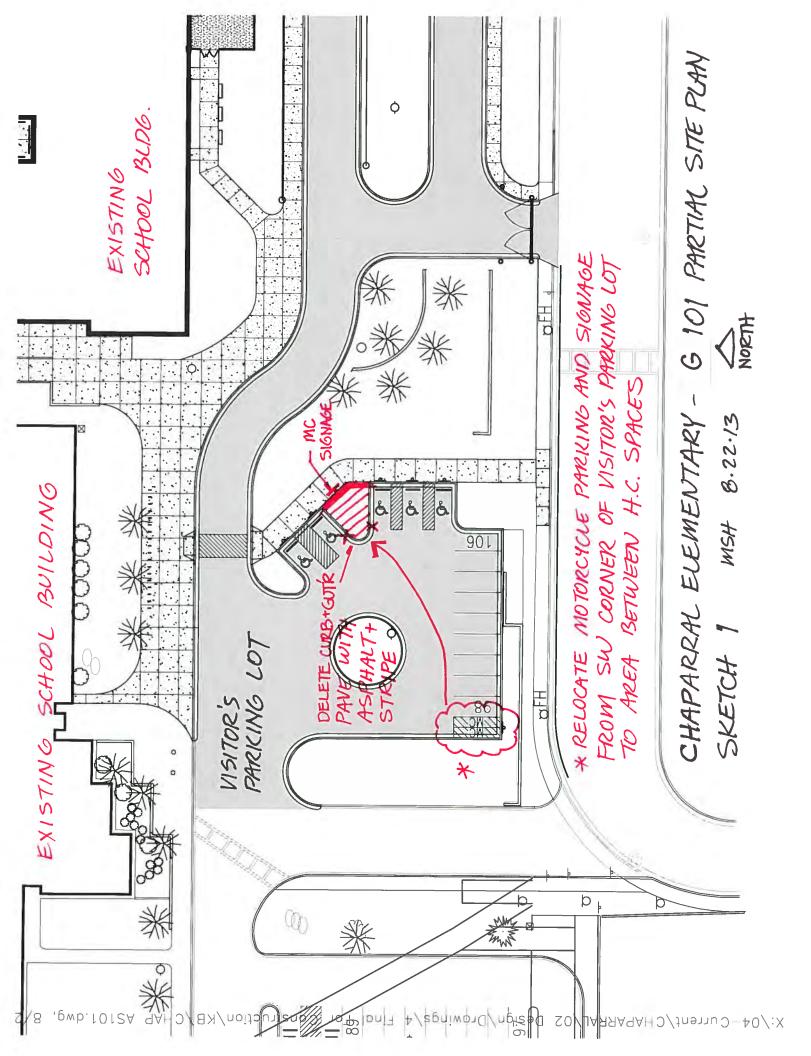
Total Employees 148–151 Number of parking spaces provided 166 includes E & W Parent Parking — 32 additional spaces at non-peak hours and 9 HC spaces. DISABLED PARKING SPACES Albuquerque Zoning Ordinance, Section 14-16-3-1(F)(9)(a)Required for 101-300 Provided MOTORCYCLES Albuquerque Zoning Ordinance, Section 14-16-3-1(C)(1) Required for 151-300 cars 5 Provided <u>BICYCLES</u> Albuquerque Zoning Ordinance, Section 14-16-3-1(B)(3b) One bicycle space for each 20 students. 750 Anticipated Student Enrollment At 1:20, Bicycles spaces required 38 Bike racks provided Bicycles spaces provided 42 LOCATION OF DRIVES The minimum approach and departure distance required from

Intersection of two local streets is 25'-0" per Transportation Design, Chapter 23, August 2005, Page 23-81.









cherry/see/reames architects PC

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER ARCHITECT CONTRACTOR FIELD OTHER

- PROJECT: Chaparral Elementary School Additions - 6325 Milne Road NW Albuq., NM 87120
- OWNER: The Board of Education Albuquerque Public Schools 6400 Uptown Blvd. NE Albug., NM 87110
- TO: Shumate Constructors, Inc. 8200 Venice Avenue NE Albug., NM 87122

ARCHITECT'S SUPPLEMENTAL INSTRUCTION # 6 Visitor parking DATE OF ISSUANCE: August 22, 2013

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APS PROJ. NO.: 0234.5107.31141

PSFA: P12-003

ARCHITECT: Cherry / See / Reames Architects, PC 220 Gold Avenue SW Albuq., NM 87102

CONTRACT FOR: CONSTRUCTION

ARCHITECT'S PROJECT CODE: CHAPARRAL

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

Description:

The program requested 10 visitor parking spaces, but only 9 are provided. Convert the 2 motorcycle spaces to the 10th visitor parking space, and relocate motorcycle parking and signage to the area between the handicap parking. Realign curb and gutter to allow access for motorcycles, asphalt pave and stripe this area as shown on the attached sketch.

Attachments: G-101 PARTIAL SITE PLAN – SKETCH 1

ISSUED:	ACCEPTED:	
BY: Marie Shaver Holloway Project Manager	BY: Contractor	Date