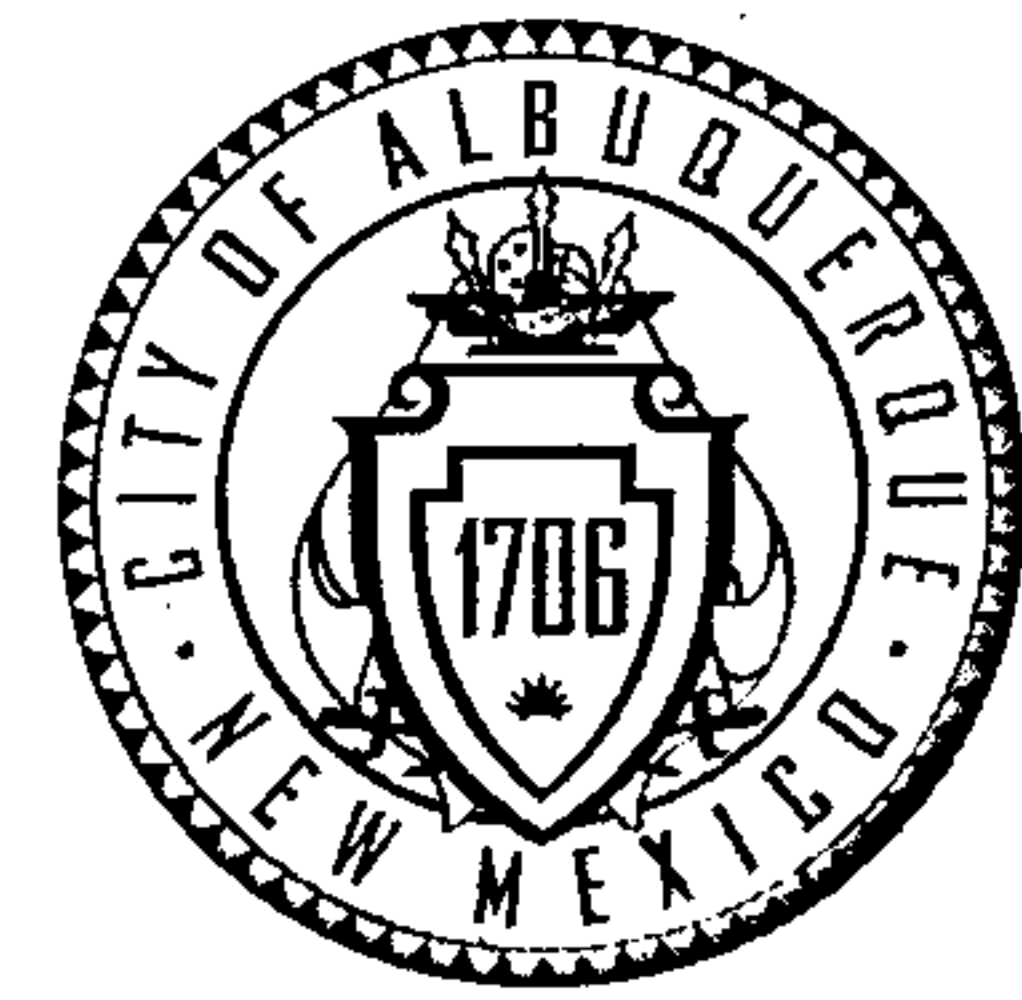


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



January ²⁶~~23~~, 2015

Jeffrey G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

Richard J. Berry, Mayor

**RE: NW Diagnostic Center @ Chaparral Elementary- 1700 Mae Ave. SW
Grading and Drainage Plan
Engineer's Stamp Date 12-18-2014 (File: F10D005A)**

Dear Mr. Mortensen:

Based upon the information provided in your submittal received 12-24-14, the above referenced Plan is approved for Building Permit.

Please attach a copy of the approved Grading Plan in the construction sets when submitting for a building permit.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

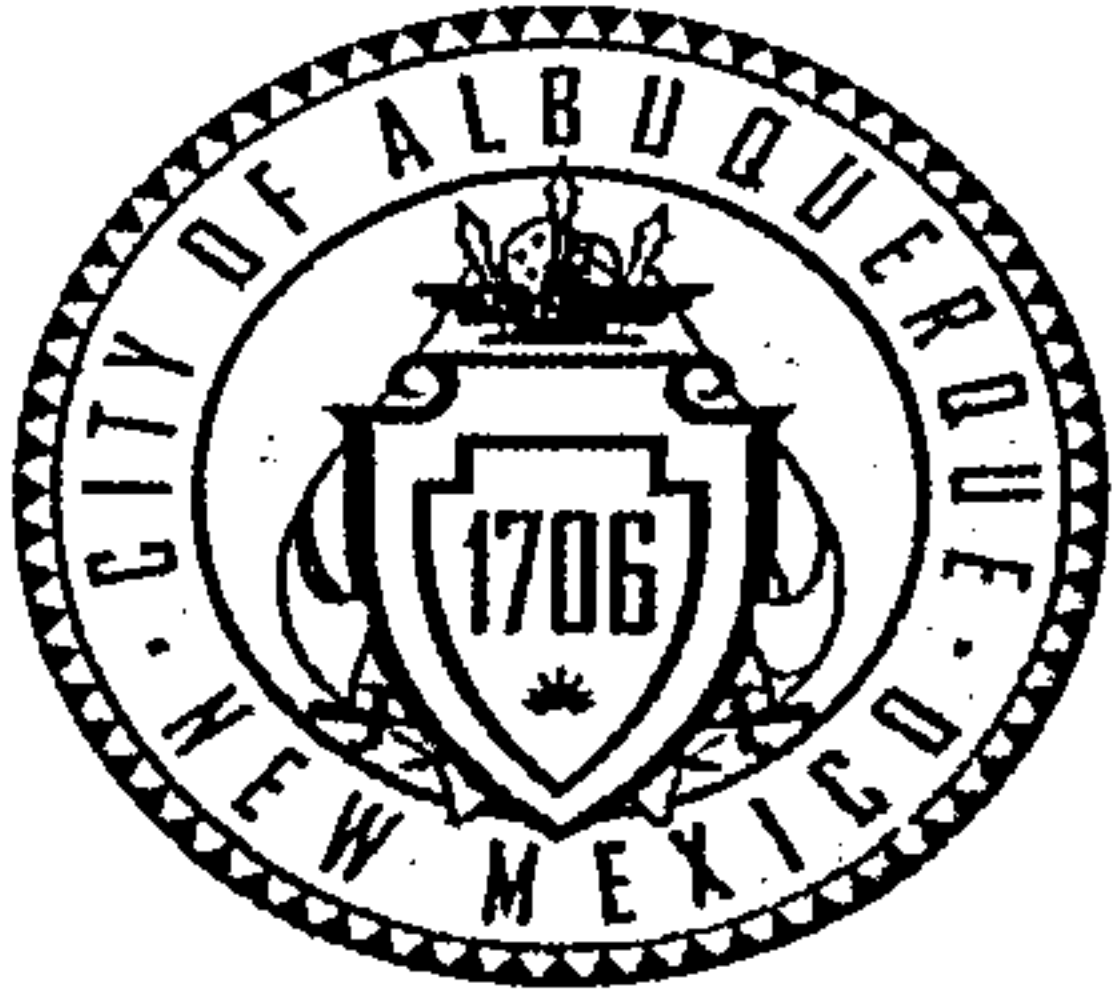
Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

New Mexico 87103

www.cabq.gov

Orig: Drainage file
c.pdf: via Email: Recipient, Monica Ortiz

*Free
D= 1.17 Ac.*



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

F10D005A

Project Title: NW DIAGNOSTIC CENTER @ CHAPARRAL ES Building Permit #: _____ City Drainage #: F10D001

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts A and B, Chaparral Elementary School

City Address: 6450 Western Trail NW

Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: Albuquerque Public Schools Contact: David Ritchey

Address: 915 Oak Street SE, 87106

Phone#: 975-5965 Fax#: _____ E-mail: ritchey d@aps.edu

Architect: Baker Architecture & Design Contact: Mark Baker

Address: 4200-B Lomas Blvd NE, Albuquerque NM 87110

Phone#: 505-254-4697 Fax#: _____ E-mail: markreabaker@gmail.com

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

Contractor: APS ON-CALL CONTRACTORS Contact: _____

Address: _____

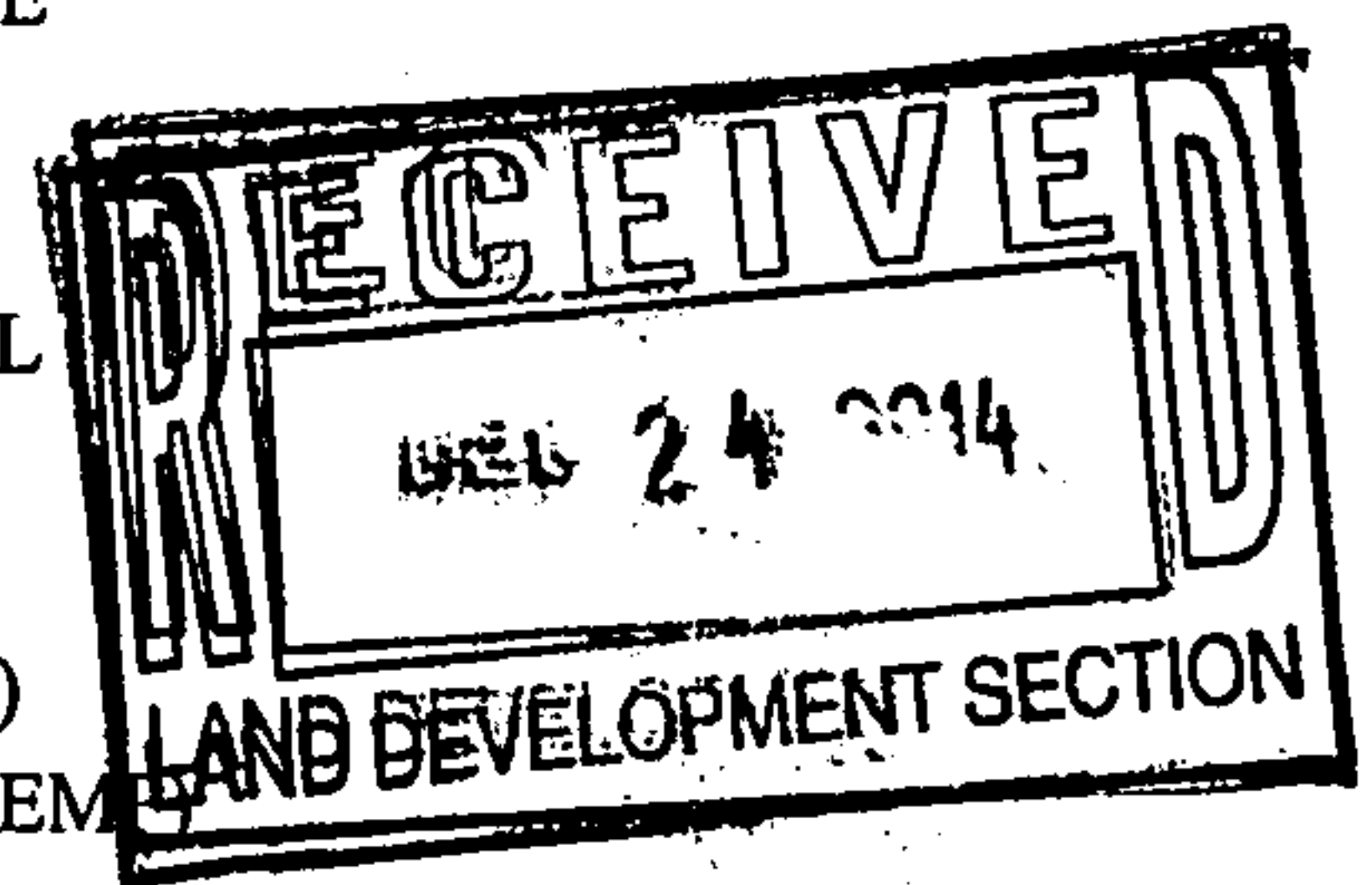
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT (DMP)
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (FLOODPLAIN DEVELOPMENT PERMIT) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 12-23-14 By: Justin Schara

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

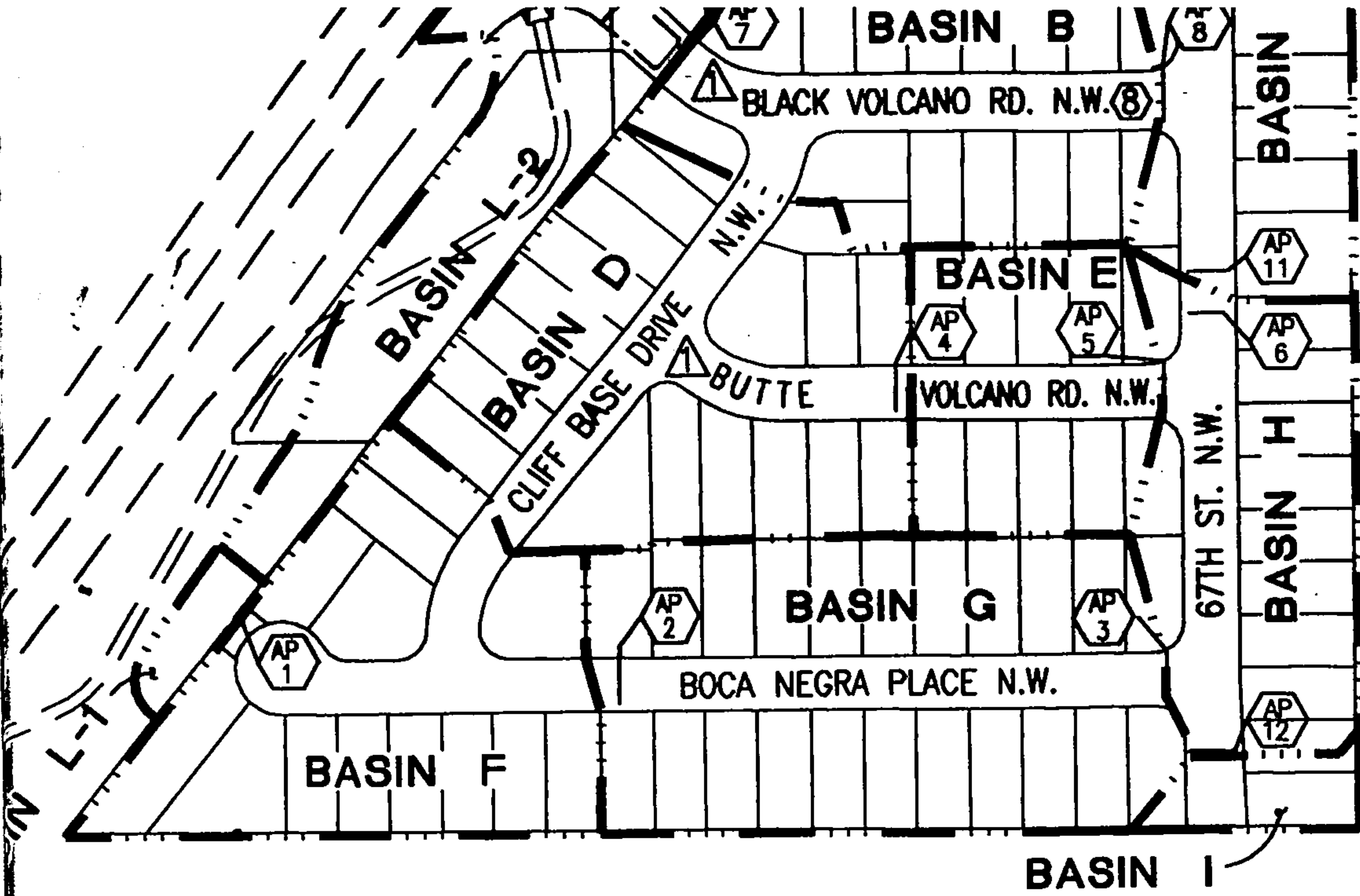
HOME CONSTRUCTION.

B. OFFSITE

THE EXISTING OFFSITE FLOWS FROM PUBLIC RIGHT-OF-WAY AND EXISTING LANDSCAPING IMPROVEMENTS TO THE WEST WILL BE ACCEPTED BY THE SITE AT THREE LOCATIONS. THESE LOCATIONS ARE SHOWN ON THE GRADING PLAN AS ANALYSIS POINTS AP-1, AP-7, AND AP-9 WITH FLOWS CONTRIBUTED BY BASINS L-1, L-2 AND L-3. (AS PREVIOUSLY INDICATED, THE DESIGNATED OUTFALL FOR DEVELOPED RUNOFF FROM THIS SITE IS POND 16-B) TO REACH THIS DESIGNATED OUTFALL, A PROPOSED OFFSITE PUBLIC STORM DRAIN WILL BE CONSTRUCTED WITHIN A PUBLIC DRAINAGE EASEMENT FROM THE POINT OF CONCENTRATION OF THIS SUBDIVISION ACROSS TRACTS A-1 AND B-1 (OUTLETTING TO POND 16-B). THE OUTLET STRUCTURE TO THE POND WILL BE DESIGNED AS PART OF THE WORK ORDER DRAWINGS. THE DRAINAGE EASEMENT WILL BE GRANTED VIA PLAT WITH THE CONCURRENCE OF APS WHICH OWNS BOTH TRACTS A-1 AND B-1. (THIS STORM DRAIN IS SIZED TO ACCEPT FULLY DEVELOPED DISCHARGE FROM THE PROPOSED SUBDIVISION AND FROM FUTURE DEVELOPMENT ON TRACT A-1). THE AFOREMENTIONED LOMR INCLUDES AN AHYMO ANALYSIS FOR POND 16-B WHICH ASSUMED FREE DISCHARGE OF FULLY DEVELOPED RUNOFF FROM THE SITE WITH 59.2 PERCENT IMPERVIOUS AREA. THIS IS CONSISTENT WITH THE PROPOSED DEVELOPMENT WHICH CONSERVATIVELY ASSUMES 60 PERCENT IMPERVIOUS LAND TREATMENT. FOR THE PURPOSES OF CALCULATING THE FULLY DEVELOPED DISCHARGE REQUIREMENT FOR THE OFFSITE STORM DRAIN, TRACT A-1 WAS CONSERVATIVELY ASSUMED TO DEVELOP AS MULTI-FAMILY ATTACHED RESIDENTIAL. TRACT B-1, CHAPARRAL ELEMENTARY SCHOOL, DRAINS DIRECTLY TO POND 16-B VIA INTERNAL PRIVATE STORM DRAIN, AND OVERLAND FLOW. THE PROPOSED STORM DRAIN THEREFORE IS NOT REQUIRED TO SERVE TRACT B-1, BUT IS SIZED FOR FUTURE DEVELOPMENT ON TRACT A-1.

GRADING PLAN:

IE GRADING PLAN ON SHEET 2 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY 'OT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS AS TAKEN FROM THE BOUNDARY AND IPOGRAPHIC SURVEY PREPARED BY JEFF MORTENSEN & ASSOCIATES, INC. DATED AUGUST 26, 99, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS, TOP OF CURB ELEVATIONS, OWLINE ELEVATIONS AND HOUSE PAD ELEVATIONS, 3) THE LIMIT AND CHARACTER OF THE ISTING IMPROVEMENTS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, 5) AIT AND CHARACTER OF EXISTING OFFSITE LANDSCAPING IMPROVEMENTS, 6) THE LIMITS OF OPOSED DRAINAGE BASINS, AND 7) THE REQUIRED LOCATIONS FOR RETAINING WALLS AND RDEN WALLS.



MAP WITH ANALYSIS POINTS

1" = 200'±

INDEX OF DRAWINGS

- COVER SHEET, DRAINAGE REPORT, VICINITY MAP,
- FIRM, INDEX OF DRAWINGS AND BASIN MAP
- CALCULATIONS AND BASIN MAP
- GRADING PLAN
- OFFSITE PUBLIC STORM DRAIN PLAN
- SECTIONS AND DETAILS, GRADING NOTES
- GRADING AND DRAINAGE DETAILS



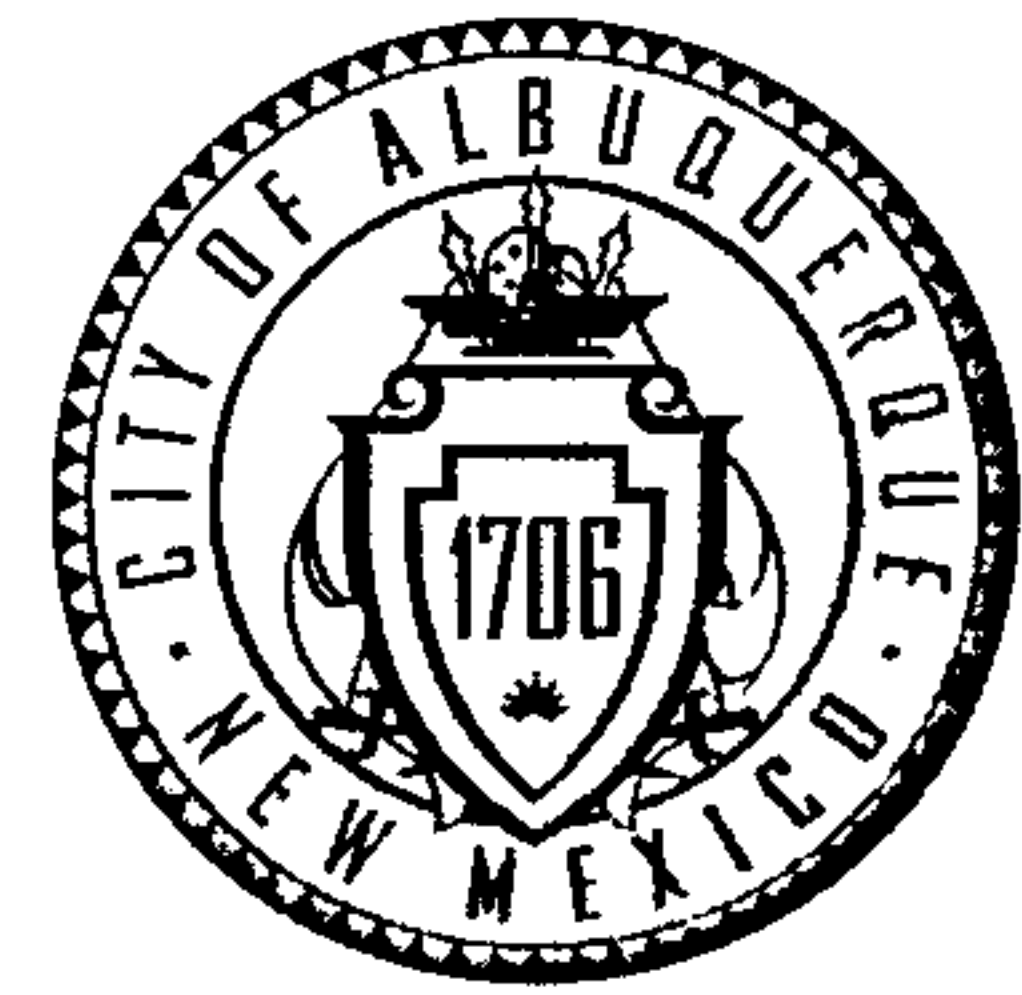
08-02-2000
08-29-2000

COVER SHEET, DRAINAGE REPORT
FIRM, INDEX OF DRAWINGS AND
RINCONADA MESA

REVISIONS
STREET NAMES, ADD TEXT RE: PREVIOUS COMMENTS

JOB NO.	2000.016.2
DATE	08-2000
SHEET	1 OF 6

CITY OF ALBUQUERQUE



August 11, 2016

J. Graeme Means, PE
High Mesa Consulting Group
6010 -B Midway Park Blvd NE
Albuquerque, NM 87109

**Re: NW Diagnostic Center @ Chaparral ES
6450 Western Trail NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 12/18/2014 (F10D005A)
Certification dated: 8-9-16**

Dear Mr. Graeme,

Based on the Certification received 8/10/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

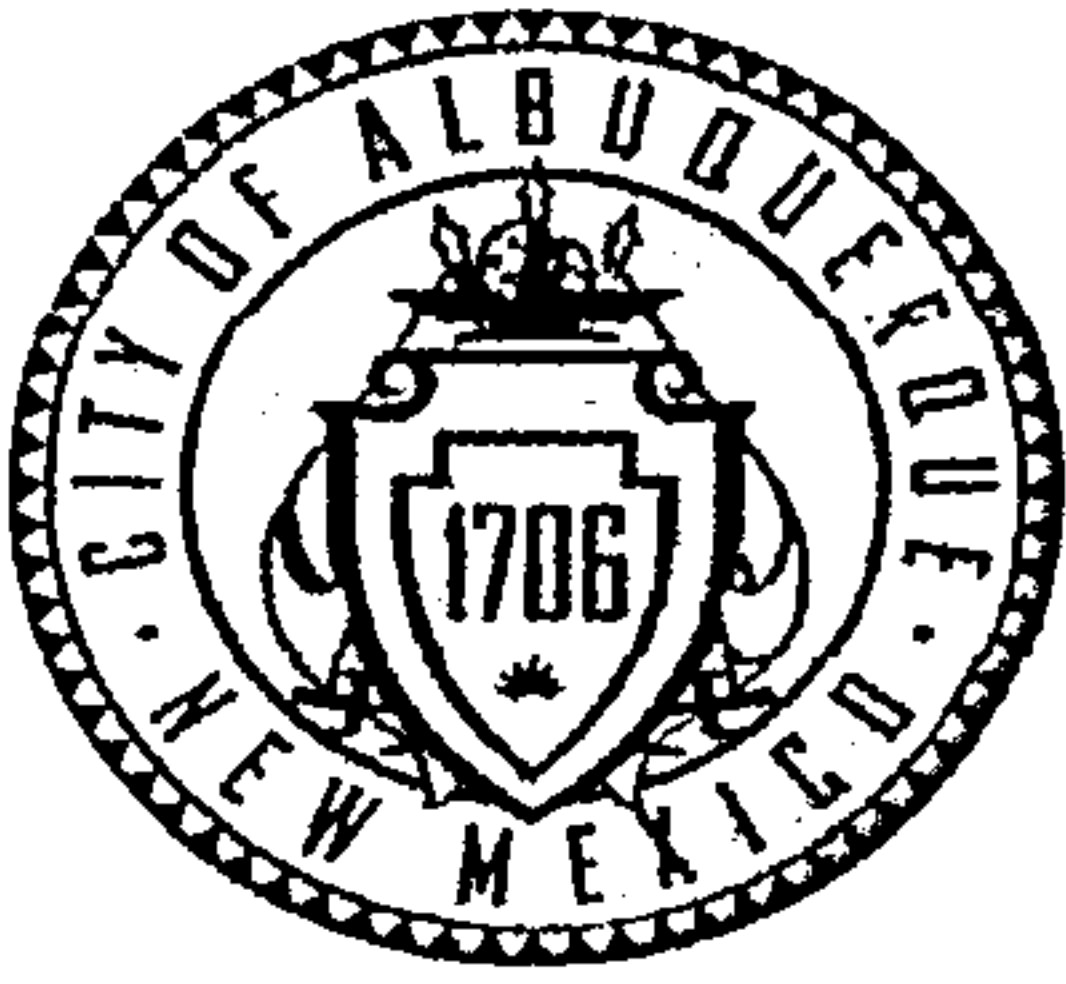
Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

TE/RH

C: email,

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.;
Lois Blocker



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: NW Diagnostic Center @ Chaparral ES Building Permit #: _____ City Drainage #: F10/D0015 A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts A & B, Chaparral Elementary School

City Address: 6450 Western Trail NW

Engineering Firm: High Mesa Consulting Group Contact: J. Graeme Means #13676

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: gmeans@highmescg.com

Owner: Albuquerque Public Schools Contact: Sal War

Address: 915 Oak Street SE, Albuquerque NM 87125

Phone#: 505-765-5950 Fax#: _____ E-mail: war@aps.edu

Architect: Baker Architecture & Design Contact: Mark Baker

Address: 4200-B Lomas Blvd NE, Albuquerque NM 87110

Phone#: 505-254-4697 Fax#: _____ E-mail: markreabaker@gmail.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-9-16

By: Justin Schara

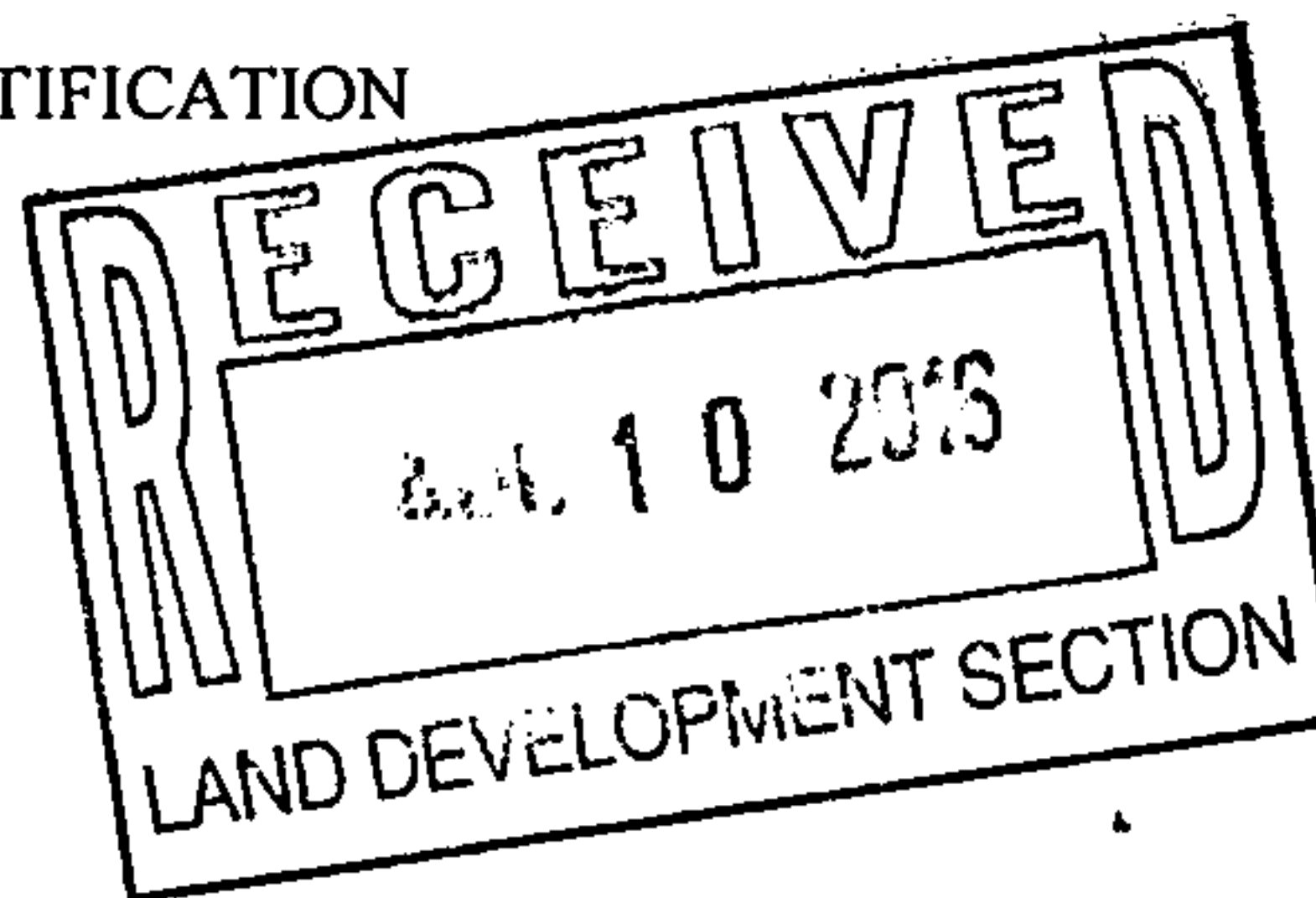
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



August 10, 2016

Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: NW Diagnostic Center @Chaparral Elementary School,
6450 Western Trail NW
Traffic Circulation Layout for Phase 2 Only (5 new portable buildings)
Engineer's Stamp dated 01-08-15 (F10-D005)
Certification dated 08-09-16**

Dear Mr. Means,

Based upon the information provided in your submittal received 08-09-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

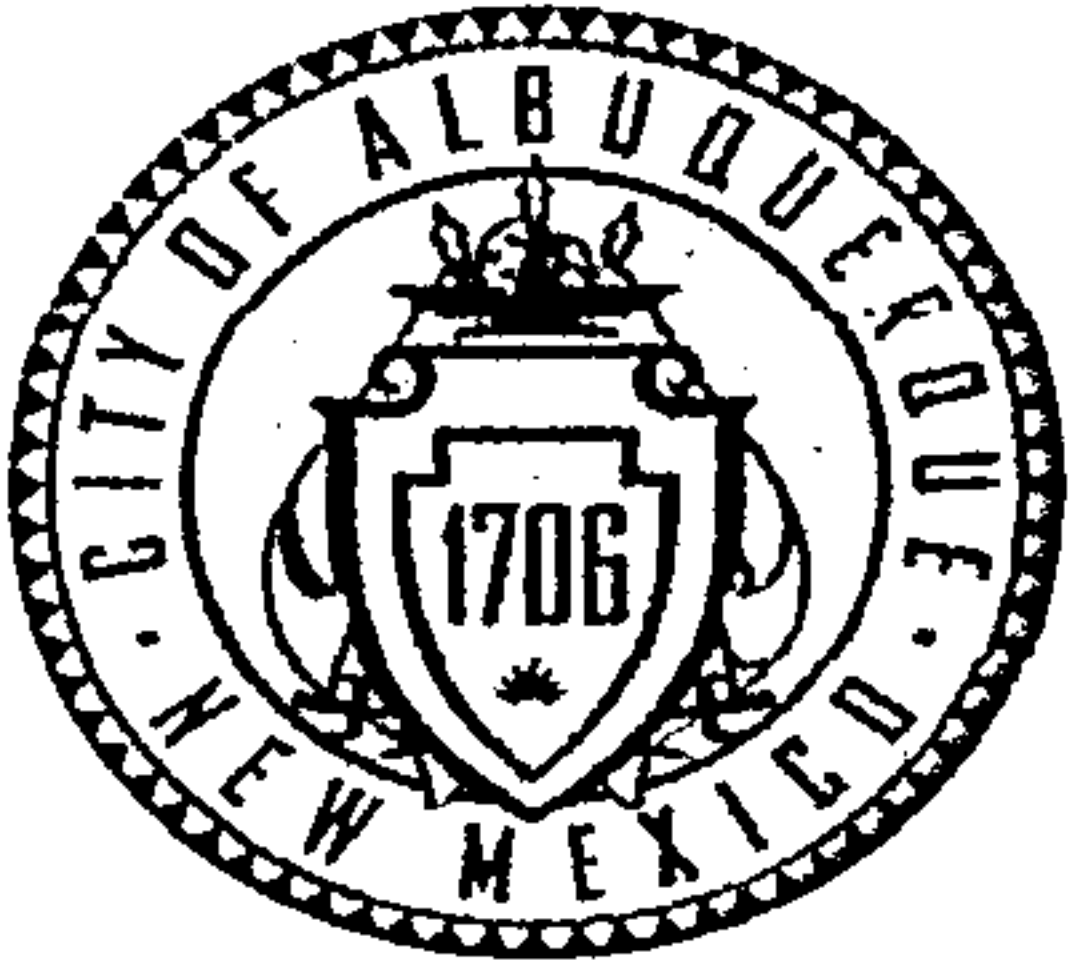
mao via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

F10D005A

F1050

Project Title: NW Diagnostic Center @ Chaparral ES Building Permit #: _____ City Drainage #: F10/D001

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts A & B, Chaparral Elementary School

City Address: 6450 Western Trail NW

Engineering Firm: High Mesa Consulting Group Contact: J. Graeme Means #13676

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: gmeans@highmescg.com

Owner: Albuquerque Public Schools Contact: Sal War

Address: 915 Oak Street SE, Albuquerque NM 87125

Phone#: 505-765-5950 Fax#: _____ E-mail: war@aps.edu

Architect: Baker Architecture & Design Contact: Mark Baker

Address: 4200-B Lomas Blvd NE, Albuquerque NM 87110

Phone#: 505-254-4697 Fax#: _____ E-mail: markreabaker@gmail.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

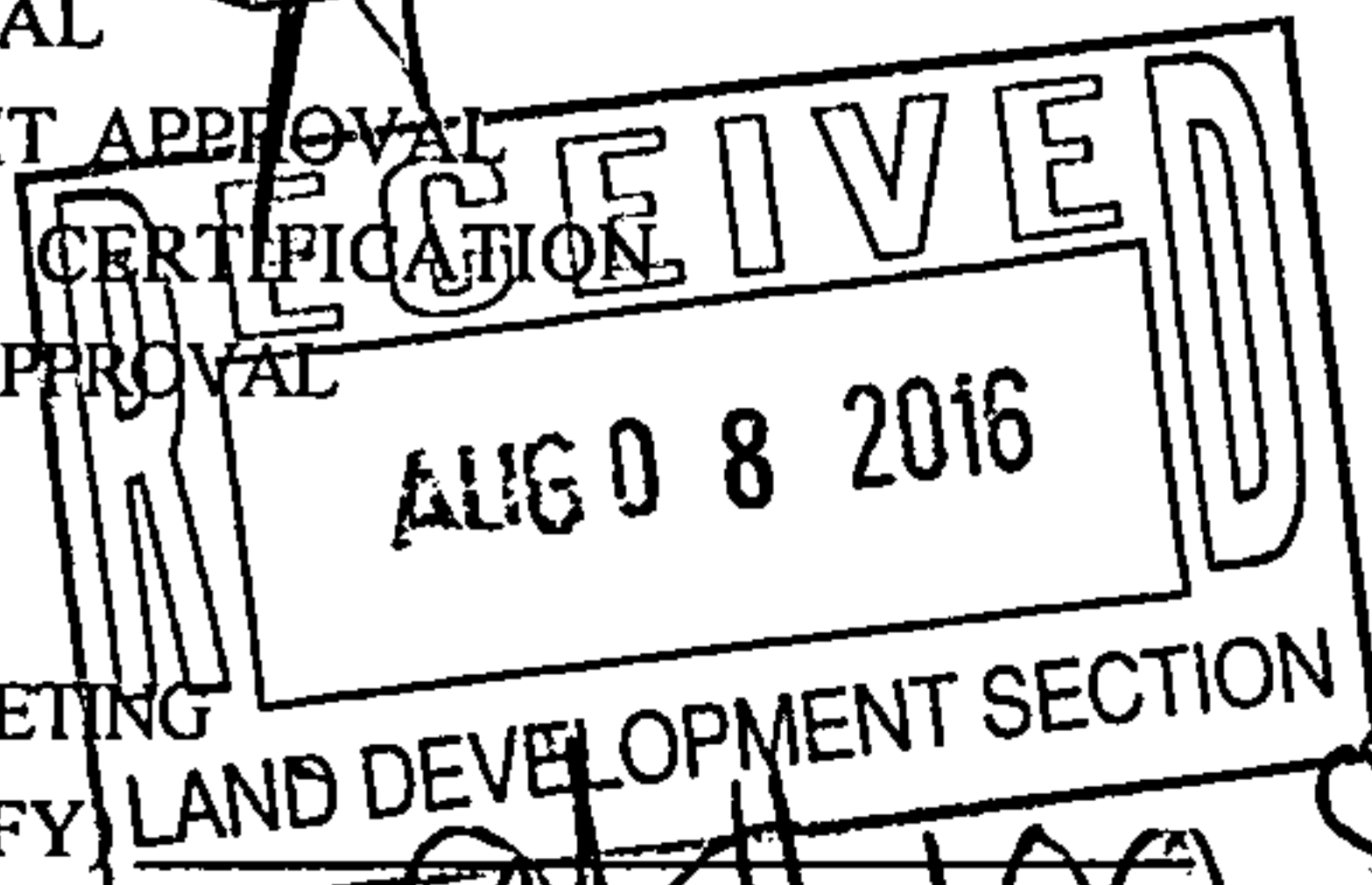
- ☒ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-5-16 By: Justin Schara

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
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☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
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☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

January 22, 2015

Justin Schara and Jeff Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: NW Diagnostic Center @Chaparral Elementary School,
6450 Western Trail NW
Traffic Circulation Layout for Phase 2 Only (5 new portable buildings)
Engineer's/Architect's Stamp dated 01-08-15 (F10-D005A)**

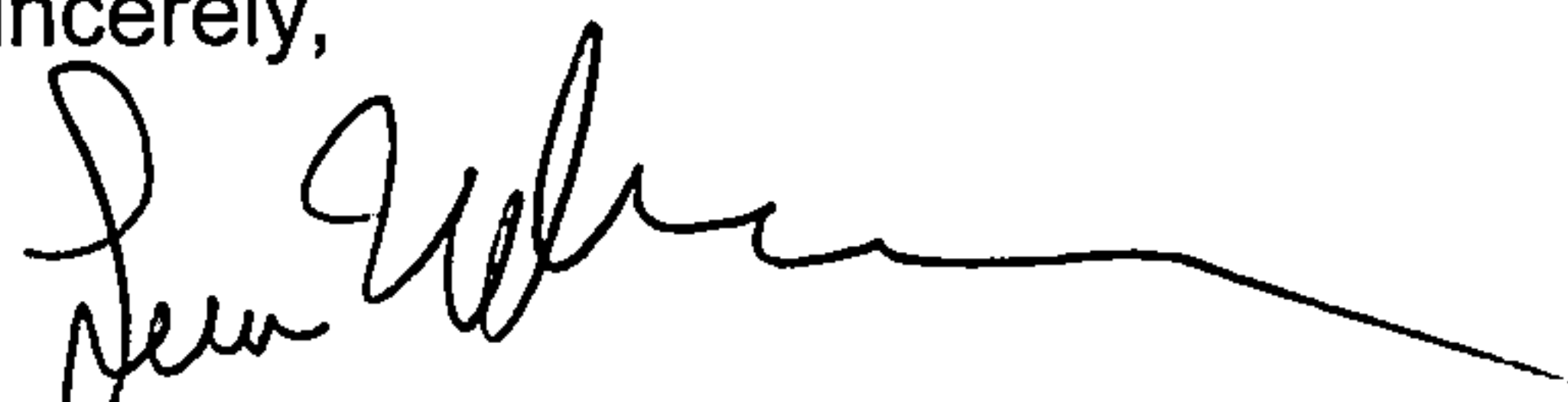
Dear Mr. Schara,

The TCL submittal received 01-14-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. I have also spoken with Kris Cadena of the ABCWUA about the parking lot layout, and he has no issues. Please keep the original to be used for certification of the site for final C.O. for Transportation, and use the one stamped TCL layout plan sheet (Sheet 5 of 15 of your planset).

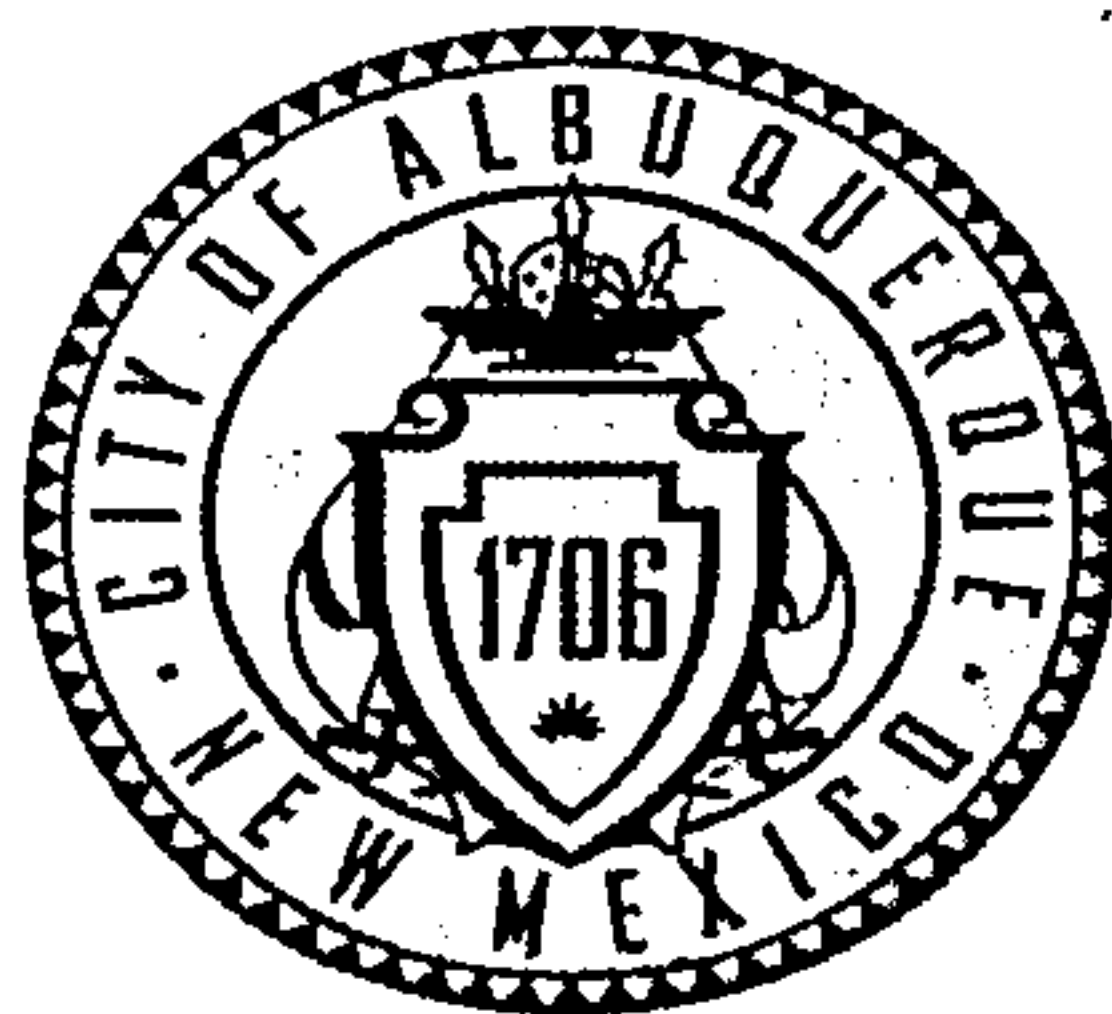
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: NW DIAGNOSTIC CENTER @ CHAPARRAL ES Building Permit #: _____ City Drainage #: F10/D001

DRB#: _____ EPC#: _____ Work Order#: _____

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Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: Albuquerque Public Schools Contact: David Ritchey

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Architect: Baker Architecture & Design Contact: Mark Baker

Address: 4200-B Lomas Blvd NE, Albuquerque NM 87110

Phone#: 505-254-4697 Fax#: _____ E-mail: markreabaker@gmail.com

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

Contractor: APS ON-CALL CONTRACTORS Contact: _____

Address: _____

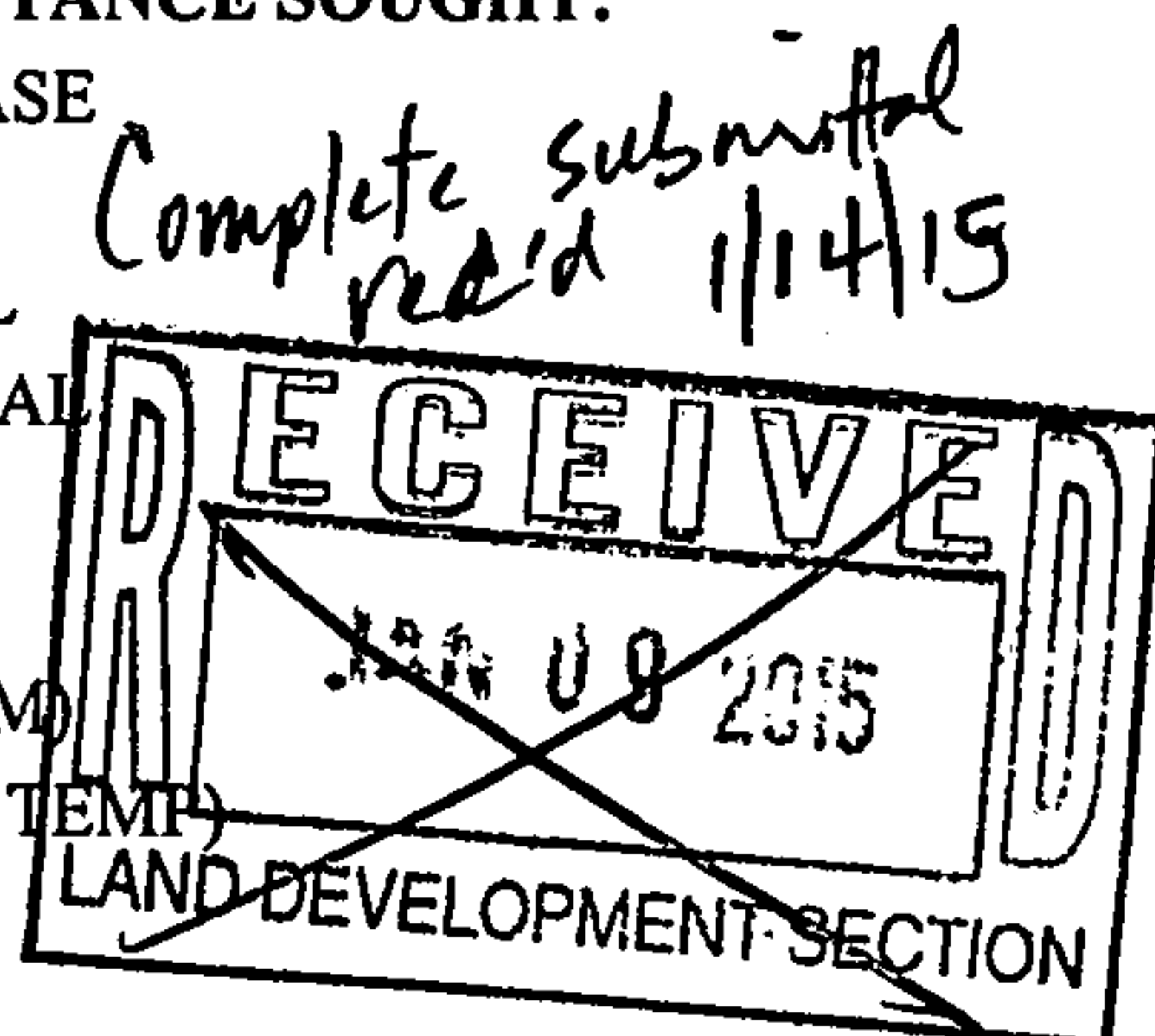
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRC. LAYOUT (TCL) RESUBMITTAL
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (FLOODPLAIN DEVELOPMENT PERMIT)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 01-08-15 By: Justin Schara

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

HIGH MESA Consulting Group

HMCG Job# 2013.186.5

January 8, 2015

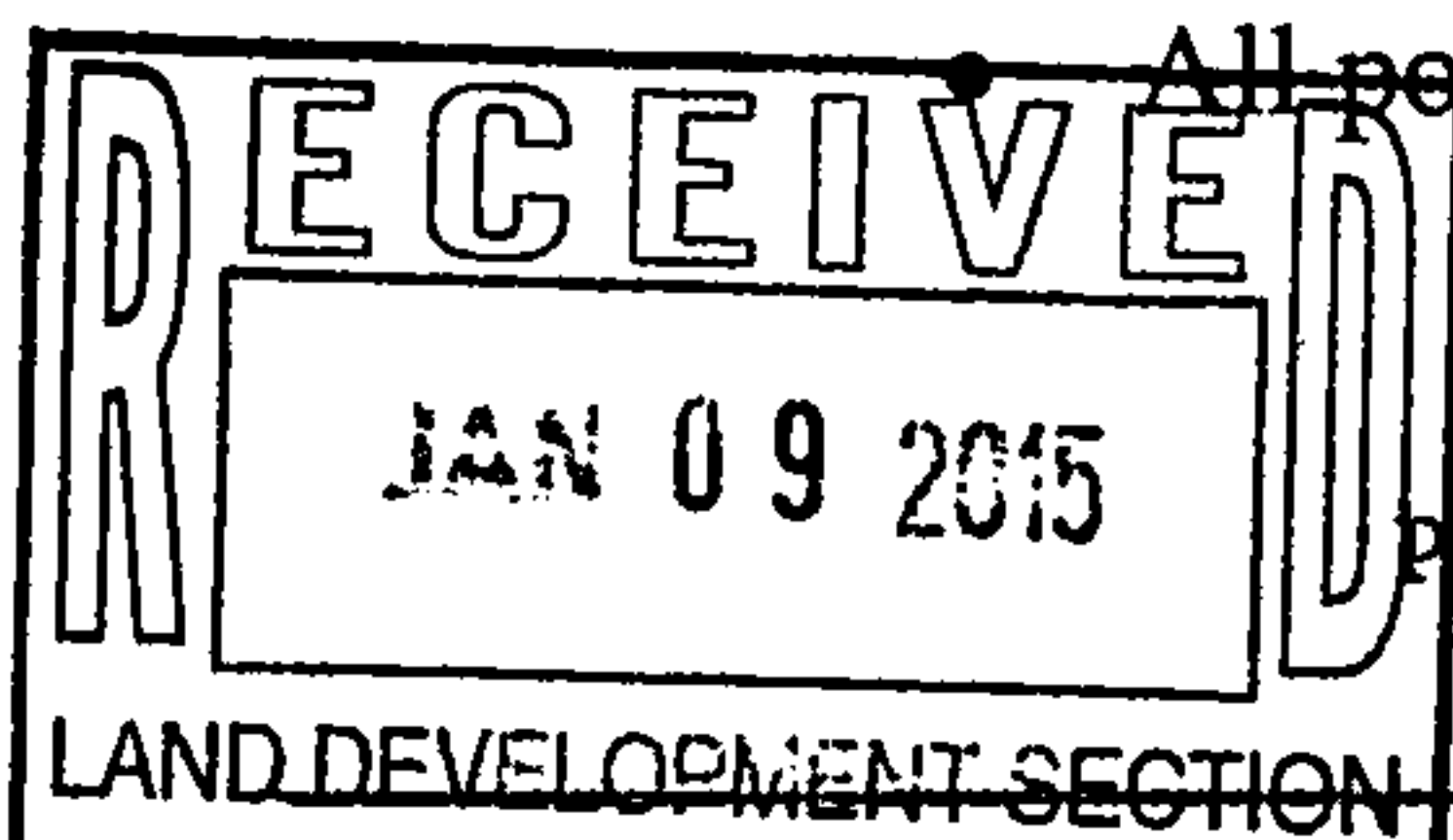
Ms. Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services
City of Albuquerque

RE: NW Diagnostic Center – Phase 2 @ Chaparral Elementary School
Traffic Circulation Layout (TCL) (File: F10/D005)

Dear Ms. Wolfenbarger:

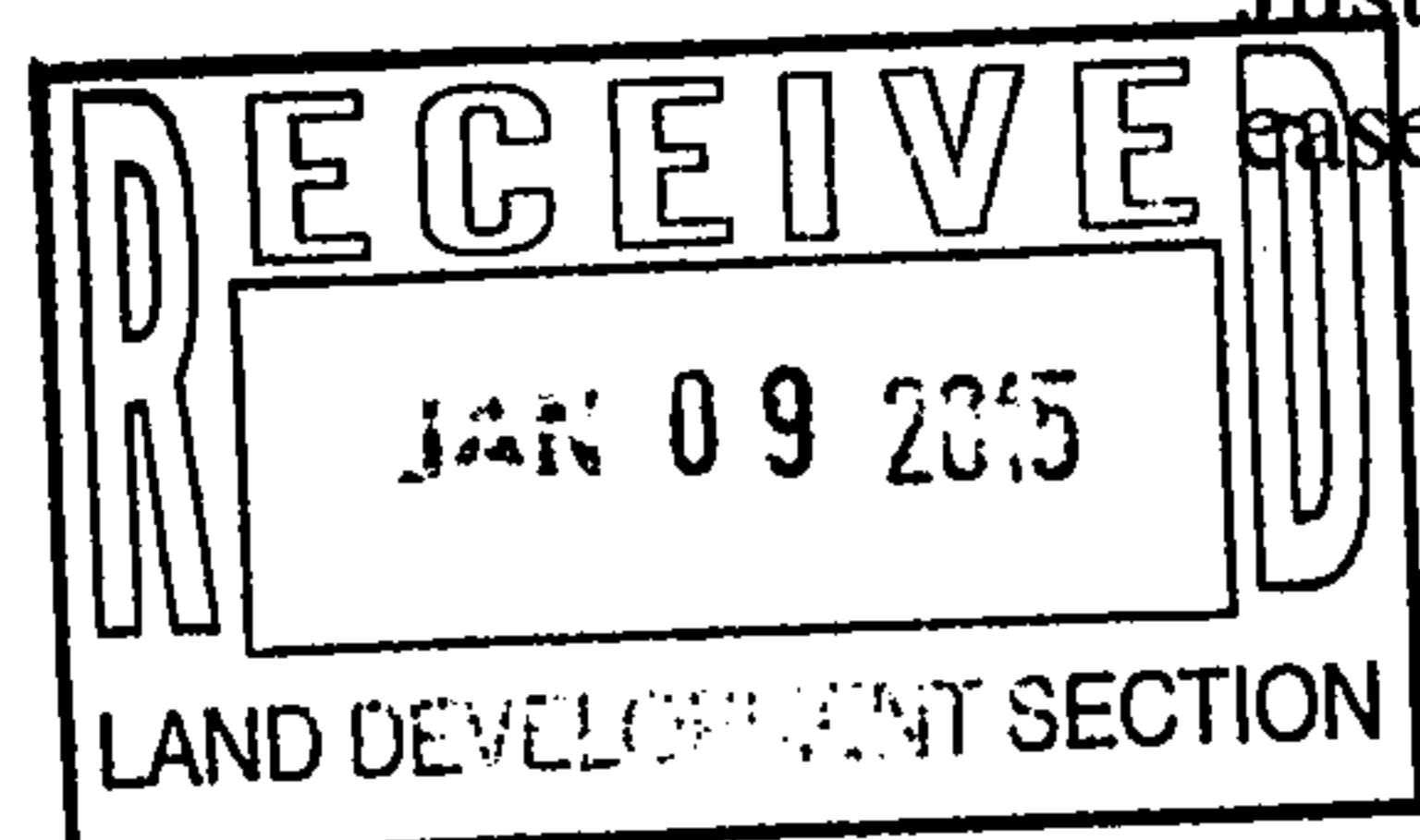
Based upon your comments from our original submittal, dated 12-18-2014, we have revised the above referenced Traffic Circulation Layout Plan, with the original comments included in black and our revisions / corrections to address those comments shown in red as follows:

- 1) Because Sheet 5 looks like it contains the majority of the information needed to approve a TCL layout, use this as the overall TCL plan to be stamped. Please include the vicinity map on this sheet, too, and include "Traffic Circulation Layout" within the title of the sheet.
 - Sheet 5 (hence referred to as the TCL plan) has been revised to include the addition of "Traffic Circulation Layout" to the sheet title. Due to the additional information requested in the comments below, there is no available space for a Vicinity Map on this sheet. Therefore the Vicinity Map remains on the TCL submittal cover / index of drawings sheet.
- 2) Please show parking calculations on this sheet with the number of parking spaces required by zoning code. Include existing and proposed parking spaces for the entire APS Facility.
 - Parking calculations are not included herewith as APS sites are not subject to the zoning code. The APS Department of Facilities Design and Construction reviews and approves the parking layout, number and types of parking spaces provided for each project site on a case-by-case basis.
- 3) Label the square footage of each of the new portable buildings.
 - Square footage for each portable building is now labeled on the TCL plan.
- 4) Please identify all doors entrances for the new portable building since they influence the pedestrian circulation on-site.
 - All portable building entrance locations are now identified on the TCL plan.



Principals: Jeffrey G. Mortensen, P.E. • Charles G. Cala, Jr., P.S. • Juan M. Cala
Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E.

- 5) Please list the width and length for all parking spaces within the water and sewer easement. The handicap accessible spaces must be a minimum of 8.5 feet in width, and the van access aisle must be a minimum of 8 feet wide.
 - All parking space width and lengths on the south side of the project are labeled and meet or exceed the minimum dimensions identified above.
- 6) Include a detail for the ADA van accessible sign. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **“Violators Are Subject to a Fine and/or Towing”**
 - An ADA van accessible sign detail is now shown on the TCL plan and includes the required language specified above.
- 7) Indicate the words **“NO PARKING”** within the van accessible aisles shall be at least one foot high and at least two inches wide. (66-1-4.1.B NMSA 1978).
 - Minimum lettering height and width dimensions have been added to the **“NO PARKING”** keyed note (Note #29) on the TCL plan.
- 8) Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to all of the building entrances. Please clearly show this pathway and provide language showing that it shall be a 2% maximum required cross-slope. Label the required dimensions for asphalt walkways between buildings, using a minimum dimension of 6 feet when providing ADA access to door entrances.
 - The entire courtyard is an ADA accessible pedestrian pathway, and is graded at less than 2% in all directions throughout the entirety of the courtyard, as shown on the Grading Plan (Sheet 8) of the Hydrology submittal. Pathways to each building entrance have been shown graphically on the TCL plan, and denoted to be 6' min width with a 2% maximum cross-slope.
- 9) For all keyed note call-outs on the TCL Layout (Sheet 5) referring to details on Sheet 6, call out the exact number of the detail to be clear.
 - All keyed note call-outs on the TCL Layout that refer to Sheet 6 details now include the exact number of the detail and section for clarity.
- 10) Some of the new parking spaces are within the ABCWUA 30-foot easement along with the existing parking spaces. Do you have existing easement language that you can provide in your next submittal indicating that it is acceptable to build parking spaces within the easement? If not, an agreement with the ABCWUA needs to be arranged. Contact Kris Cadena of the ABCWUA (924-3988).
 - There is no existing easement language regarding parking space construction within the easement. This has not been an issue in the past on APS sites; prior submittals for Phase 1, which included the existing parking spaces, were approved by both the Transportation Development Services Engineer and the City Engineer. A phone conversation between Justin Schara and Kris Cadena on January 7, 2015, confirmed that no additional easement language is required by the ABCWUA for this project.

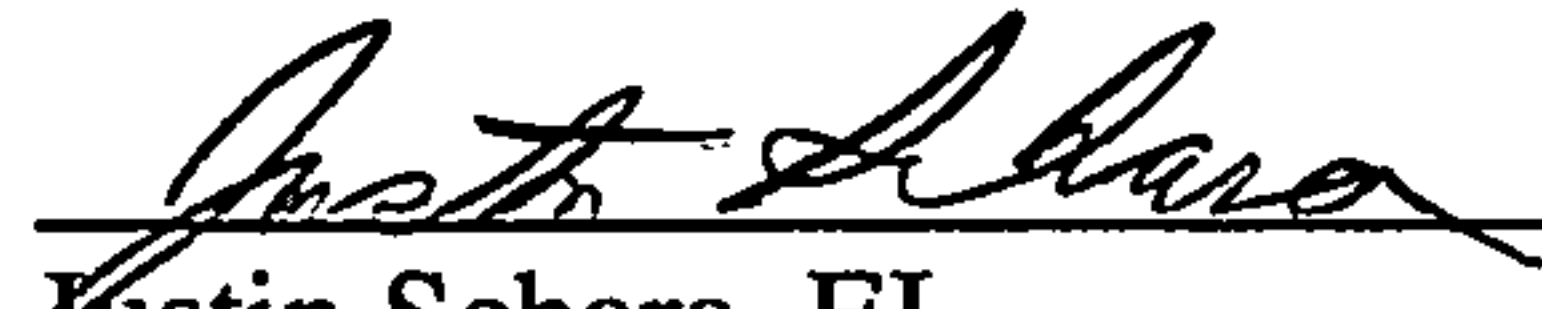


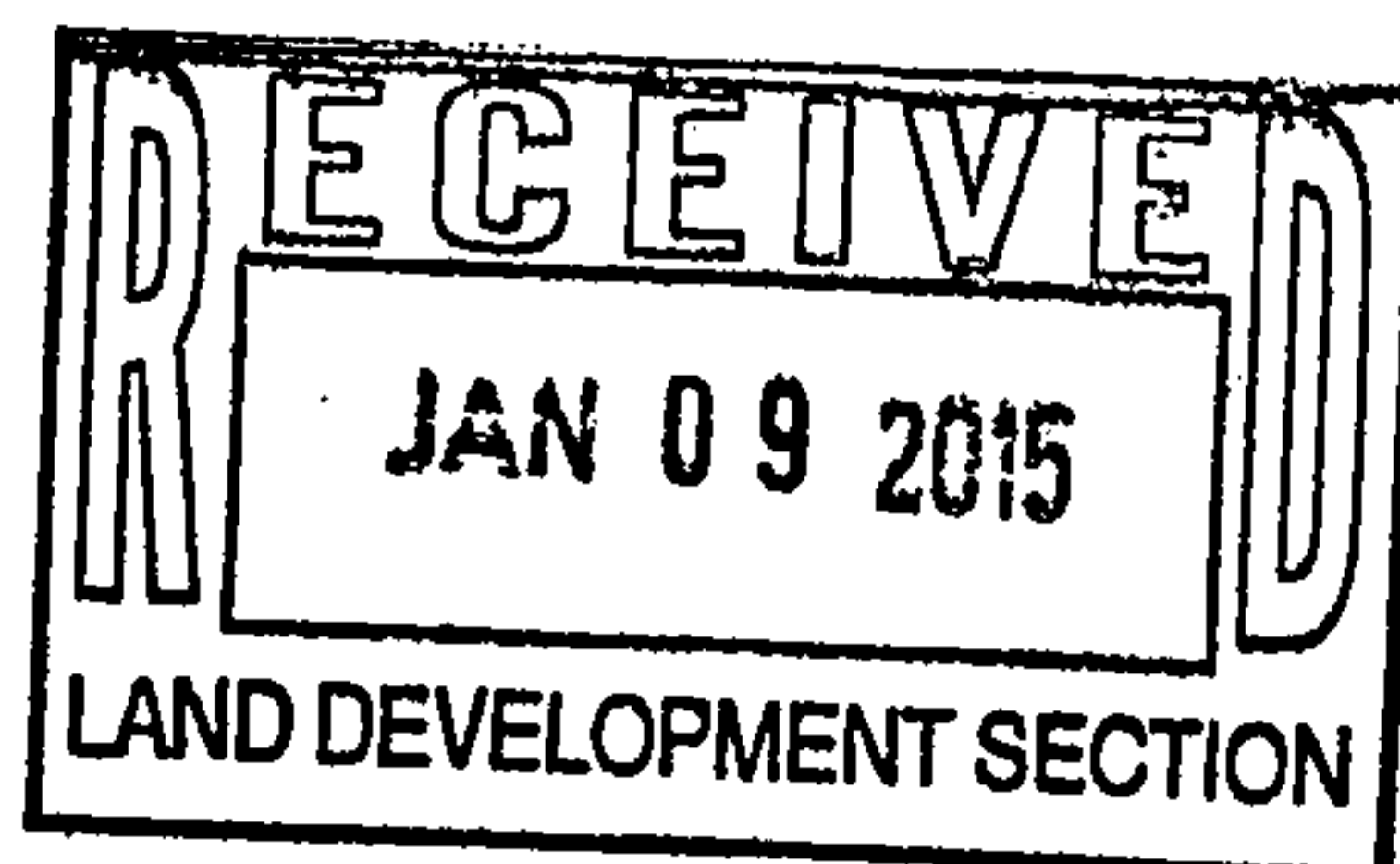
January 8, 2015

Page 3

Please review the attached revised TCL plan that has been updated to address each of the above comments. If there are no further comments, please approve this plan for Building Permit approval..

Sincerely,


Justin Schara, EI
High Mesa Consulting Group



HIGH MESA Consulting Group

6010-B Midway Park Blvd. NE
Albuquerque, New Mexico 87109
Phone: 505.345.4250
Fax: 505.345.4254
www.highmesacg.com

TRANSMITTAL:

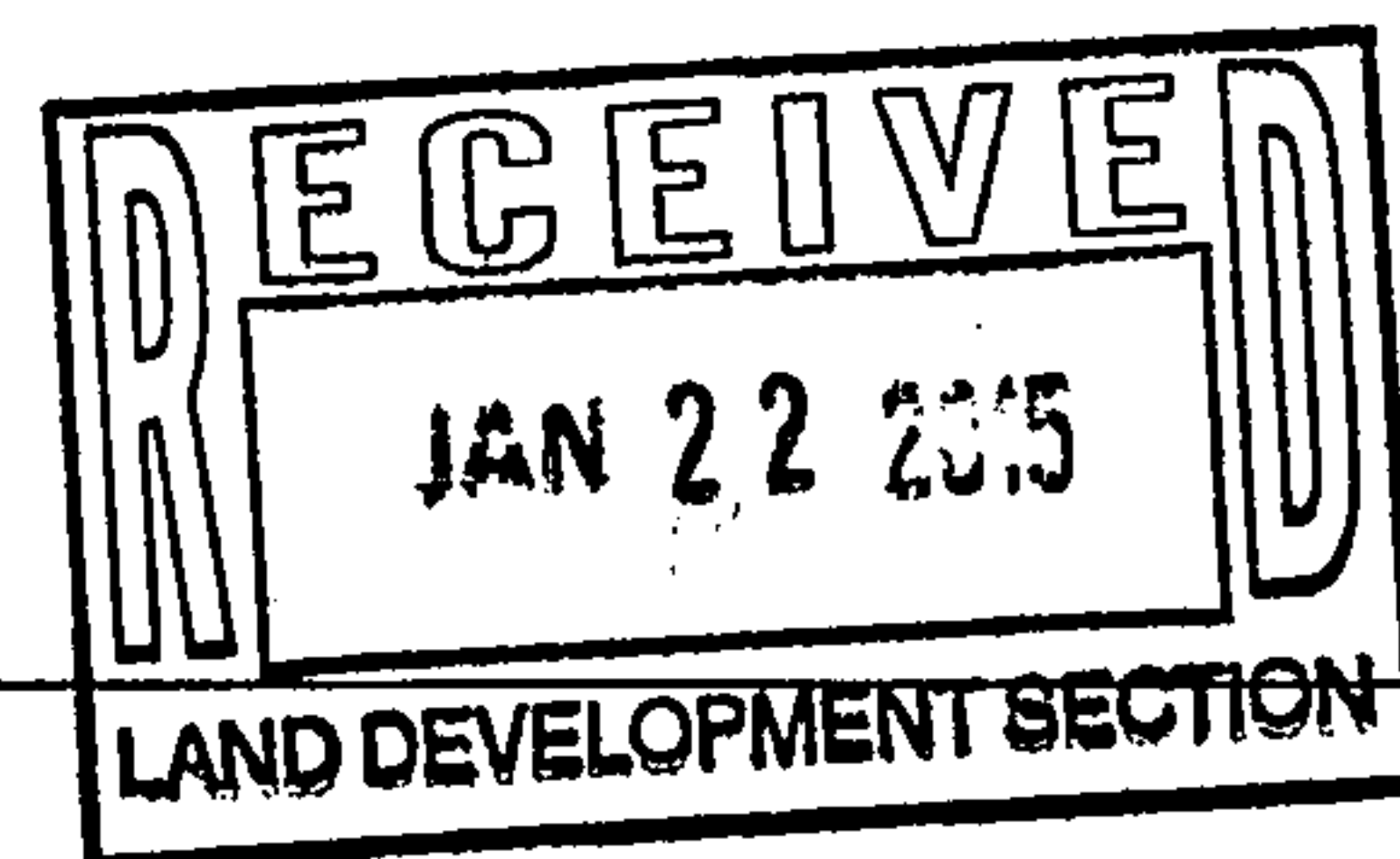
TO:	FROM:
Jeanne Wolfenbarger Senior Engineer, Planning Dept. Development Review Services	Justin Schara
PROJECT:	RE:
NW Diagnostic Center – Phase 2 @ Chaparral Elementary School	Traffic Circulation Layout
JOB NO:	DATE:
2013.186.5	1-22-15
CC:	

VIA: ☒ Delivery ☐ Pickup ☐ US Mail ☐ Federal Express Delivery ☐ Fax

WE ARE SENDING:

QTY.	DESCRIPTION:	FOR:
1	TCL Plan (Sheet 5)	Your Use

REMARKS:
Per your request during our phone conversation 1-22-15, attached is the extra copy of the TCL plan for this project.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 16, 2014

Tina Reames, R.A.
Cherry See Reames Architects
220 Gold Ave SW
Albuquerque, NM 87102

Re: Chaparral Elementary Kindergarten Classroom, 6325 Milne Rd NW
Submittal for Certificate of Occupancy – Transportation Development
Architect's Stamp dated 03/12/13 (F10D005A)
Certification dated 12/08/2014

Dear Ms. Reames,

Based upon the information provided in your submittal received 12-09-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 12, 2014

Tina Reames, R.A.
Cherry See Reames Architects
220 Gold Ave SW
Albuquerque, NM 87102

Re: Chaparral Elementary Kindergarten Classroom, 6325 Milne Rd NW
Submittal for Certificate of Occupancy – Transportation Development
Architect's Stamp dated 03/12/13 (F10D005A)
Certification dated 12/08/2014

Dear Ms. Reames,

The Letter of Certification submitted on 12/09/2014 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- All drive aisles must be free of construction equipment and storage containers prior to release of Certificate of Occupancy.
- Construction fencing must be removed from site prior to release of Certificate of Occupancy.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos and PDF files to rmichel@cabq.gov or mortiz@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

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Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CHAPARRAL ELEM. SCHOOL Building Permit #: _____ City Drainage #: F10 D005A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT B - Chaparral Elem School subdivision

City Address: 6325 MILNE ROAD NW; ALBUQ. NM 87120

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: ALBUQ. PUBLIC SCHOOLS Contact: DAVID RITCHEY

Address: 915 OAK STREET

Phone#: 848-8876 Fax#: _____ E-mail: ritchey-d@aps.edu

Architect: CHERRY SEE REAMES ARCHITECTS Contact: MARIE HOLLOWAY

Address: 220 COOLD AVENUE SW

Phone#: 842-1278 Fax#: 766-9269 E-mail: mskolloway@cherryseereames.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: THOMPSON CONSTRUCTION Contact: DENNIS THOMPSON

Address: 8200 VENICE NE; ALBUQ. NM 87122

Phone#: 823-1218 Fax#: 856-1375 E-mail: dthompson@skumark.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes No Copy Provided

DATE SUBMITTED: 12-9-2014 By: Marie Shaver Holloway

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

LETTER OF TRANSMITTAL

TO: City of Albuquerque
Transportation Dept.
Tel: 924-3991

Date: 12-8-2014	Job No: Chaparral Elem.
Attention: Kristal Metro	
From: Marie Holloway	
Re: Chaparral Elementary School	

WE ARE SENDING YOU VIA:

☐ MAIL ☒ COURIER ☐ FAX
☐ EMAIL ☐ OTHER

NO. OF PAGES (INCLUDING COVER): _____

WE ARE SENDING:

☐ SHOP DRAWINGS ☐ PRINTS ☒ PLANS ☐ SAMPLES ☐ SPECIFICATIONS
☒ ORIGINAL LETTER ☐ CHANGE ORDER ☐ DIGITAL MEDIA ☐ PAY APPLICATION
☐ OTHER _____

COPIES	DATE	NO.	DESCRIPTION
1	12-8-2104	-	CHAPARRAL Elementary School – Traffic Certification letter and TCL plan (30" x 42")

THESE ARE TRANSMITTED as checked below:

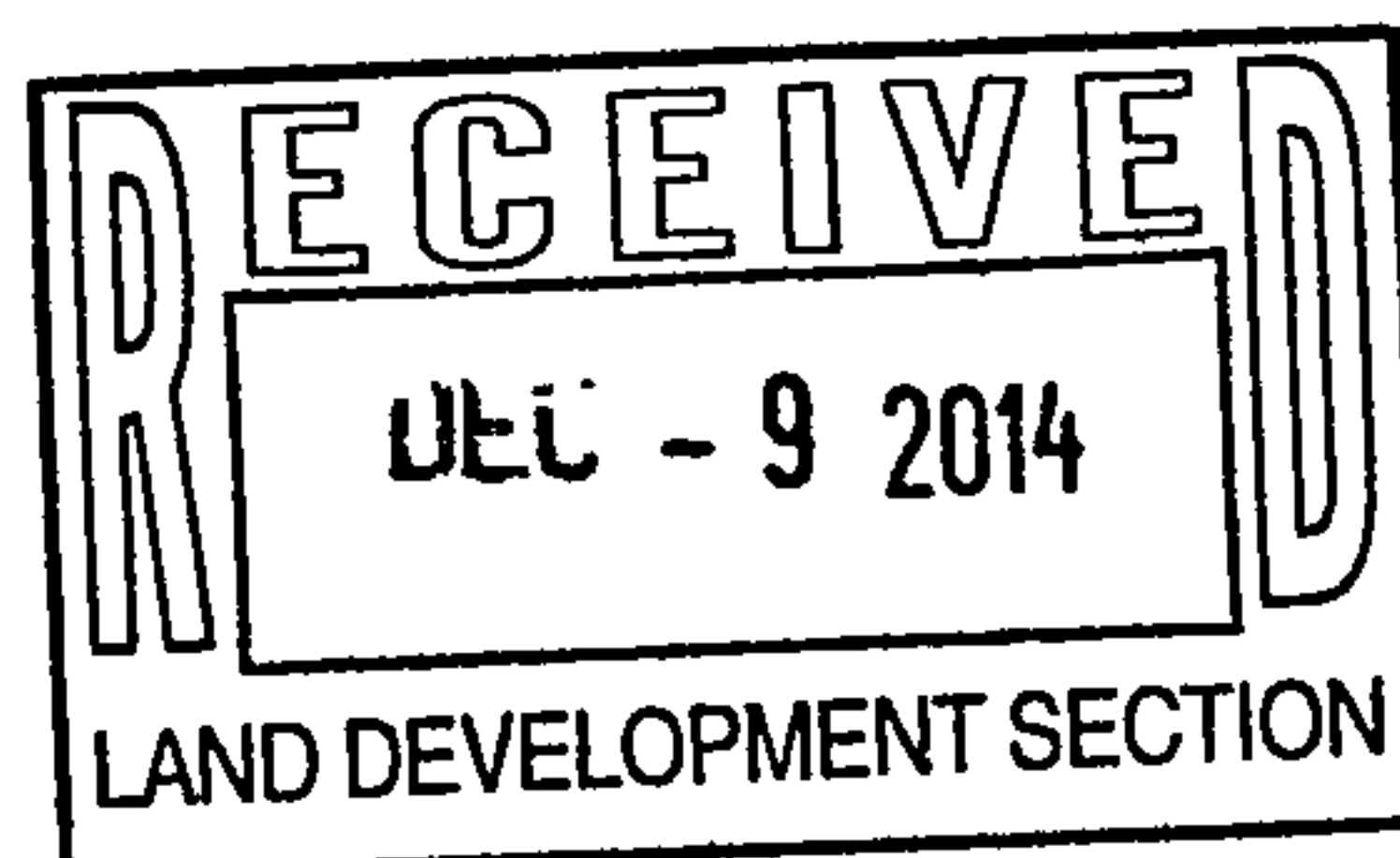
☐ FOR APPROVAL ☐ APPROVED AS SUBMITTED ☐ RESUBMIT___COPIES FOR APPROVAL
☒ FOR YOUR USE ☐ APPROVED AS NOTED ☐ SUBMIT___COPIES FOR APPROVAL
☐ AS REQUESTED ☐ CORRECTIONS REQUIRED ☐ RETURN___CORRECTED
☐ FOR REVIEW & COMMENT ☐ _____
☐ FOR BIDS DUE___ ☐ PRINTS RETURNED AFTER HAVING BEEN LOANED

REMARKS:

Kristal,
The electronic files were emailed to you yesterday.

SIGNED OUT: MSH RECEIVED BY: _____

COPIES TO: FILE

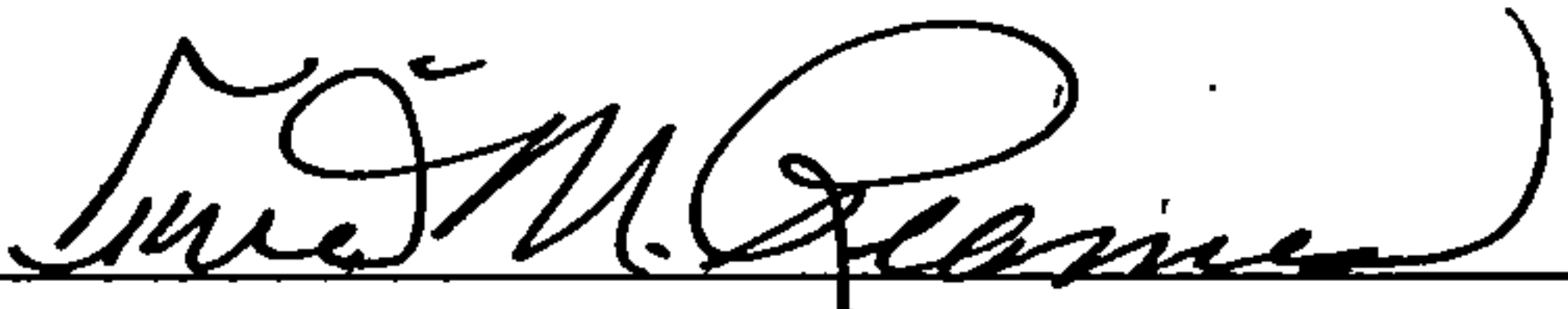


TRAFFIC CERTIFICATION

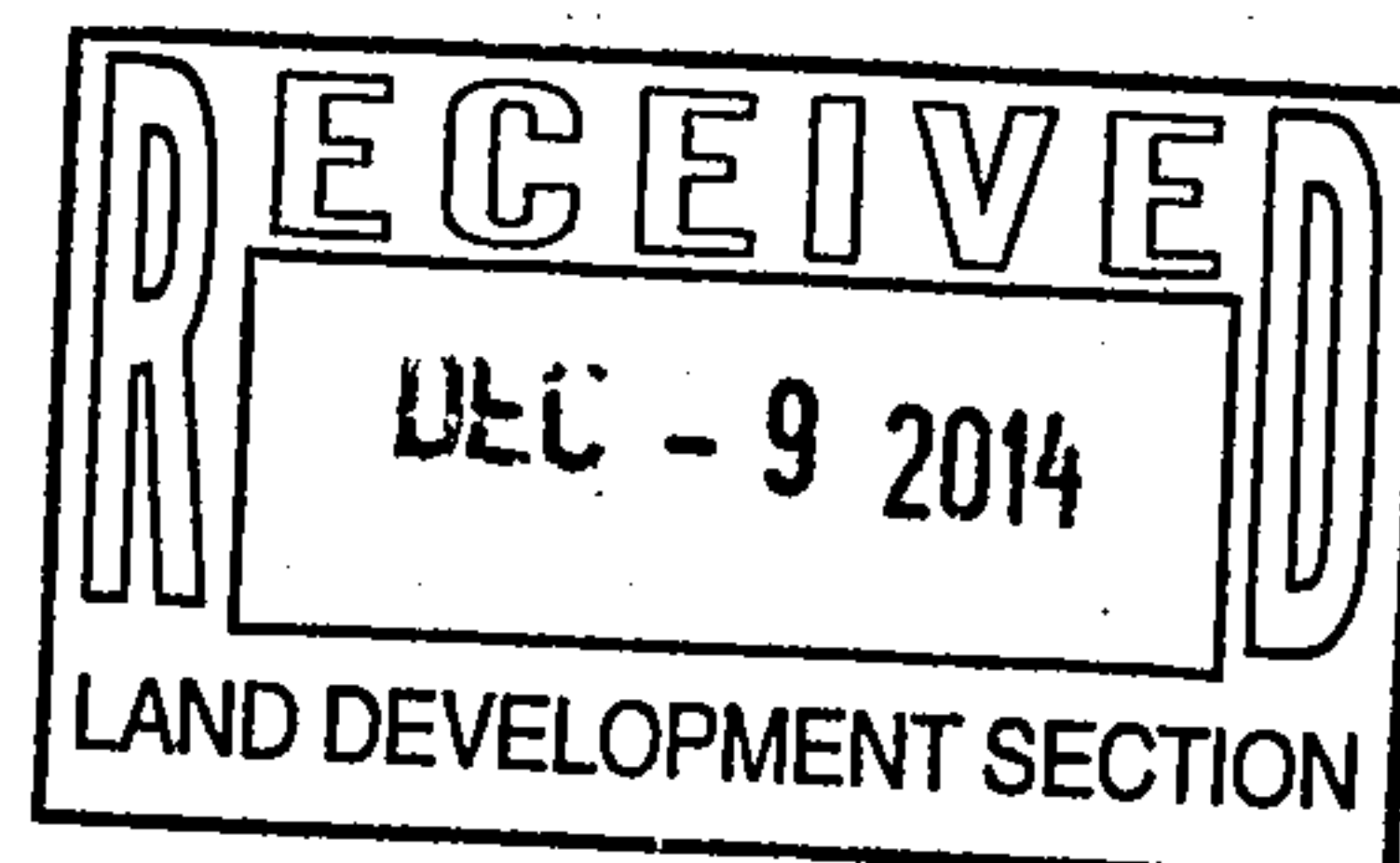
I, TINA REAMES, NEW MEXICO REGISTERED ARCHITECT, OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TINA REAMES OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 8, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

12/8/14
Date



ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

X
X

PROJECT: Chaparral Elementary School
Additions - 6325 Milne Road NW
Albuq., NM 87120

ARCHITECT'S
SUPPLEMENTAL
INSTRUCTION #~~5~~6
Visitor parking

DATE OF ISSUANCE:
August 22, 2013

OWNER: The Board of Education
Albuquerque Public Schools
6400 Uptown Blvd. NE
Albuq., NM 87110

APS PROJ. NO.: 0234.5107.31141

PSFA: P12-003

TO: Shumate Constructors, Inc.
8200 Venice Avenue NE
Albuq., NM 87122

ARCHITECT: Cherry / See / Reames Architects, PC
220 Gold Avenue SW
Albuq., NM 87102

CONTRACT FOR: CONSTRUCTION

ARCHITECT'S PROJECT CODE: CHAPARRAL

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

Description:

The program requested 10 visitor parking spaces, but only 9 are provided. Convert the 2 motorcycle spaces to the 10th visitor parking space, and relocate motorcycle parking and signage to the area between the handicap parking. Realign curb and gutter to allow access for motorcycles, asphalt pave and stripe this area as shown on the attached sketch.

Attachments:

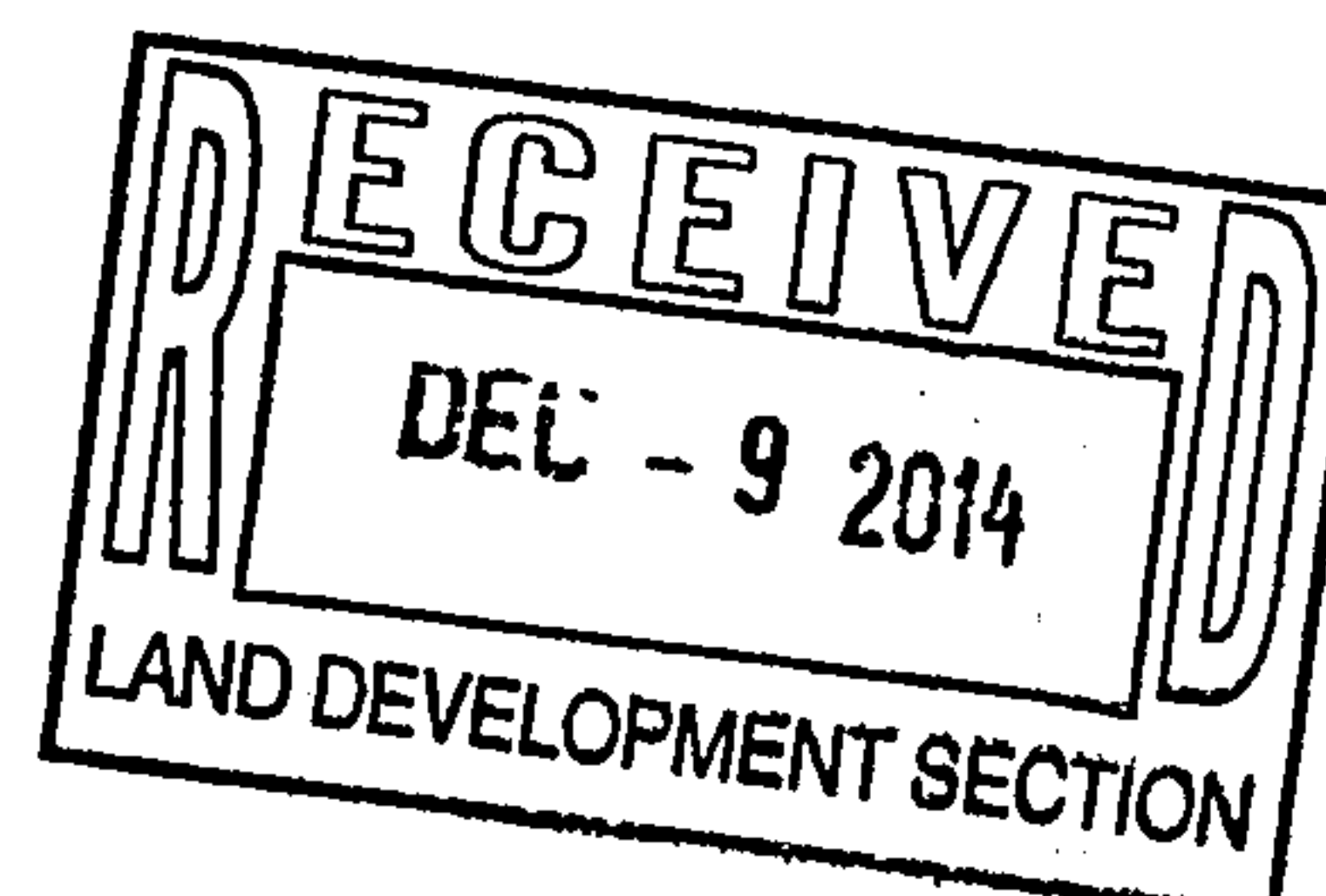
G-101 PARTIAL SITE PLAN – SKETCH 1

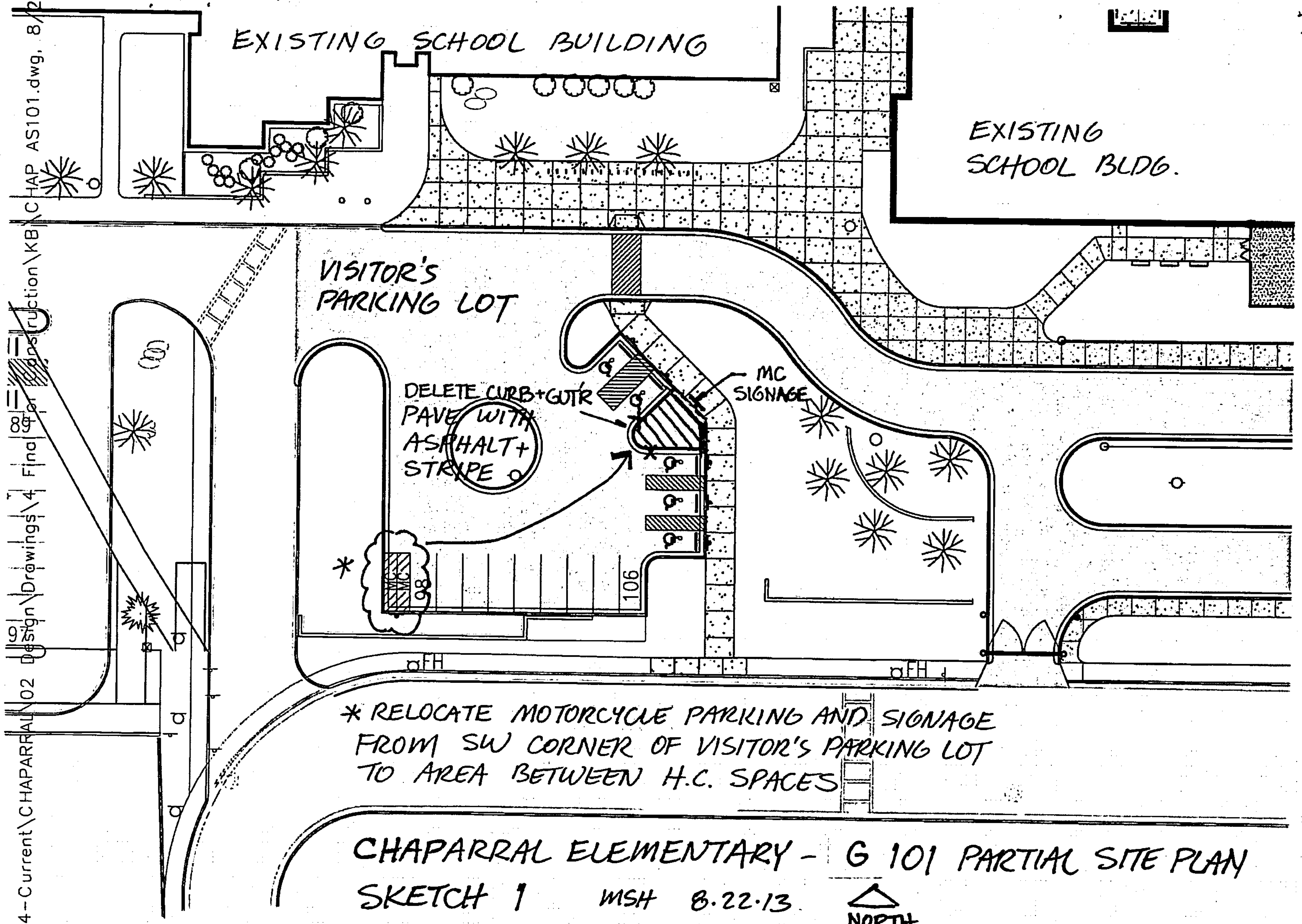
ISSUED:

BY: Marie Shaver Holloway
Project Manager

ACCEPTED:

BY: _____
Contractor Date





X:\04-Current\CHAPARRAL\02 Design Drawings\4 Final\CHAP AS101.dwg, 8/2

CHAPARRAL ELEMENTARY - G 101 PARTIAL SITE PLAN
SKETCH 1 MSH 8.22.13



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



David Aube, The Design Group
APS – School on Wheels at Chaparral Elementary
July 21, 2008

Since a Storm Water Pollution Prevention Plan (SWPPP) is required for this site, a SWPPP is required to be submitted to US-EPA with copy to the City of Albuquerque, prior to the start of construction.

[Remember: *Effective July 1, 2008, new Grading and Drainage submittals to this office for Building Permit approval must include a copy of the SWPPP in MS Word or PDF format.*]

If you have any questions or would like to schedule a meeting to discuss these issues, you may contact me at 924-3981.

Sincerely,

PO Box 1293

Gregory R. Olson, P.E.
Hydrology Section

Albuquerque

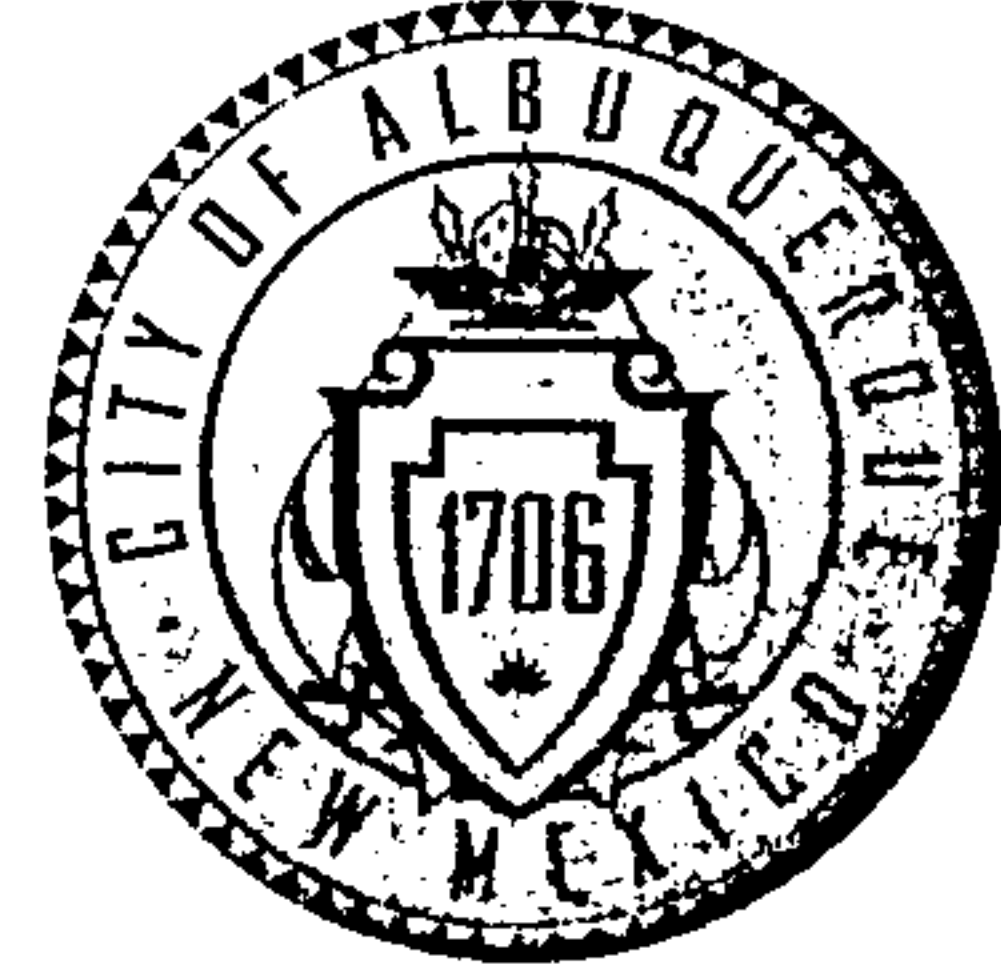
XC: Bradley Bingham, COA-PLN/Hydrology
Drainage file F10 – D 005 A

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



July 21, 2008

David A. Aube, P.E.
The Design Group
202 Central Ave. SE, Suite 200
Albuquerque, New Mexico 87102

RE: **APS – School on Wheels at Chaparral Elementary** (F10 – D 005 A)
Drainage Plan for Building Permit (PE Stamped 6/12/08)

Dear Mr. Aube:

Based upon the information provided in your submittal received 6-17-08, the above referenced plan cannot be approved for Foundation Permit or Building Permit until the following comments are addressed:

- 1) **CD1:** The drainage analysis seems to overlook the fact that approximately 40% of Basin #1 drains into the west and south sides of Basin #2. Review and revise grading and pond calculations accordingly.
- 2) **CD1:** Show on the Site Drainage Plan the existing flow pattern along the eastern edge of Basin #1. Quantify that flow and indicate on the plan where it crosses into the east end of Basin #2, and how that flow is intercepted and conveyed through the pond and storm drain system at the School on Wheels site.
- 3) **CD1:** Label the existing Storm Drain along the eastern edge of Tract A, and indicate any inlets which may exist and divert site flows.
- 4) **CD1:** Show what grading will be done in the proposed decommissioning and relocation of the existing Portable site at south east corner of Tract A.
- 5) **CD.2:** Provide invert elevations on inlets, outlets, and manholes on the proposed storm drain lines, and at the existing 36" RCP storm drain stubout to the site.
- 6) **CD.2:** Show elevations on the existing contours that intersect the site perimeter.
- 7) **CD.2:** The proposed "5112" contour on the west and north sides of the site does not work with the other contours, nor with the swale defined by spot elevations on the northern side of the portables. Does the swale continue around the west side of the portables? Clarify this configuration in conjunction with handling of off-site flows.
- 8) **CD.2:** Show on this plan the proposed access road paving and grades on the eastern edge of Basin #2.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: APS School on Wheels

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #:F-10-2

WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A, Chaparral elementary School.

CITY ADDRESS: 6440 Wester Trail NW.

ENGINEERING FIRM: Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: David Aube

PHONE: 242-6880

ZIP CODE: 87102

OWNER: APS

ADDRESS: 301 Central Avenue

CITY, STATE: Albuquerque, NM

CONTACT: David Ritchey

PHONE: 848-8876

ZIP CODE: 87106

ARCHITECT: The Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: Gregory Hartman

PHONE: 242-6880

ZIP CODE: 87102

SURVEYOR: High Mesa Consulting

ADDRESS: _____

CITY, STATE: _____

CONTACT: Chuck Cala

PHONE: 345-4250

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: Albuquerque

CONTACT: _____

PHONE: 898-8698

ZIP CODE: 871

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

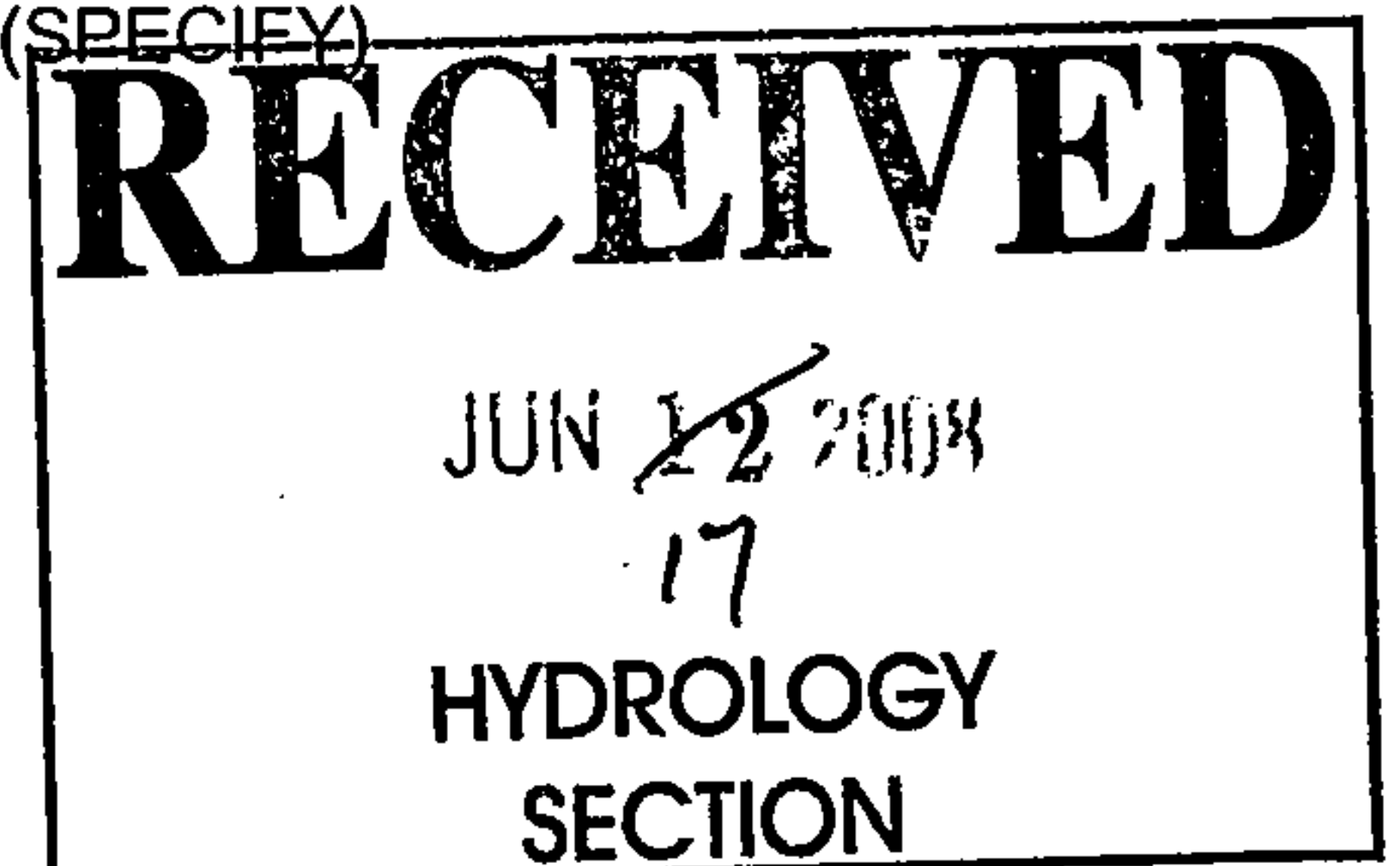
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

5000

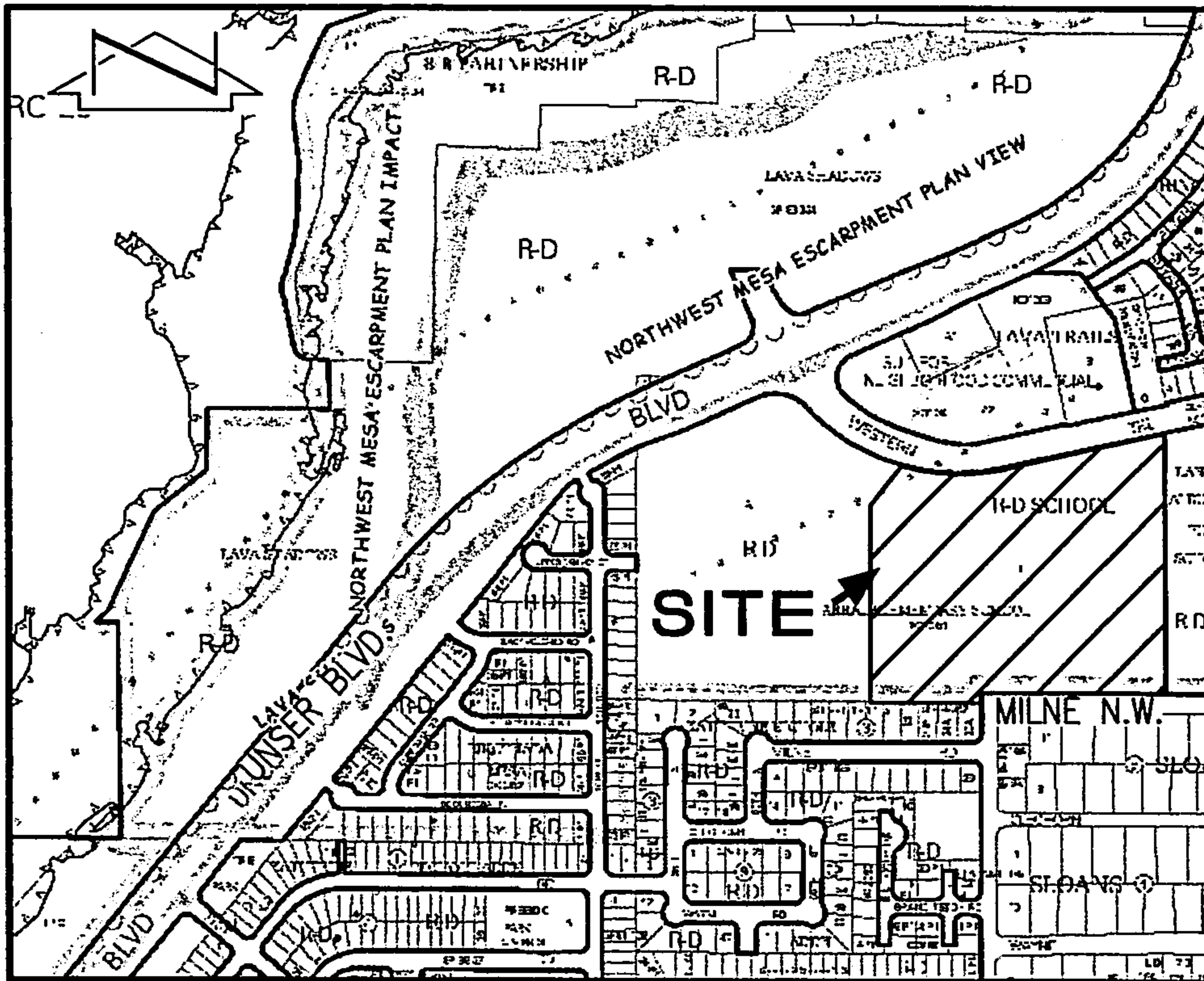
DATE SUBMITTED: 6-12-08

BY: David Aube P.E.

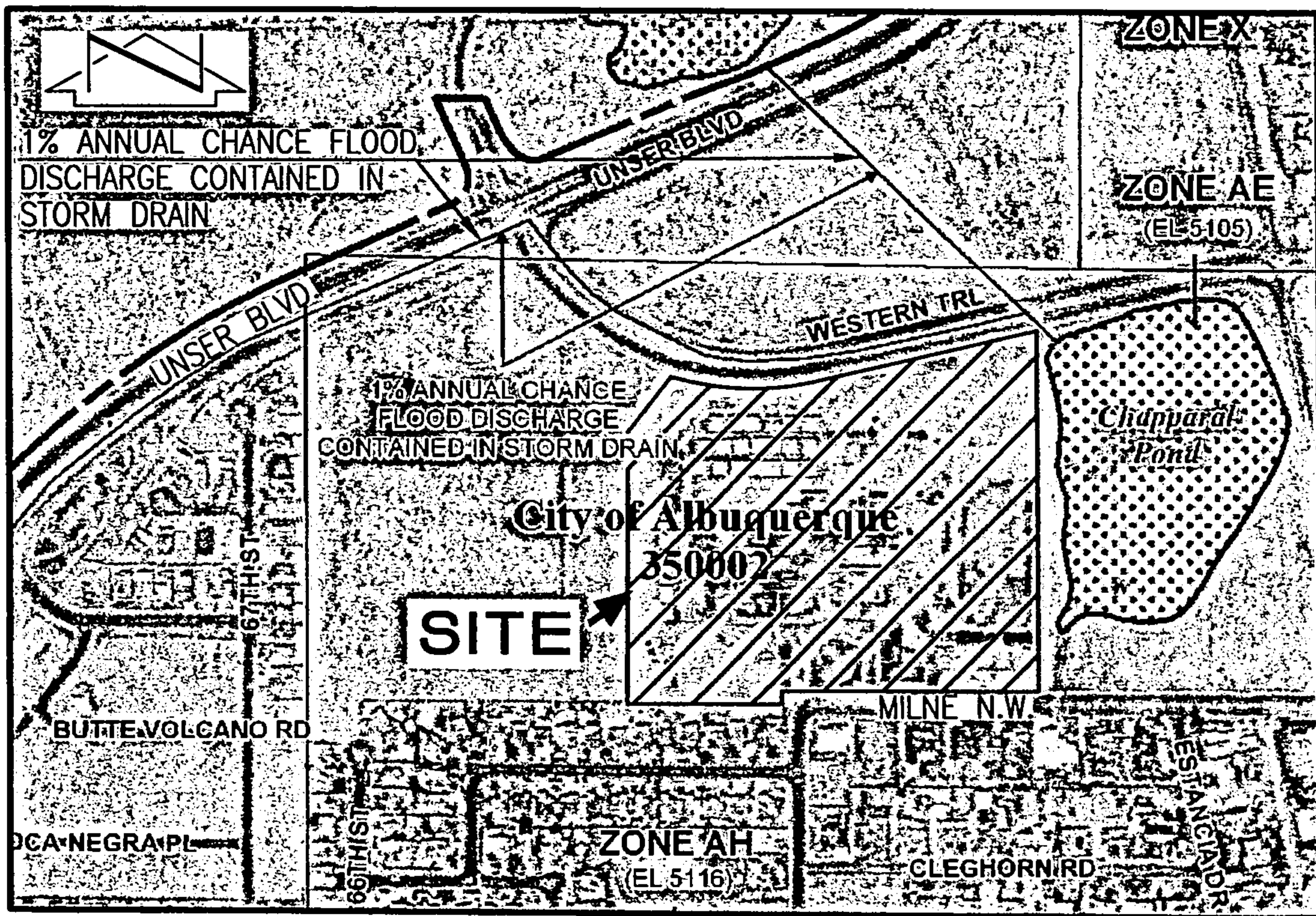


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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



B1 VICINITY MAP F-10
SCALE: 1" = 750'



A1 F.I.R.M. PANEL 114 OF 825
SCALE: 1" = 500'

File Path: E:\DATA\2008.180.1\ARRAL.DWG
File Name: 8180.ARRAL.DWG
Plot Date: 08-21-2009
Plot Time: 07:51 am

CHAPARRAL ELEMENTARY SCHOOL
6325 MILNE N.W.
ALBUQUERQUE, NM 87120

JOB NO. 2008.180.1
DATE: 07/21/09