



**Planning Department
Transportation Development Services**

December 12, 2014

Tina Reames, R.A.
Cherry See Reames Architects
220 Gold Ave SW
Albuquerque, NM 87102

Re: Chaparral Elementary Kindergarten Classroom, 6325 Milne Rd NW
Submittal for Certificate of Occupancy – Transportation Development
Architect's Stamp dated 03/12/13 (F10D005A)
Certification dated 12/08/2014

Dear Ms. Reames,

The Letter of Certification submitted on 12/09/2014 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

- All drive aisles must be free of construction equipment and storage containers prior to release of Certificate of Occupancy.
- Construction fencing must be removed from site prior to release of Certificate of Occupancy.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos and PDF files to rmichel@cabq.gov or mortiz@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: File

TRAFFIC CERTIFICATION

I, TINA REAMES, NEW MEXICO REGISTERED ARCHITECT, OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TINA REAMES OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 8, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

12/8/14
Date





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CHAPARRAL ELEM. SCHOOL Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT B - Chaparral Elem School subdivision

City Address: 6325 MILNE ROAD NW; ALBUQ. NM 87120

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: ALBUQ. PUBLIC SCHOOLS Contact: DAVID RITCHEY

Address: 915 OAK STREET

Phone#: 848-8876 Fax#: _____ E-mail: ritchey-d@aps.edu

Architect: CHERRY SEE REAMES ARCHITECTS Contact: MARIE HOLLOWAY

Address: 220 GOLD AVENUE SW

Phone#: 842-1278 Fax#: 766-9269 E-mail: msholloway@cherryseereames.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: THOMPSON CONSTRUCTION Contact: DENNIS THOMPSON

Address: 8200 VENICE NE; ALBUQ. NM 87122

Phone#: 823-1218 Fax#: 856-1375 E-mail: dthompson@shumate.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

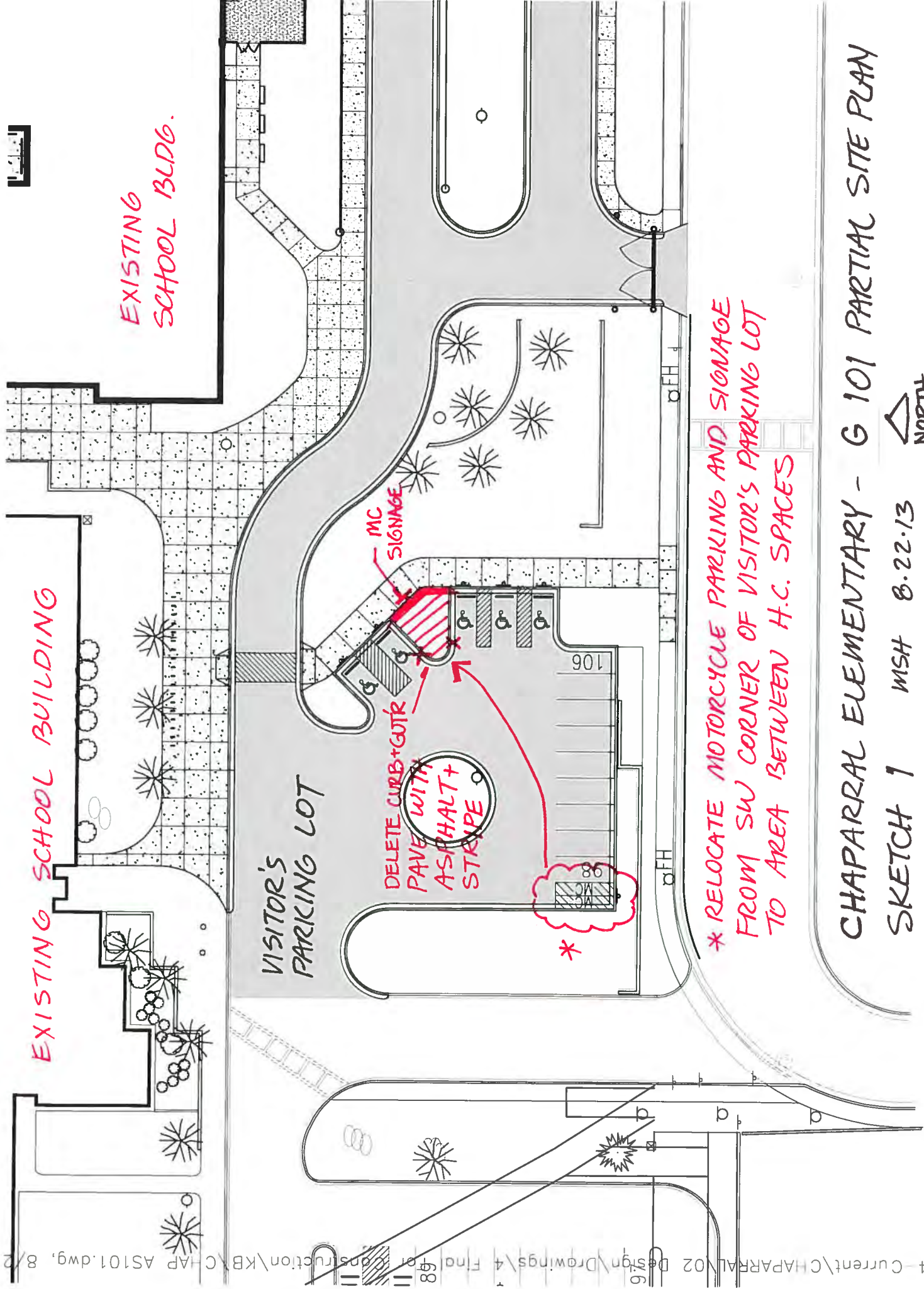
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes No Copy Provided

DATE SUBMITTED: 12-9-2014 By: Marie Shaver Holloway

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



EXISTING SCHOOL BLDG.

VISITOR'S PARKING LOT

MC SIGNAGE

DELETE CURB+GUTR PAVE WITH ASPHALT+ STRIPE

* RELOCATE MOTORCYCLE PARKING AND SIGNAGE FROM SW CORNER OF VISITOR'S PARKING LOT TO AREA BETWEEN H.C. SPACES

CHAPARRAL ELEMENTARY - G 101 PARTIAL SITE PLAN

SKETCH 1 MSH 8.22.13



NORTH

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

X
X

PROJECT: Chaparral Elementary School
Additions - 6325 Milne Road NW
Albuq., NM 87120

ARCHITECT'S
SUPPLEMENTAL
INSTRUCTION # ~~5~~ 6
Visitor parking

DATE OF ISSUANCE:
August 22, 2013

OWNER: The Board of Education
Albuquerque Public Schools
6400 Uptown Blvd. NE
Albuq., NM 87110

APS PROJ. NO.: 0234.5107.31141

PSFA: P12-003

TO: Shumate Constructors, Inc.
8200 Venice Avenue NE
Albuq., NM 87122

ARCHITECT: Cherry / See / Reames Architects, PC
220 Gold Avenue SW
Albuq., NM 87102

CONTRACT FOR: CONSTRUCTION

ARCHITECT'S PROJECT CODE: CHAPARRAL

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

Description:

The program requested 10 visitor parking spaces, but only 9 are provided. Convert the 2 motorcycle spaces to the 10th visitor parking space, and relocate motorcycle parking and signage to the area between the handicap parking. Realign curb and gutter to allow access for motorcycles, asphalt pave and stripe this area as shown on the attached sketch.

Attachments:

G-101 PARTIAL SITE PLAN – SKETCH 1

ISSUED:

ACCEPTED:

BY: Marie Shaver Holloway
Project Manager

BY: _____
Contractor Date