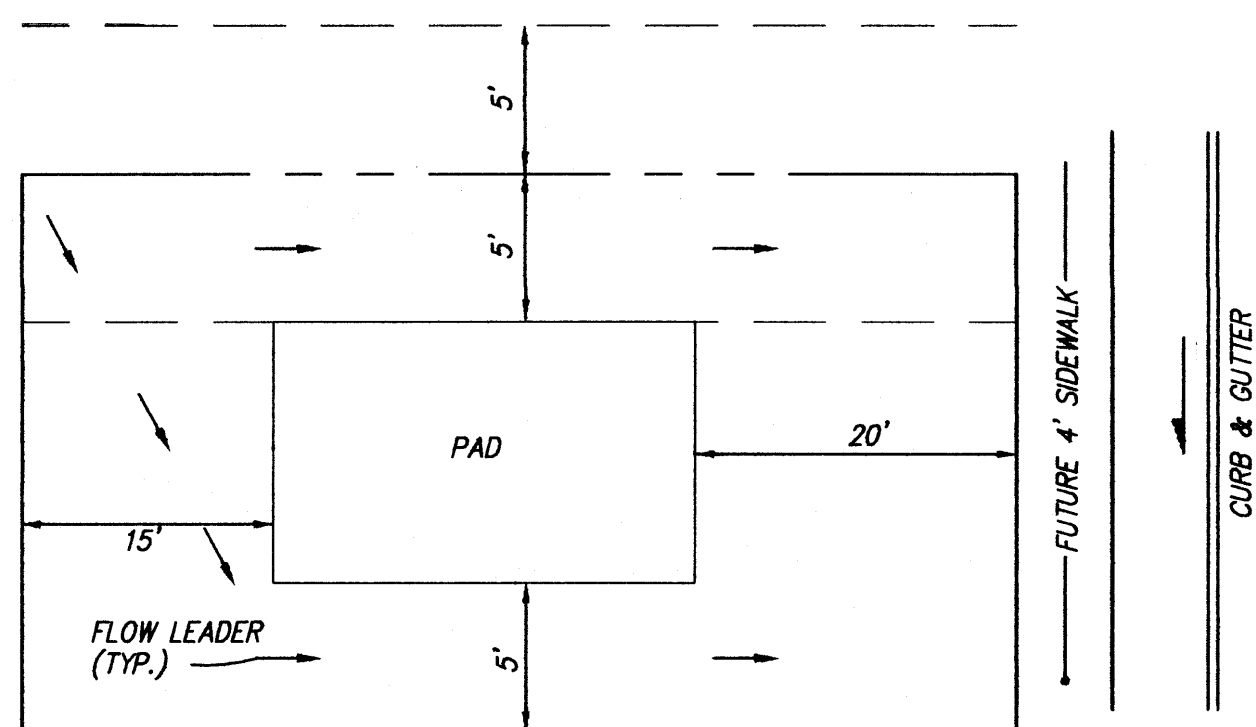


EROSION CONTROL BERM DETAIL

N.T.S.

# EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



TYPICAL LOT LAYOUT PLAN

N.T.S.

# LEGAL DESCRIPTION:

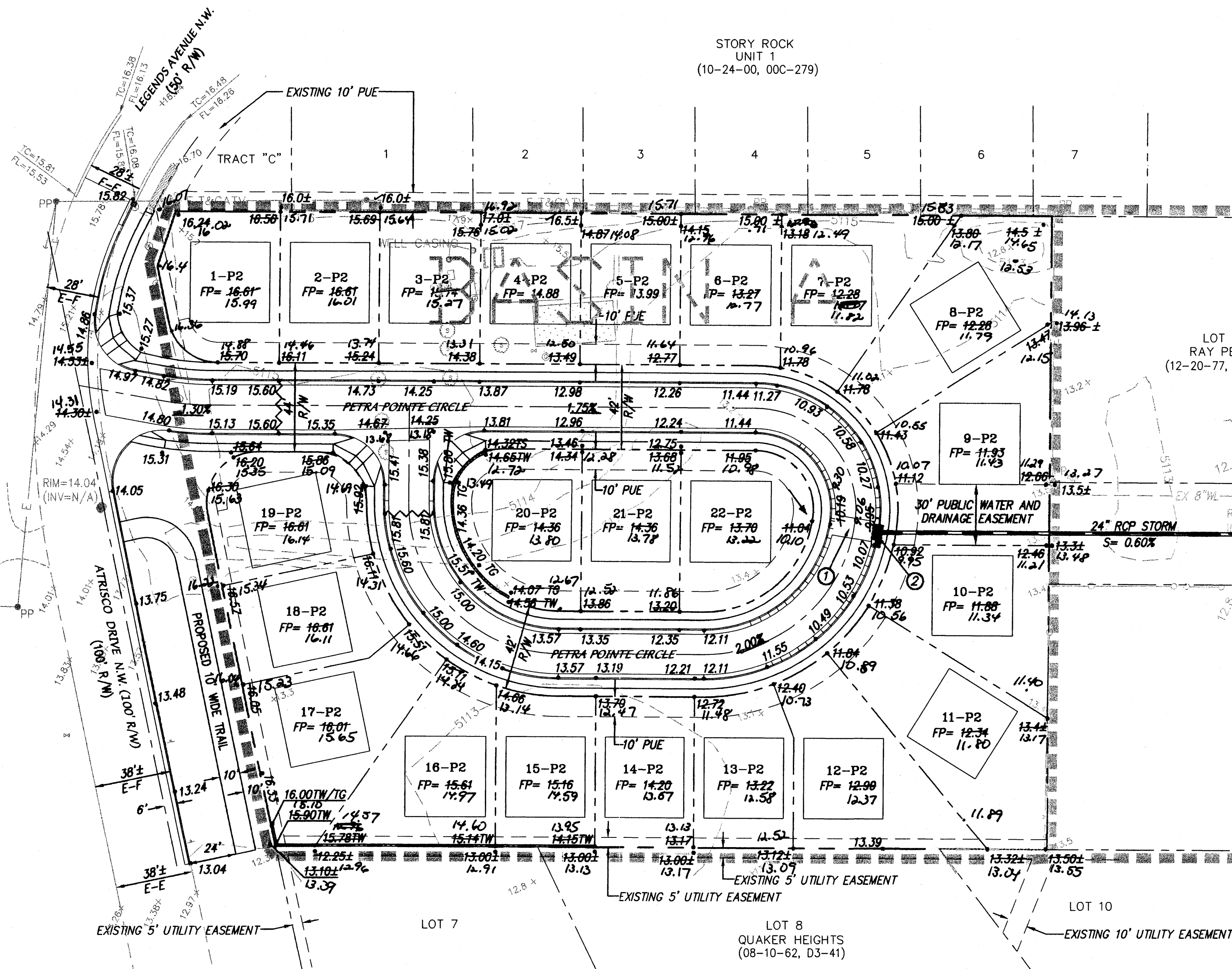
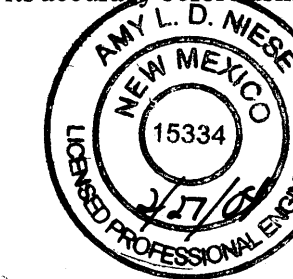
CLYDE LELAND SUBDIVISION, LOTS 1 THRU 3, SITUATE WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO.

# DRAINAGE CERTIFICATION

I, Amy L. D. Niese, NMPE 15334, of the firm Mark Goodwin & Associates, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated July 7, 2003. The record information edited onto the original design document has been obtained by Tim Aldrich, NMPS 7719, of the firm Aldrich Land Surveying. I further certify that I have personally visited the project site on 4/27/2004, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Release of Financial Guarantee.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Amy L. D. Niese NMPE 15334



# KEYED NOTES

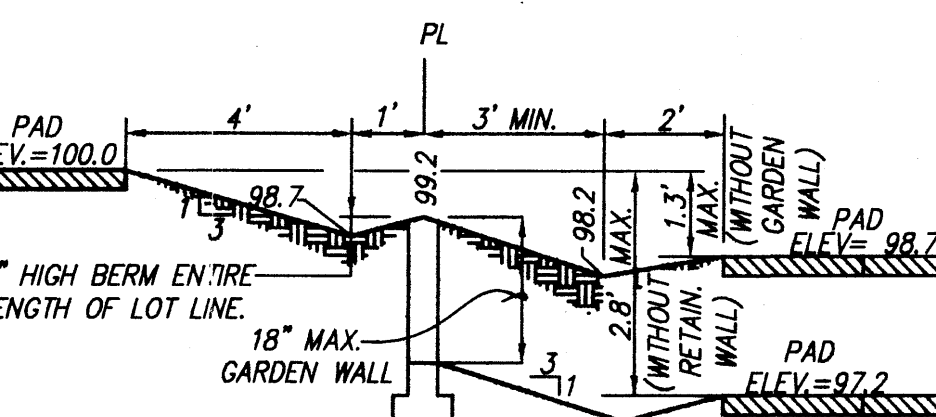
1. PROPOSED 10' WIDE VALLEY GUTTER
2. PROPOSED DOUBLE TYPE "A" INLET  
TG= 9.95  
INV.= 4.65
3. PROPOSED 6" DIA. TYPE "E" SD MANHOLE  
RIM= 11.00±  
INV. (W)= 2.00  
INV. (E)= 1.95
4. PROPOSED 8" DIA. TYPE "E" SD MANHOLE  
RIM= 10.60±  
INV. (W)= 100.57  
INV. (EXIST.)= 96.07±

APPROVED ROUGH GRADING ±18"

CITY HYDROLOGY DATE

# LEGEND

— 5115 —	EXISTING CONTOUR (MAJOR)	=====	NEW STANDARD CURB & GUTTER
— 5113 —	EXISTING CONTOUR (MINOR)	=====	NEW MOUNTABLE CURB & GUTTER
— 13.3x —	EXISTING SPOT ELEVATION	=====	NEW SIDEWALK
=====	EXISTING CURB & GUTTER	=====	NEW RIGHT-OF-WAY
=====	EXISTING CONCRETE SIDEWALK	=====	NEW CENTERLINE
=====	EXISTING WALL OR HEAD WALL	=====	NEW LOT LINES
— PP —	EXISTING POWER POLE	-----	NEW/EXISTING EASEMENTS
— E,T&CATV —	EXISTING GUY WIRE	00.00.	PROPOSED SPOT ELEVATION
— 00 —	EXISTING OVERHEAD ELECTRIC	FP= 00.00	PROPOSED FINISHED PAD ELEVATION
— 00 —	EXISTING UG GAS MARKER/GAS SERVICE	00.00TW.	PROPOSED TOP OF WALL ELEVATION
— 00 —	EXISTING TREE STUMP	=====	PROPOSED RETAINING WALL
— 00 —	EXISTING TREE	=====	PROPOSED STORM DRAIN LINE
— 00 —	EXISTING WATER SPIGOT	=====	PROPOSED STORM DRAIN MANHOLE
— 00 —	EXISTING WATER VALVE	=====	PROPOSED STORM DRAIN INLET
— 00 —	EXISTING FIRE HYDRANT	=====	PROPOSED HIGH POINT
— EX 8"WL —	EXISTING WATERLINE	=====	PROPOSED BASIN BOUNDARY
— EX 8"SAS —	EXISTING SANITARY SEWER MANHOLE	=====	
— EX 8"SAS —	EXISTING SANITARY SEWER LINE	=====	
— 00 —	EXISTING STORM DRAIN MANHOLE	=====	
— 00 —	EXISTING STORM DRAIN LINE	=====	

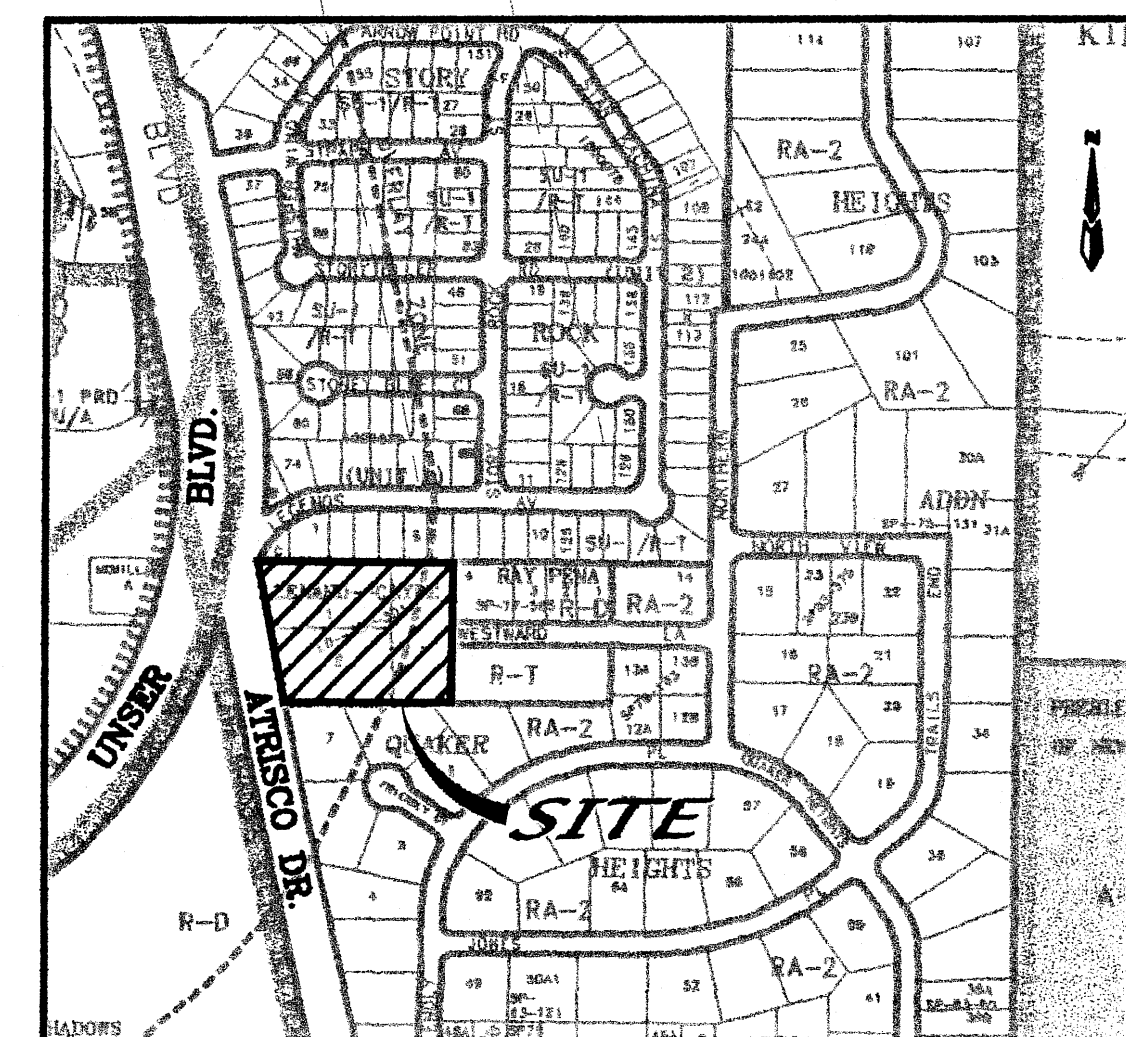


# NOTES:

1. A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY.
2. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.8' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
3. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.8' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.

# TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL

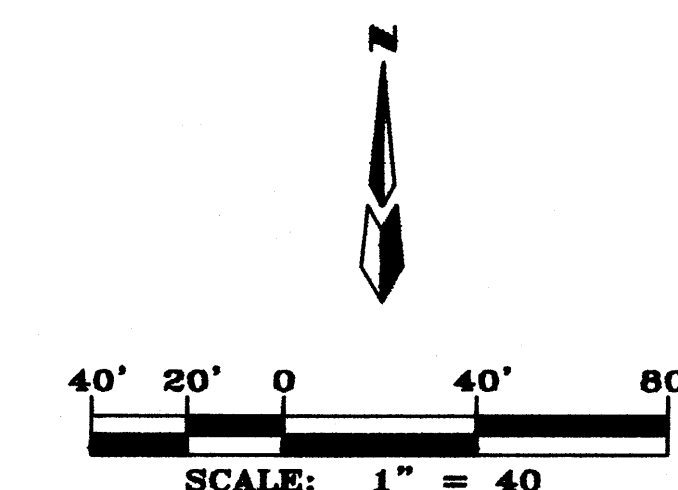
NTS ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.8' WILL REQUIRE RETAINING WALLS



LOCATION MAP

ZONE ATLAS F-11-Z

SCALE: NONE



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MARK GOODWIN & ASSOCIATES, P.A.  
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ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

TITLE:

RECEIVED  
APR 28 2004  
PETROGLYPH GARDENS SUBDIVISION  
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF

F-11-Z