

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 13, 2026

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 5179 Golondrina NW
Grading and Drainage Plan
Engineer's Stamp Date: 05/25/2026
Hydrology File: F11D005A
Case # HYDR-2026-00062**

Dear Mr. Soule:

Based upon the information provided in your submittal received 03/13/2026, the Grading and Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist for Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol. Submittal in ABQ-PLAN is also required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

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Sincerely,

A handwritten signature in black ink, appearing to read 'Bailey Thompson', followed by a long horizontal flourish.

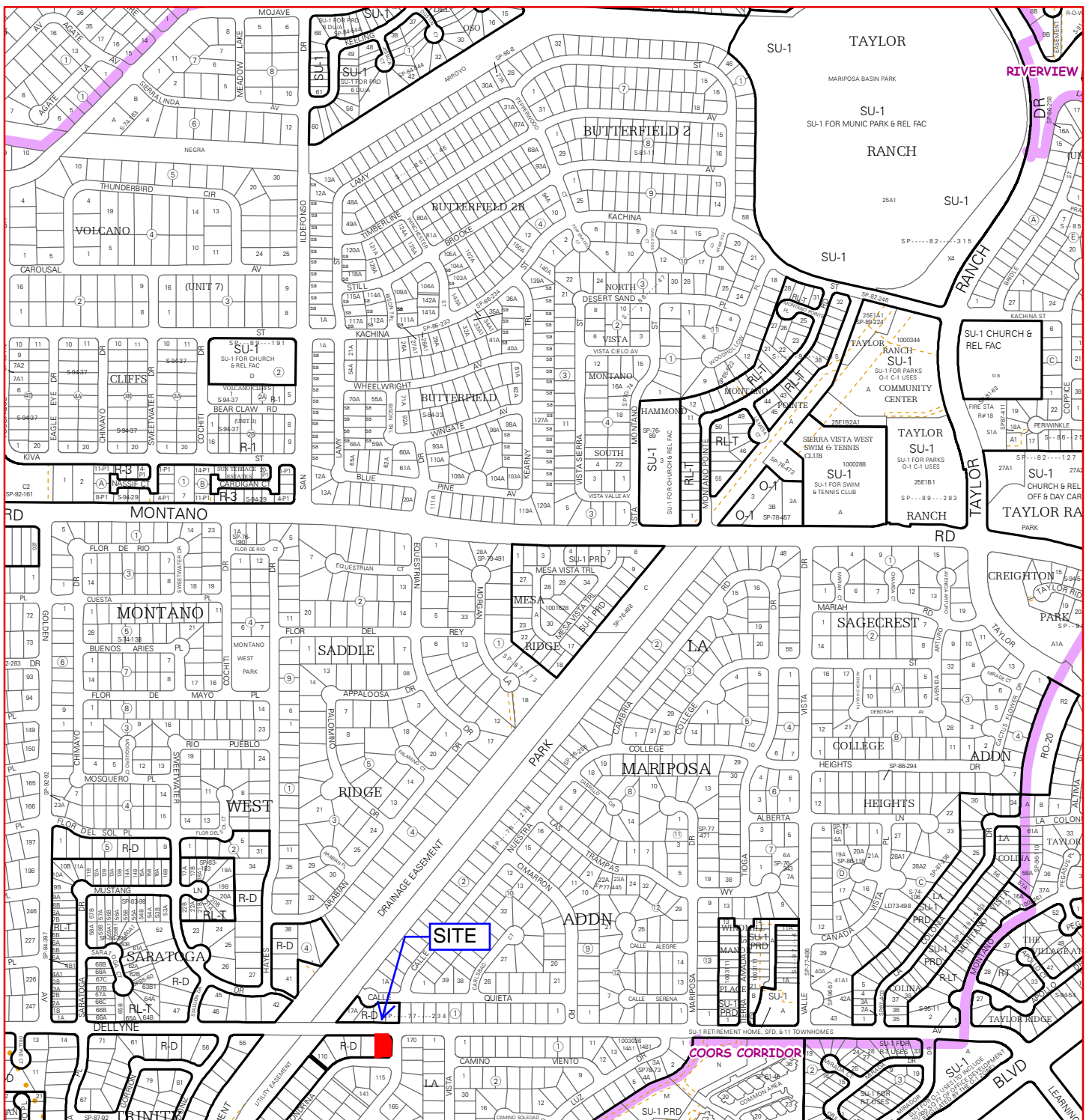
Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services

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For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Weighted E Method

Basin	Area (sq ft)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	100-Year Flow (cfs)	100-Year Volume (ac-ft)				
EXISTING	9490.00	0.273	0%	25%	0.054	33%	0.072	42%	0.092	1.831	0.024	0.70	0.043
FRONT BASIN	7611.00	0.220	0%	19%	0.033	25%	0.044	56%	0.068	1.631	0.024	0.60	0.042
REAR BASIN	1879.00	0.043	0%	40%	0.017	62%	0.028	0%	0.000	0.882	0.003	0.11	0.003

Weighted E = Ea*As + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

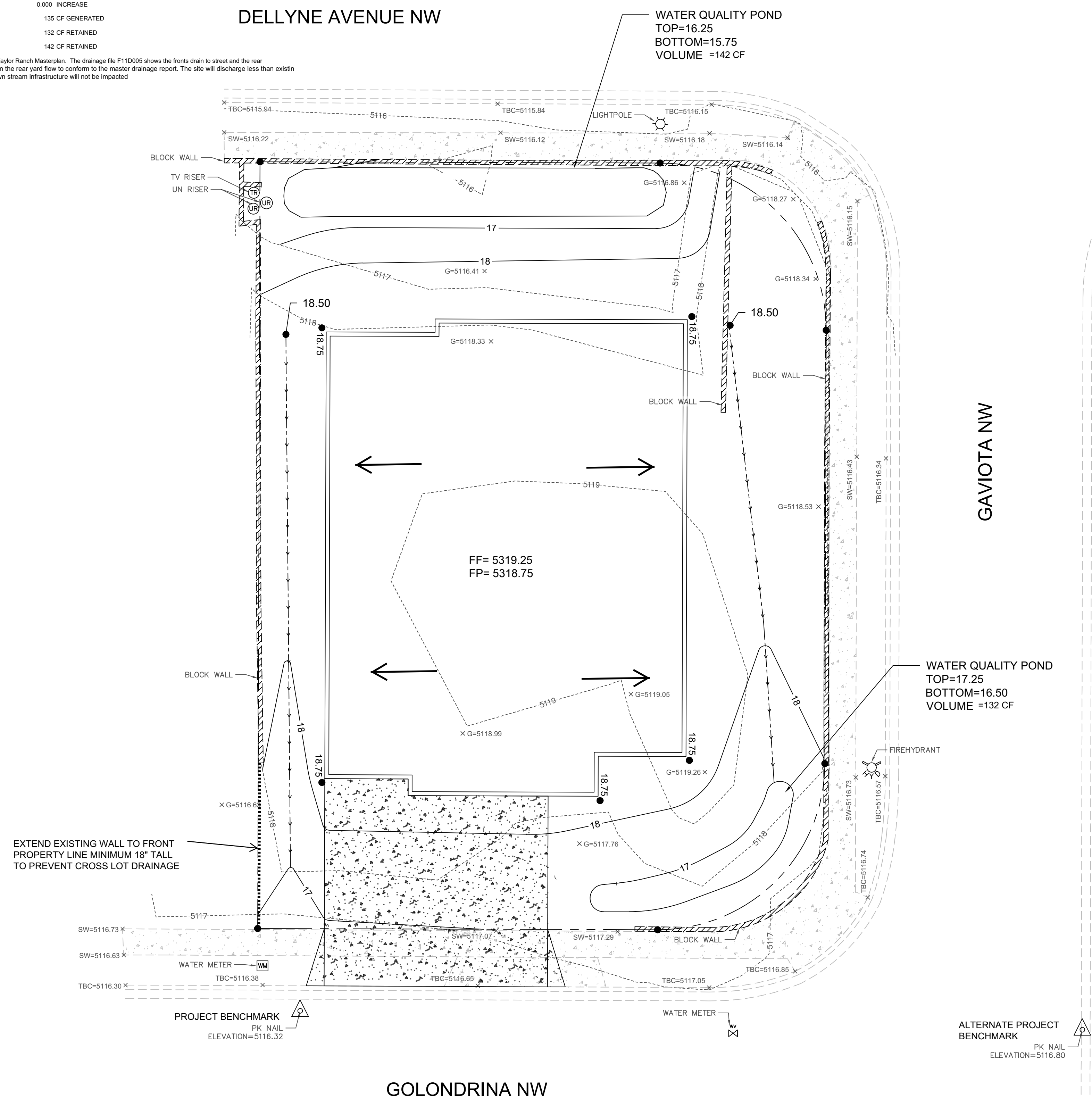
Flow = Qa * As + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 1)

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

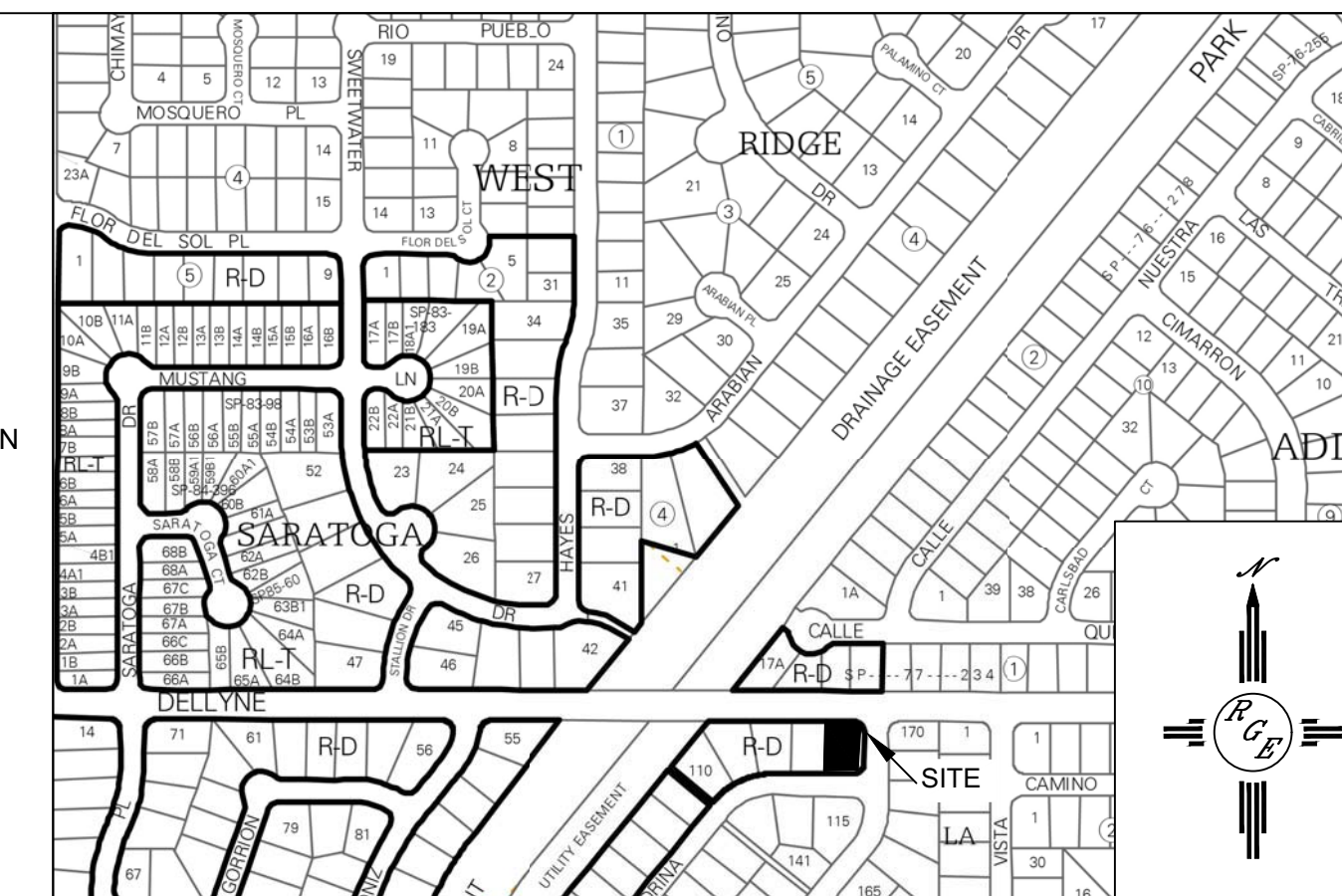
Developed Conditions	Peak rate	VOLUME
EXISTING DISCHARGE	0.70 cfs	
DEVELOPED DISCHARGE (FRONT)	0.60 cfs	0.000 INCREASE
DEVELOP DISCHARGE (REAR)	0 cf	135 CF GENERATED
PROPOSED PONDING FRONT*	0	132 CF RETAINED
PROPOSED PONDING REAR		142 CF RETAINED

This site is an existing lot within a fully developed subdivision. The site was part of the Taylor Ranch Masterplan. The drainage file F11D005 shows the fronts drain to street and the rear yard ponds. The proposed development will drain the house to roadway and retain the rear yard flow to conform to the master drainage report. The site will discharge less than exist and retain the remaining onsite. The lot will overflow to historical location. The down stream infrastructure will not be impacted.

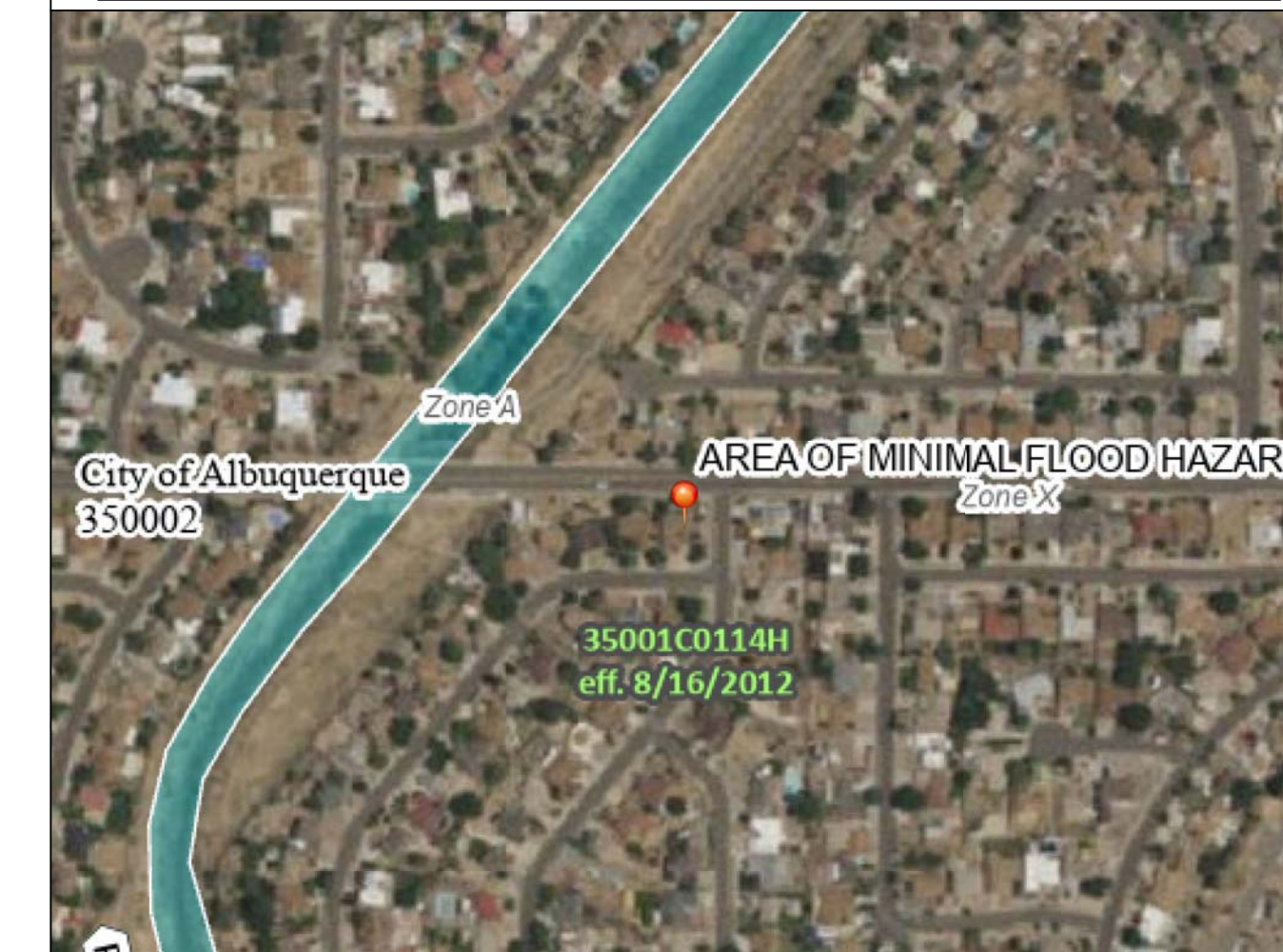


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP: 35001C0114H EFFECTIVE 8/16/2012

LEGAL DESCRIPTION:

114 AMENDED TRINITY RANCH ADDITION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY LORENZO E DOMINGUEZ, R.P.L.S. #10461 DYNAMIC CONSTRUCTION AND TECHNOLOGY LLC. STATE PLANE COORDINATES CENTRAL NAD83, GRID. DERIVED USING TRIMBLE VRS NETWORK.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

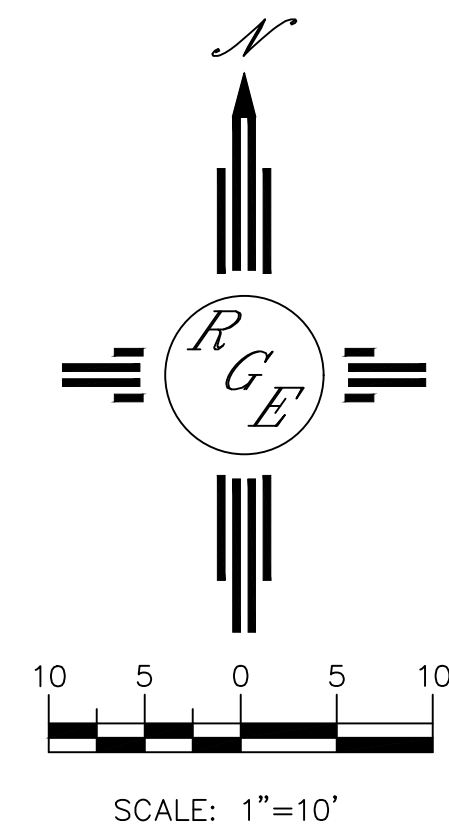
DATE: 3/13/2026
BY: [Signature]
HydroTeam # F11D005A

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OF DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

LEGEND

- XXXX ----- EXISTING CONTOUR
- XXXX ----- EXISTING INDEX CONTOUR
- XXXX ----- PROPOSED CONTOUR
- XXXX ----- PROPOSED INDEX CONTOUR
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ===== ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED CONCRETE
- ===== PROPOSED COMPACTED EARTHEN BERM

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	114 AMENDED TRINITY RANCH ADDITION 5179 GOLONDRINA NW GRADING AND DRAINAGE PLAN	DRAWN BY MM
		DATE 2-24-2026
3/12/26	ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1
DAVID SOULE P.E. #14522		JOB #