

GENERAL NOTE:

1. UTILITY PADS TRANSFORMERS AND TELEPHONE BOXES SHALL BE SCREENED WITH WALLS AND VEGETATION
2. ROOF MOUNTED EQUIPMENT AND EXTERIOR TRASH AND UTILITY BOXES SHALL BE SCREENED
3. THERE SHALL BE NO OUTDOOR STORAGE THAT FACES COORS BLVD. OR IS VISIBLE FROM THE PUBLIC ROW
4. ON-SITE LIGHTING LUMINANCE SHALL NOT EXCEED 1,000 LAMBERTS FROM ANY POINT AND 200 LAMBERTS FROM ANY RESIDENTIAL PROPERTY LINE.
5. ALL ON-SITE HANDICAP RAMPS SHALL BE DESIGNED ACCORDING TO AASHTO SPECIFICATIONS



PROJECT NUMBER: 1004675

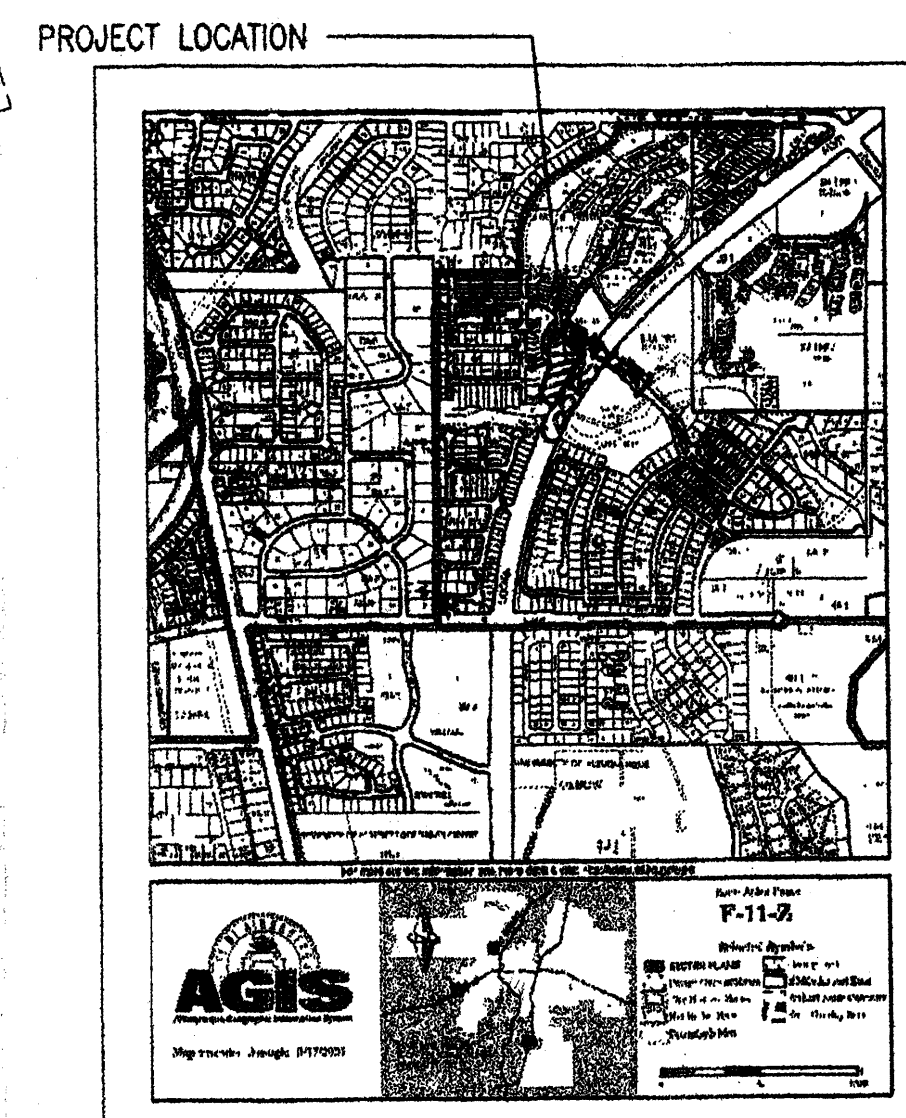
APPLICATION NUMBER: _____

Is an infrastructure List required? () YES () NO If yes, then a set of approved ORC plans with a good order is required for any construction within Public Right-of-Way or for construction of public improvements.

DOB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

[Signature] 7-25-08
 Traffic Engineering, Transportation Division Date
[Signature] 6-25-08
 Planning Division Date
[Signature] 6/25/08
 Planning Division Date
[Signature] 6/25/08
 City Engineer Date

Environmental Health Department Date
[Signature] 8/15/08
 Solid Waste Management Date
[Signature] 6/23/08
 Date
 * Environmental Health, if necessary

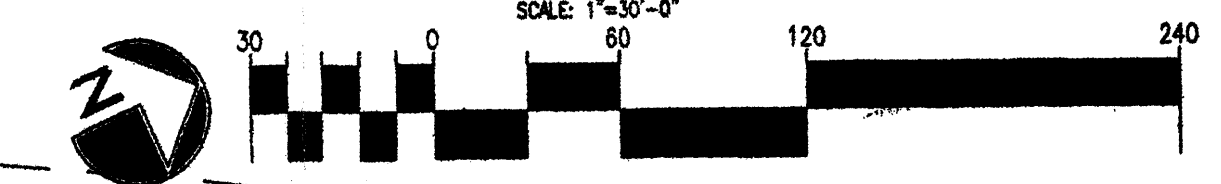


2 VICINITY MAP

KEYED NOTE:

- 1' 8" WIDE INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
- PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
- EXISTING 6' SIDEWALK
- EXISTING RAMP
NOTERAMP APPROVED UNDER 06-EPC-1004675/CITY PROJECT # 791481
- INDICATES MIN 10 FOOT LANDSCAPE BUFFER REQUIREMENT
- INDICATES MIN 35' FOOT LANDSCAPE BUFFER REQUIREMENT
- INDICATES 20 FOOT HIGH LIGHT POLE SETBACK REQUIREMENT.
LIGHTPOLES PROVIDED WITHIN SETBACK SHALL BE A MAX OF 16 FOOT IN HEIGHT RE: DETAIL 6/A3.0 FOR INFO
- HANDICAP RAMP PER COA STD DWG #2428
AT 1:1.2 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
- INDICATES 6' HIGH CMU
SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA
NOTE:COLOR AND DESIGN APPROVED UNDER 06-EPC-1004675
- INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
RE: DETAIL 4/A3.0 FOR INFO
- W/ 8' LONG X 3' WIDE BENCH SHADED BY BUILDING AND LANDSCAPING
- PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLITFACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A30 FOR DET.)
- INDICATES PROPOSED FIRE HYDRANT LOCATION
RE: UTILITY PLAN FOR INFO
- INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
RE: SITE PLAN FOR LOCATIONS
- MONUMENT SIGN. RE: DETAIL 13/A3.0 FOR INFO
- INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0
NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- INDICATES 18" HIGH BENCH LOCATION
- H.C PARKING LOCATION RE: DETAIL 9/A3.0 FOR INFO
- INDICATES 15 FOOT PARKING SETBACK
- INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
- INDICATES SIDEWALK SECTION PER COA STD. DET. 2430
- INDICATES 1' KNOTCH WITHIN PARKING AREA FOR ONSITE WATER HARVESTING. NOTE: LANDSCAPE AREA ADJACENT TO CURB
KNOTCH SHALL BE DEPRESSED BELOW FLOWLINE TO ALLOW FOR INFILTRATION INTO LANDSCAPE AREAS
- INDICATES BUS SHELTER PER STD. DET. 2535.01/02/06/08/09/10
- INDICATES EXISTING COTTONWOOD TREES TO REMAIN

SITE PLAN FOR BUILDING PERMIT



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

FD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
R.T. [Signature] 10-24-0
SIGNATURE & DATE

PROJECT TITLE	
VISTAS DE LA LUZ COMMERCIAL N.W.C. OF COORS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO	
PROJECT MANAGER	DRAWN BY:
STEPHEN DUNBAR /AA	S
JOB NO.	
SHEET TITLE	
SITE PLAN FOR BUILDING PERMIT	

DATE: 9/1/06	sheet- A1.1
SCALE: 1"=3'	RECEIVED

MAY 06 2009

HYDROLOGY
SECTION