

CITY OF ALBUQUERQUE



November 7, 2018

Freddie P Montoya, R.A.
Casa Design Studio
4515 10th St. NW
Albuquerque, NM 87107

**Re: Sandia View Assisted living,
4631 Mi Cordelia Dr. NW 87120
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 2-22-17 (F11D015)
Certification dated 10-22-18**

Dear Mr. Montoya,

Based upon the information provided in your submittal received 11-05-18, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please correct ADA parking sign.
- Please stripe access aisle and add NO PARKING.
- Please stripe ADA Parking Stall per approved TCL plan.

Once corrections are complete resubmit acceptable package along with a completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal please submit to PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3981

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

GENERAL NOTES

- A. ALL SIDEWALK AND CURB & GUTTER ALONG CORDELIA DRIVE MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. IF REPLACEMENT IS NEEDED, SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 - SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - CUTTER DETAILS AND 2430 - SIDEWALK DETAILS.
- B. THIS DRAWING WAS DERIVED BY A PLAT SURVEY PROVIDED BY THE OWNER. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES TO THE DESIGNER AND OWNER.

PROPERTY INFORMATION

ADDRESS: 4631 MI CORDELIA DRIVE NW, ALBUQUERQUE, NM 87120

LEGAL DESCRIPTION: LOT NUMBERED THIRTEEN-P1 (13-P1) THE PLAT OF ANDULUCIA AT LA LUZ (A RE-PLAT OF TRACT 1, LANDS OF SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 3, 2005, IN PLAT BOOK 2005 C, PAGE 44.

DEVELOPMENT TYPE: EXISTING HOME RENOVATION TO AN ASSISTED LIVING RESIDENCE

DEVELOPMENT SIZE: 3,623 SQUARE FEET (TOTAL AREA)

LOT SIZE: 8,276 SQUARE FEET (INCLUDES HOME)

EXECUTIVE SUMMARY

- A. GENERAL PROJECT LOCATION: NORTHWEST ALBUQUERQUE IN ANDULUCIA AT LA LUZ A COUPLE OF BLOCKS SOUTHEAST OF COORS BLVD. AND SEVILLA AVE. INTERSECTION.
- B. DEVELOPMENT CONCEPT FOR THE SITE: REMODEL/ UPDATE INTERIOR SPACES TO NEW ASSISTED LIVING RESIDENCE. 2 STANDARD PARKING SPACE WITH 1 ACCESSIBLE PARKING SPACE WILL BE MARKED AT RESIDENCE (CURRENTLY EXISTING PARKING) FRONT AND 1 STANDARD PARKING SPACE WILL BE PROVIDED AT EXISTING 1 CAR GARAGE.
- C. TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO REMAIN AS IS. PARKING IS MAINLY FOR STAFF. RESIDENTS DO NOT DRIVE BUT ARE PICKED UP AND DROPPED OFF BY FAMILY.
- D. IMPACT ON THE ADJACENT SITES: ACCESSIBLE PARKING SPACES MARKINGS/ ACCESSIBLE SIGN WILL BE VISIBLE OFF OF MI CORDELIA DRIVE.

PARKING CALCULATIONS

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE: 14-16-3-1 (A) (7)
 ONE SPACE + ONE SPACE PER 4 CLIENTS
 SEVEN BEDS TOTAL PROVIDED

PARKING SPACES REQUIRED: 3
 ACCESSIBLE SPACES REQUIRED: 1

PARKING SPACES (OFF STREET) PROVIDED: 3 (2 AT RESIDENCE FRONT AND 1 AT EXISTING 1 CAR GARAGE.)
 ACCESSIBLE PARKING SPACES PROVIDED: 1

LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 8,276 SQ.FT.
 BUILDING AREA: 3,623 SQ.FT.
 NET LOT AREA: 4,653 SQ.FT.
 LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA) 7,842 SQ.FT. X .15 = 698 SQ.FT.
 LANDSCAPE AREA PROVIDED = 2,522 SQ.FT.
 FRONT YARD = GRAVEL/ SHRUBS/ TREES = 507 SQ.FT.
 BACKYARD LAWN = 548 SQ.FT.
 BACKYARD AND SIDES GRAVEL/ SHRUBS/ TREES = 1,467 SQ.FT.
 TOTAL = 2,522 SQ.FT. (80% MINIMUM VEGETATED GROUND COVERAGE TO BE PROVIDED)

NUMBER OF RESIDENTS TO OCCUPY

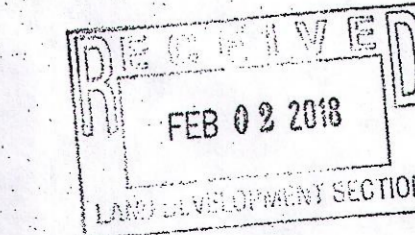
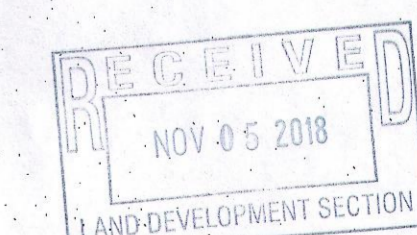
7 RESIDENTS

KEYED NOTES

1. EXISTING RESIDENCE MAIN ENTRY.
2. EXISTING CONCRETE PAVING.
3. EXISTING CONCRETE SIDEWALK TO REMAIN.
4. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
5. EXISTING ASPHALT PAVED STREET TO REMAIN.
6. EXISTING CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
7. EXISTING PROPERTY LINE TO REMAIN.
8. EXISTING WATER METER TO REMAIN.
9. EXISTING DRIVE PARKING.
10. NEW CONCRETE RAMP TO DOOR LANDING TO BE 1:20 MAXIMUM SLOPE (NO HANDRAIL REQUIRED).
11. DOOR TRANSITION FROM INTERIOR TOP OF FINISH FLOOR TO EXTERIOR TOP OF NEW CONCRETE PAVING IS NO GREATER THAN 1/2". PROVIDE ADA DOOR THRESHOLD.
12. EXISTING LANDSCAPE AREA TO REMAIN.
13. RESIDENCE.
14. EXISTING SITE WALL TO REMAIN.
15. EXISTING GATE TO REMAIN.
16. NEW 4" CONCRETE PAVING WITH TURNDOWN EDGES AT EXPOSED SIDES.
17. PAINT/ STRIPING AS SHOWN.
18. EXISTING 4" CONCRETE SLAB FOR ACCESSIBLE PARKING. VERIFY COA MAXIMUM SLOPE REQUIREMENTS ARE MET - 1% MINIMUM AND 2% (1:50) MAXIMUM.
19. NEW PAINTED PARKING SYMBOL. SEE DETAIL D3 THIS SHEET.
20. NEW PARKING SIGN. SEE DETAIL D4 THIS SHEET. INSTALL SIGN AT EXISTING WALL.
21. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
22. NEW 4" CONCRETE SIDEWALK, 2% (1:50) SLOPE MAXIMUM.

LANDSCAPING LEGEND

- SOD/ GRASS LAWN
- GRAVEL GROUND COVER
- BUSH/ JUNIPER PLANT/ GROUNDCOVER
- EVERGREEN TREE
- DECIDUOUS TREE
- CONCRETE PAVING



NO MARK-UPS NEEDED AS CONSTRUCTION WAS BUILT AS DRAWN (APPROVED) 2/13/18

FREDDIE P. MONTOYA ARCHITECT
 IN CONJUNCTION WITH
 CASA DESIGN STUDIO
 CASA DESIGN STUDIO (DESIGNER)
 CONTACT NUMBER:
 505.908.0046 C

PROFESSIONAL STAMP
 STATE OF NEW MEXICO
 FREDDIE P. MONTOYA
 No. 3676
 Registered Architect

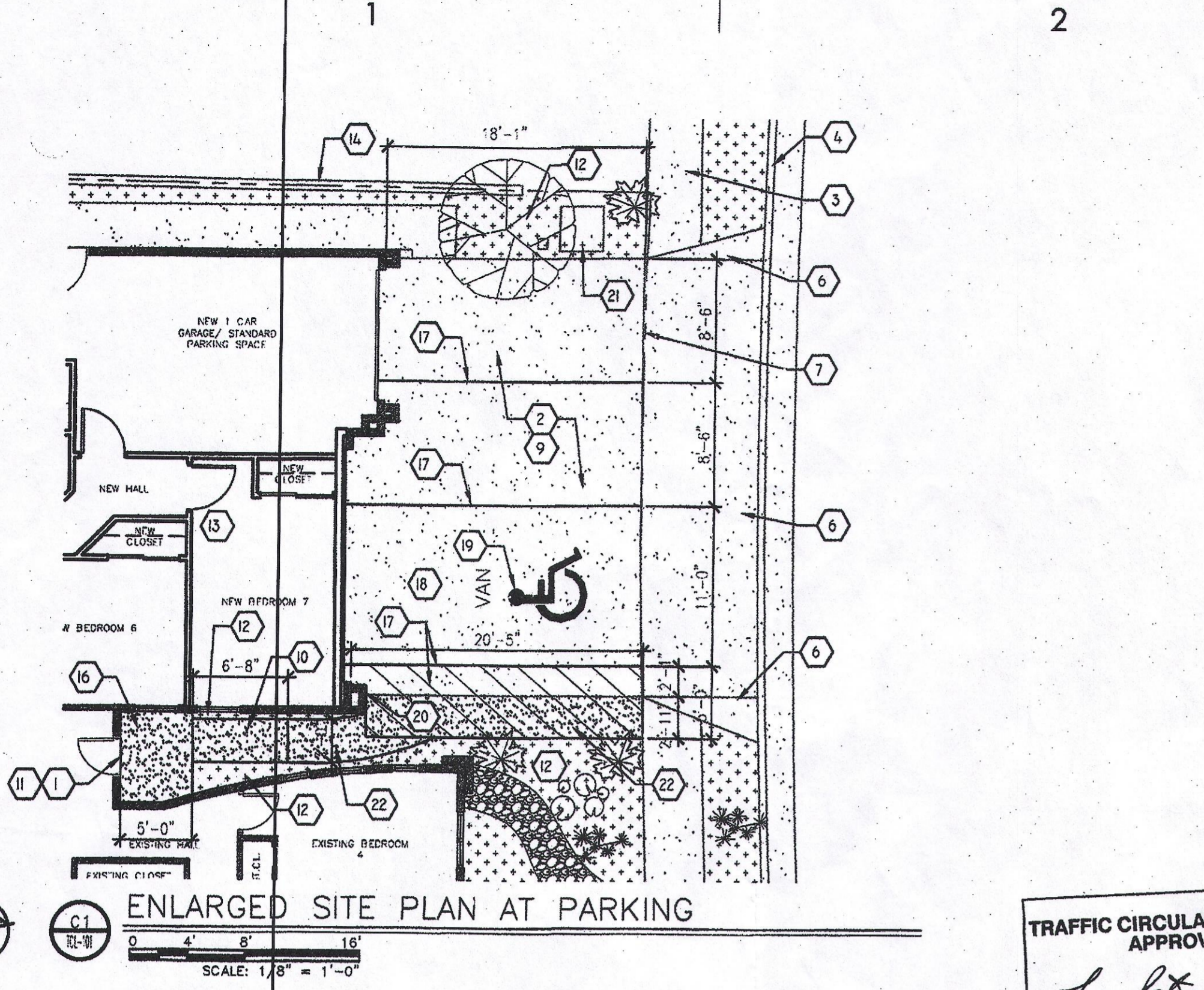
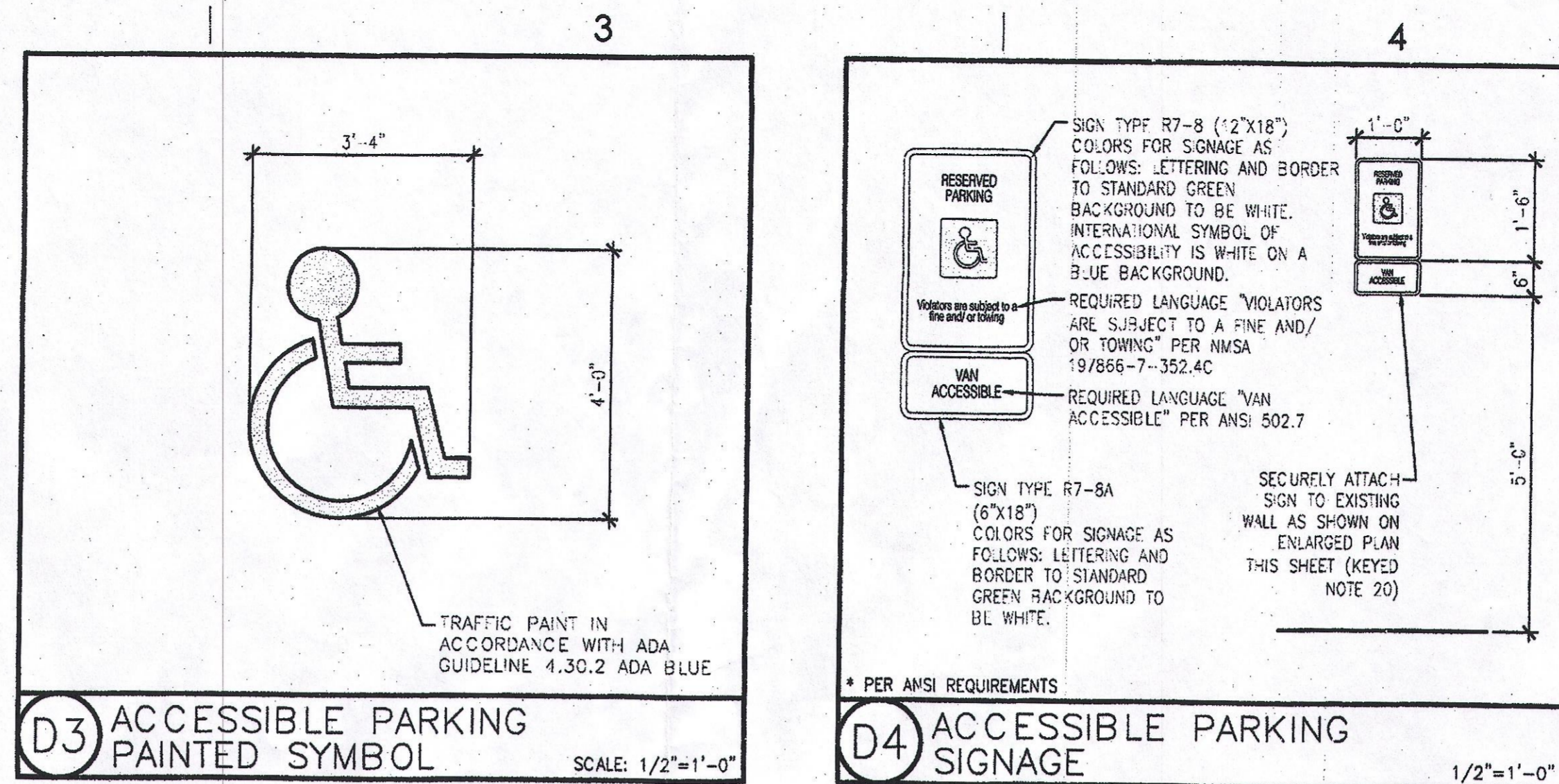
SANDIA VIEW ASSISTED LIVING
 RENOVATIONS AT CORDELIA
 ALBUQUERQUE
 NEW MEXICO

REVISION	DATE	DESCRIPTION

DRAWN BY: WA
 CHECK BY: FM
 DATE: FEBRUARY 2018

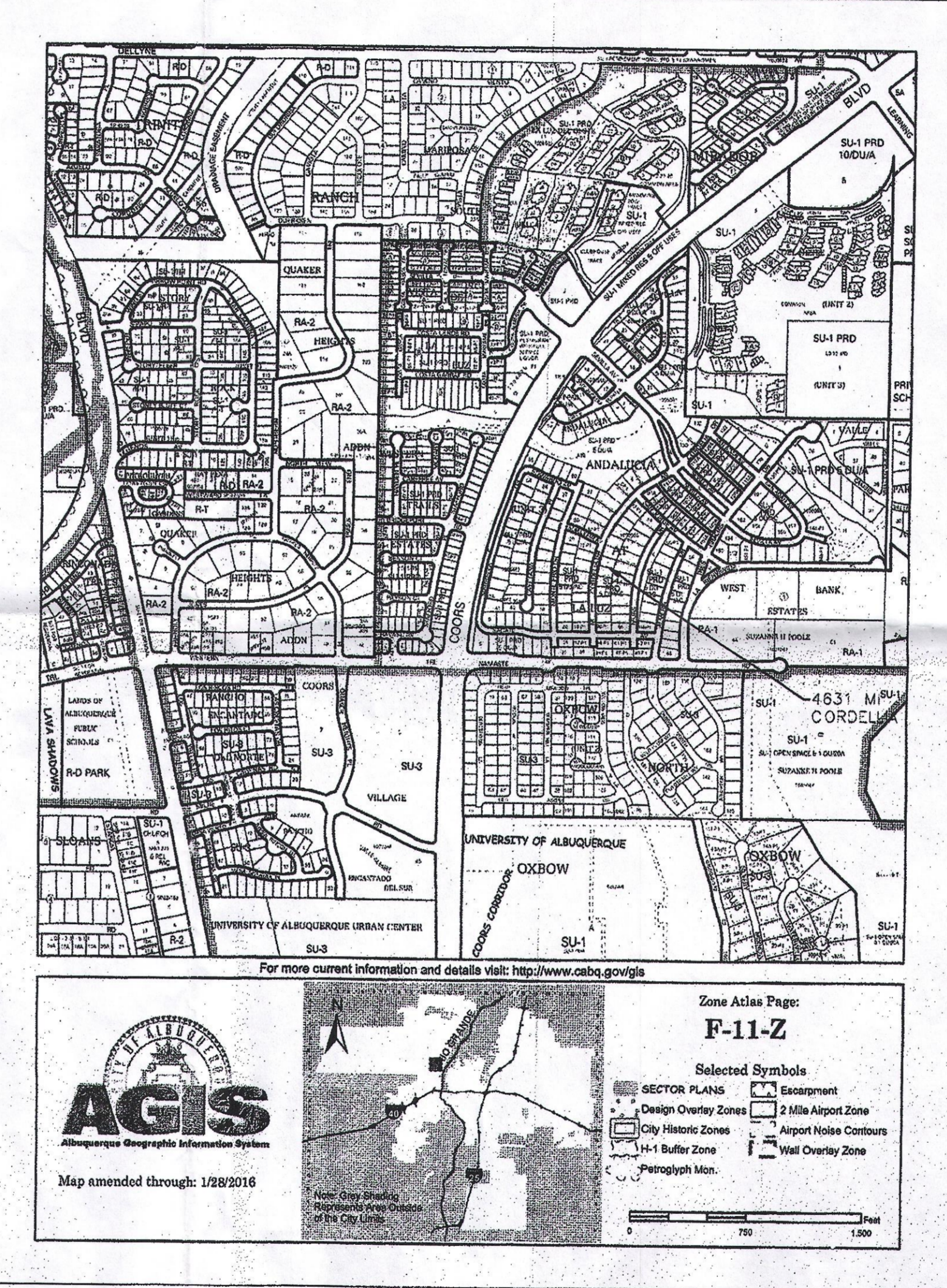
SHEET NAME:
 TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER:
 TCL-101

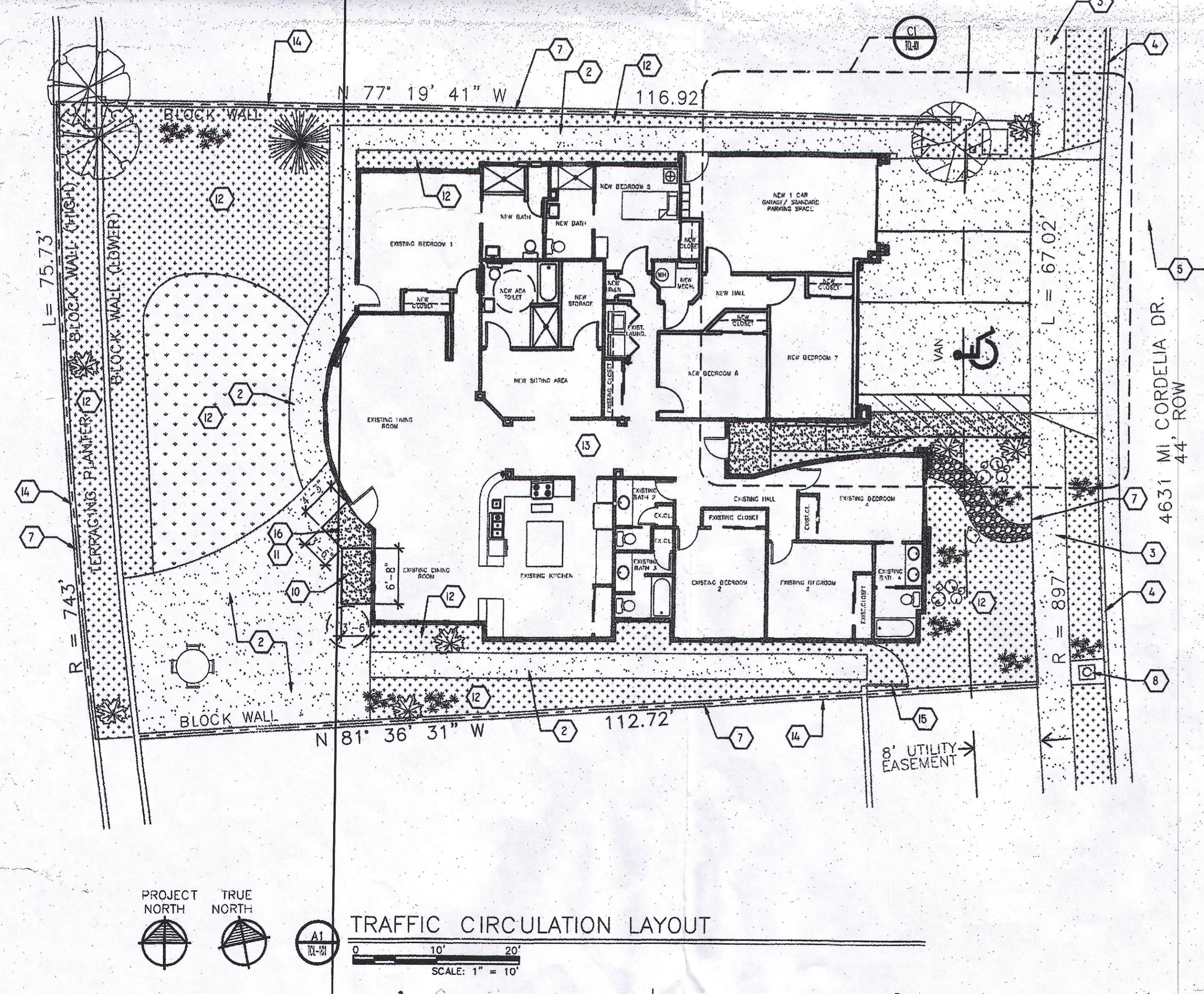


TRAFFIC CIRCULATION LAYOUT
 APPROVED
 Signature: [Signature]
 Date: 03-05-18

ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



VICINITY MAP (ZONE ATLAS MAP)
 N.T.S.



TRAFFIC CIRCULATION LAYOUT
 SCALE: 1" = 10'

100% CONSTRUCTION DOCUMENT SET



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: SANDIA VIEW ASSISTED LIVING - MICORDELIA Building Permit #: BP-2018-07107 Hydrology File #: NA FIID015
 DRB#: NA EPC#: NA Work Order#: NA
 Legal Description: LOT # 13-PI, PLAT OF ANDULUCIA AT LA LUZ (A REPLAT OF TRACT, LANDS OF
SHOWN AND DESIGNATED ON REPLAT THEREOF, FILED IN THE OFFICE
 City Address: 4631 MICORDELIA DRIVE NW, ALBUQUERQUE, NM, 87120 PLAT BOOK 2005 C, page
44.

Applicant: SANDIA VIEW ASSISTED LIVING Contact: JOHN LYTLE
 Address: 222 CAMINO DE LA TIERRA, CORRALES, NM 87048
 Phone#: 505-681-3716 Fax#: _____ E-mail: johnlytle32@hotmail.com
 Other Contact: CASA DESIGN STUDIO Contact: WILLY AMAYA
 Address: 4515 10TH ST. NW, ALBUQUERQUE NM 87107
 Phone#: 505-908-0066 Fax#: _____ E-mail: oswald.o.amaya@yahoo.com

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes No

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- GRADING/ESC PERMIT APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

- AS-BUILT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- NEIGHBORHOOD IMPACT ASSESMENT (NIA)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____



PRE-DESIGN MEETING?

OTHER (SPECIFY) _____

DATE SUBMITTED: 10/26/18 By: JOHN LYTLE

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

TRAFFIC CERTIFICATION

I, FREDDIE P. MONTOKA, NMPE OR NMRA 2676, OF THE FIRM ~~FREDDIE P. MONTOKA ARCHITECT~~ HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEBRUARY 2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLY AMAYA OF THE FIRM CASA DESIGN STUDIO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/22/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR C.O.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Freddie P. Montoya

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

10/22/18

Date

