

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 16, 2014

Tina Reames, R.A.
Cherry See Reames Architects
220 Gold Ave SW
Albuquerque, NM 87102

Re: Chaparral Elementary Kindergarten Classroom, 6325 Milne Rd NW
Submittal for Certificate of Occupancy – Transportation Development
Architect's Stamp dated 03/12/13 (F10D005A)
Certification dated 12/08/2014

Dear Ms. Reames,

Based upon the information provided in your submittal received 12-09-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

TRAFFIC CERTIFICATION

I, TINA REAMES, NEW MEXICO REGISTERED ARCHITECT, OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TINA REAMES OF THE FIRM CHERRY SEE REAMES ARCHITECTS P.C. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 8, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

12/8/14
Date





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CHAPARRAL ELEM. SCHOOL Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT B - Chaparral Elem School subdivision

City Address: 6325 MILNE ROAD NW; ALBUQ. NM 87120

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: ALBUQ. PUBLIC SCHOOLS Contact: DAVID RITCHEY

Address: 915 OAK STREET

Phone#: 848-8876 Fax#: _____ E-mail: ritchey-d@aps.edu

Architect: CHERRY SEE REAMES ARCHITECTS Contact: MARIE HOLLOWAY

Address: 220 GOLD AVENUE SW

Phone#: 842-1278 Fax#: 766-9269 E-mail: msholloway@cherryseereames.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: THOMPSON CONSTRUCTION Contact: DENNIS THOMPSON

Address: 8200 VENICE NE; ALBUQ. NM 87122

Phone#: 823-1218 Fax#: 856-1375 E-mail: dthompson@shumate.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes No Copy Provided

DATE SUBMITTED: 12-9-2014 By: Marie Shaver Holloway

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



1. REFER TO SHEET A401 FOR GENERAL ARCHITECTURAL INFORMATION.
2. REFER TO SHEET A5102 FOR SITE DIMENSIONS.
3. REFER TO SHEET A5401 FOR DIMENSIONS AND ADDITIONAL NOTES.
4. BRING ANY DISCREPANCIES BETWEEN THE CIVIL, DEMOLITION, AND ARCHITECTURAL SITE INFORMATION TO THE PROJECT'S ARCHITECT PRIOR TO BEGINNING WORK IN THE AREA IN QUESTION.
5. EXISTING VEGETATION TO REMAIN UNLESS NOTED OTHERWISE.
6. COORDINATE WITH SHEET A5011.
7. IF EXISTING SIDEWALK IS IN POOR CONDITION, REMOVE & REPLACE THAT PORTION OF CONCRETE.
8. ALL RESURFACED PAVING AND PARKING WITH NEW SIGNAGE SHALL BE STRIPPED TO THE BASE PLAN.
9. ALL NEW AND EXISTING SIDEWALKS TO HAVE A MINIMUM OF 3'-0" CLEAR SIDEWALK AROUND FIRE HYDRANTS.
10. TYPICAL PAVING SPACES ARE 9' X 20' - 6/20/13 F.A.

1. NEW ASPHALT ROAD PAVING. SEE DETAIL A4/AS501.
2. NEW LANDSCAPING, NIC.
3. NEW CONCRETE SIDEWALK PER DETAIL C4/AS501. COORDINATE WITH CIVIL DWGS.
4. NEW CONCRETE CURB AND GUTTER PER DETAIL E3/AS501, TYP. COORDINATE WITH CIVIL DWG.
5. EXISTING FIRE HYDRANT TO REMAIN.
6. NEW FIRE HYDRANT, NIC.
7. EXISTING RELOCATED FIRE HYDRANT, NIC.
8. NEW CROSSWALK. PROVIDE STRIPING ON ASPHALT DRIVE AS SHOWN.
9. EXISTING PORTCULOT TO REMAIN. PROTECT DURING CONSTRUCTION.
10. NEW CHAIN-LINK FENCE, SEE DETAIL C1/AS504.
11. PROVIDE NEW GRADING. SEE DETAIL C6/AS501 FOR SIDEWALK.
12. PROVIDE FENCE LINE, NO. 12" X 6" RED CURB WITH WHITE LETTERING AS INDICATED BY DASHED LINE AT EXISTING AND NEW CURB.
13. HANDICAP PARKING DROP-OFF ZONE.
14. 3' X 4' UNDERGROUND TEE-PAF FA BOX.
15. NEW METAL FENCE WITH 12" X 6" GATE FOR MAINTENANCE ACCESS.
16. EXISTING 2" WATER METER.
17. NEW ASPHALT PAVI. SEE DETAIL A5/AS501.
18. FUTURE LOCATION FOR PORTCULOT BUILDING.
19. EXISTING CONCRETE SIGN TO BE RELETED TO MATCH NEW.
20. NEW CONCRETE MOW STRIP/EDGER, SEE DETAIL E1/AS501.
21. HANDICAP PARKING SIGN, SEE DETAILS C1 & E1/AS502.
22. VAN ACCESSIBLE PARKING SIGN, SEE DETAILS C1 & E1/AS502.
23. NEW BURE BACKS SEE DETAIL MODEL #BRR3 IN GROUND MOUNT TYP. OF 18.
24. NEW ILLINOIS PIPE RAIL, SEE DETAIL E4/AS502.
25. NEW PIPE GATE, SEE DETAIL E1/AS504 PER CITY DWG. 2251.
26. NEW BENCH HEIGHT CONCRETE EDGER WALL. SEE DETAIL E2/AS501 & D4/AS501 S1.
27. CONCRETE HEIGHT CONCRETE EDGER WALL WITH METAL FENCE, OFFSET FENCE 50 BENCH IS STILL UABLE. SEE DETAIL D4/AS501 S1.
28. PLAYGROUND CONTAINMENT WALL, SEE DETAIL D4/AS502.
29. RAMP AT PLAYGROUND, SEE DETAILS A1 & B3/AS501.
30. HOW PARKING SIGN TYP. OF 6, SEE DETAILS C1 & E1/AS502.
31. EXISTING RELOCATED BENCHES, TYP. OF 6, SEE DETAILS C1 & E1/AS502.
32. RELOCATED DUMPSTERS, TYP. 5.
33. NEW METAL FENCE, SEE DETAIL A1 & A2/AS502.
34. NEW LONG-JUMP SAND PIT, SEE DETAIL D1/AS504.
35. ROLL OVER CURB, S1, TO CITY DETAIL DWG. 2428.
36. RELOCATED EXISTING BENCHES, TYP. OF 6.
37. RELOCATED EXISTING TRASH RECEPTACLE, TYP. OF 3.
38. EXISTING CROSS WALK LIGHT TO REMAIN.
39. NEW BENCH HEIGHT CONCRETE EDGER WALL W/O FENCE, SIMILAR TO DETAIL E2/AS501.
40. NEW SITE LIGHTING, SEE ELECTRICAL SITE PLAN.
41. TRENCH DRAIN, SEE CIVIL.
42. PIPE GATE OPEN POSITION STOP BOLLARD PER CITY DETAIL DWG. 2251.
43. EXISTING EXCLUSION PER CITY STANDARDS, SEE DETAIL E1 & E3/AS504 & C5/AS502.
44. PROVIDE 6" 0" HANDICAP ACCESSIBLE RAMP AT NEW SIDEWALK AND CROSSWALK. RAMP SLOPE TO MEET AMPS 1171-2003 STANDARDS.
45. EXISTING LIGHTING TO REMAIN. SEE ELECTRICAL SITE PLAN.
46. PORTION OF EXISTING OCMU WALL TO REMAIN.
47. AREA FOR NEW HOPSCOTCH LAYOUTS, PROVIDE 3 OF EACH, SEE A6 AND B6 ON AS504.
48. FUTURE CONCRETE WALKWAY.
49. FUTURE ADA PARKING WITH SIGNAGE AND PARKING BLOCKS.
50. FUTURE ACCESSIBLE WALKWAY.
51. FUTURE ASPHALT & CURB WORK.
52. PLAYAREA ACCESS RAMP, SEE DETAIL C6 OF AS501.
53. NEW CONCRETE WITH PAINTED 4 SQUARE LAYOUT, DIMENSIONS & PLACEMENT TO BE CONFIRMED BY OWNER. JOINTS SIMILAR TO DETAIL C4/AS501.
54. CONCRETE PARKING BLOCK (WHERE PARKING SIGNAGE IS USED) AND AT WALKWAYS - TYPICAL OF 15.
55. PLAYAREA ACCESS RAMP - SEE DETAIL B6 OF AS501.
56. EXISTING A "DO NOT ENTER" SIGN AT EGRESS POINT OF THE PARENT DROP OFF.
57. EXISTING PAINTED CROSS WALK.
58. NEW METAL FENCE WITH DOUBLE GATE FOR STUDENT ACCESS, SEE ENLARGED PLAN FOR DIMENSIONS.
59. EXISTING END ISLANDS
60. NEW DRIVE PAD PER CITY DRAWING 2425.

ZONING per Bernalillo County Atlas page F-10-Z
The site is zoned R-D. A school is a permissive use in an R-D Zone.
See 14-16-2-14(A)(1a).

ADDRESS
Chaparral Elementary School
6325 Milne Rd NW
Albuquerque, NM 87120

DESCRIPTION
Tracts A and B, Chaparral Elementary School, Albuquerque, NM as the same is shown and designated on the plat filed in office of the County Clerk of Bernalillo County, New Mexico on January 11, 2000, Book 200C, Page 9.

SITE SIZE 15.2 Acres

PARKING REQUIREMENTS

CARS

Albuquerque Zoning Ordinance, Section 14-16-3-1(A)(29):
One car space for each school employee.

Anticipated number of employees	151*
*Parking Calculations	
Full-Time Staff -	118
Part-Time Staff -	15
Transient Staff -	30-35
1/2 time on campus	15-18
<u>Total Employees</u>	<u>148-151</u>

Number of parking spaces provided 166
includes E & W Parent Parking -
32 additional spaces at non-peak hours
and 9 HC spaces.

DISABLED PARKING SPACES

Albuquerque Zoning Ordinance, Section 14-16-3-1(F)(9)(a)	
Required for 101-300	8
Provided	9

MOTORCYCLES

Albuquerque Zoning Ordinance, Section 14-16-3-1(C)(1)	
Required for 151-300 cars	5
Provided	4

BICYCLES

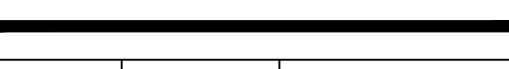
Albuquerque Zoning Ordinance, Section 14-16-3-1(B)(3b) One bicycle space for each 20 students.	
Anticipated Student Enrollment	750
At 1:20, Bicycles spaces required	38
Bike racks provided	21
Bicycles spaces provided	42

LOCATION OF DRIVES
The minimum approach and departure distance required from Intersection of two local streets is 25'-0" per Transportation Design, Chapter 23, August 2005, Page 23-81.

RECEIVED
JUN 12 2013
LAND DEVELOPMENT SECTION



Kindergarten / Classroom Building
Chaparral Elementary School Addition
6325 Milne Rd NW
Albuquerque, NM 87120



	4/1/2013	100% CD's
MARK	DATE	DESCRIPTION

ISSUE

MANAGEMENT BLOCK

PROJECT NO: CHAPARRAL
CAD DWG FILE: CHAP AS101.DWG
DRAWN BY: TMR
CHECKED BY:
COPYRIGHT: Cherry/See/Reames PC, 2013

TITLE OF SHEET

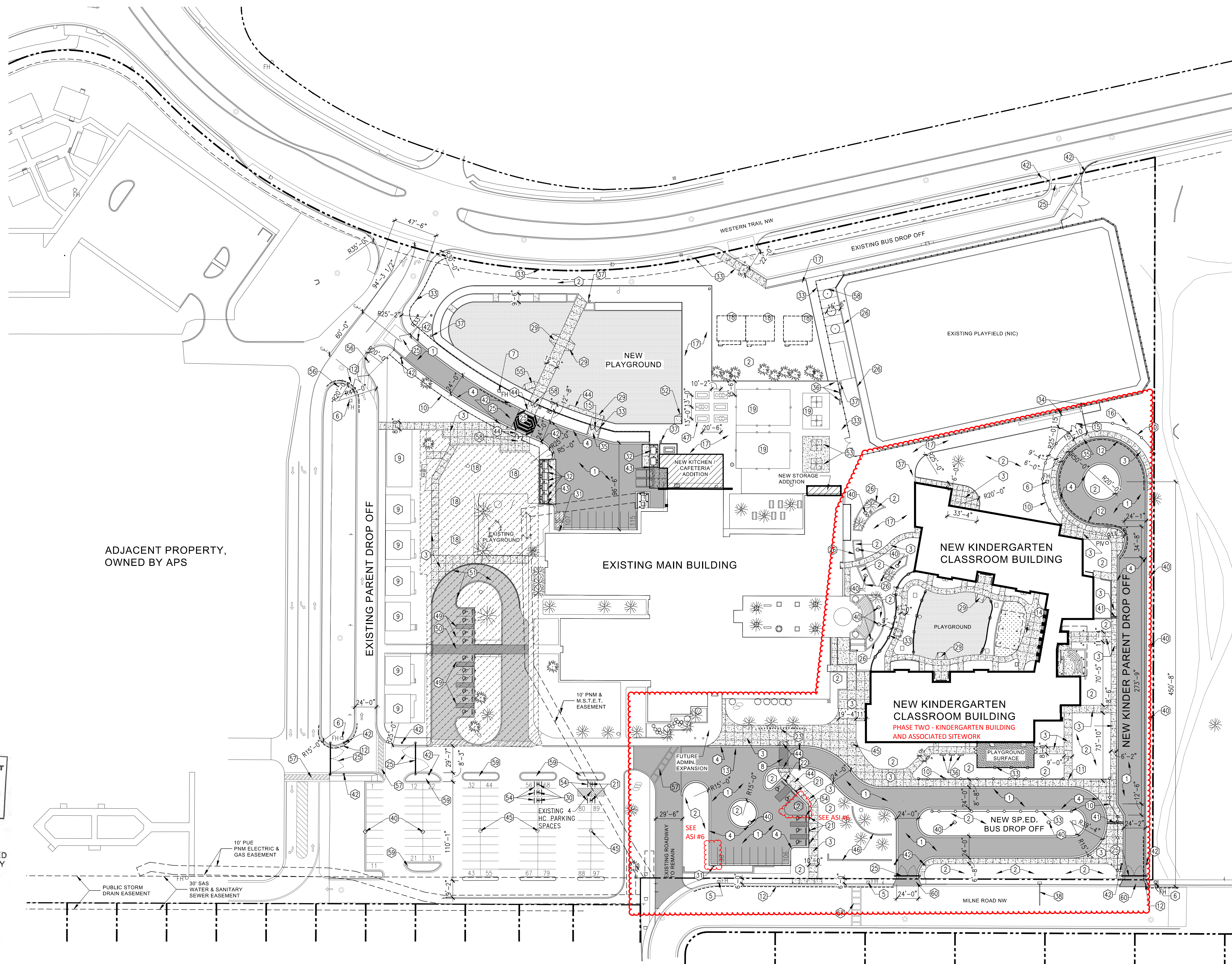
TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER

SHEET NUMBER

TCL101

SHEET OF



ADJACENT PROPERTY,
OWNED BY APS

TRAFFIC CIRCULATION LAYOUT
APPROVED

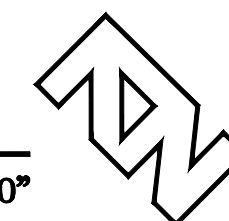
PKB 6/24/13
Signed Date

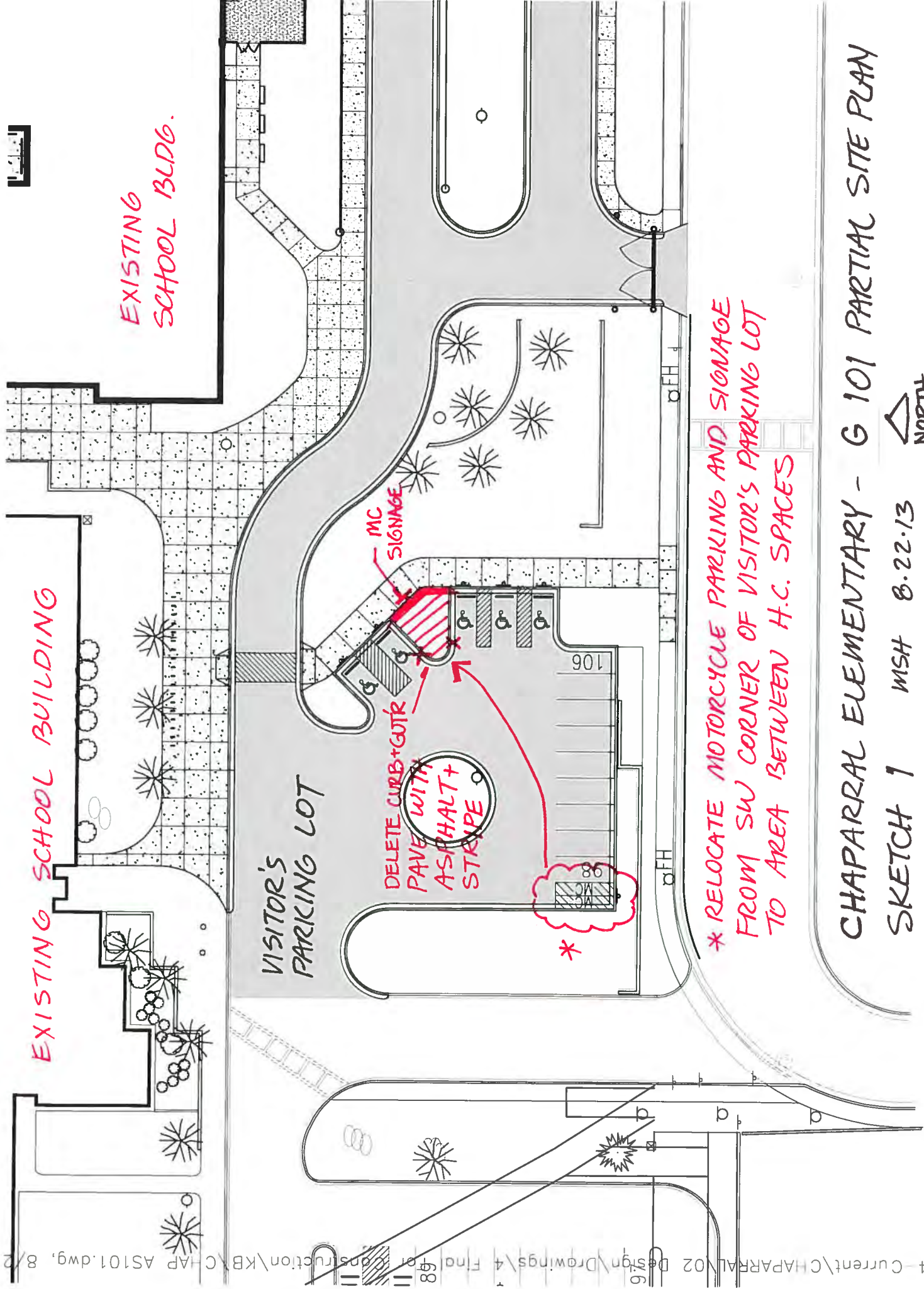
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 50'-0"





EXISTING SCHOOL BLDG.

VISITOR'S PARKING LOT

MC SIGNAGE

DELETE CURB+GUTR PAVE WITH ASPHALT+ STRIPE

* RELOCATE MOTORCYCLE PARKING AND SIGNAGE FROM SW CORNER OF VISITOR'S PARKING LOT TO AREA BETWEEN H.C. SPACES

CHAPARRAL ELEMENTARY - G 101 PARTIAL SITE PLAN

SKETCH 1 MSH 8.22.13



NORTH

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

X
X

PROJECT: Chaparral Elementary School
Additions - 6325 Milne Road NW
Albuq., NM 87120

ARCHITECT'S
SUPPLEMENTAL
INSTRUCTION # ~~5~~ 6
Visitor parking

DATE OF ISSUANCE:
August 22, 2013

OWNER: The Board of Education
Albuquerque Public Schools
6400 Uptown Blvd. NE
Albuq., NM 87110

APS PROJ. NO.: 0234.5107.31141

PSFA: P12-003

TO: Shumate Constructors, Inc.
8200 Venice Avenue NE
Albuq., NM 87122

ARCHITECT: Cherry / See / Reames Architects, PC
220 Gold Avenue SW
Albuq., NM 87102

CONTRACT FOR: CONSTRUCTION

ARCHITECT'S PROJECT CODE: CHAPARRAL

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

Description:

The program requested 10 visitor parking spaces, but only 9 are provided. Convert the 2 motorcycle spaces to the 10th visitor parking space, and relocate motorcycle parking and signage to the area between the handicap parking. Realign curb and gutter to allow access for motorcycles, asphalt pave and stripe this area as shown on the attached sketch.

Attachments:

G-101 PARTIAL SITE PLAN – SKETCH 1

ISSUED:

ACCEPTED:

BY: Marie Shaver Holloway
Project Manager

BY: _____
Contractor Date