

CITY OF ALBUQUERQUE



March 5, 2018

John Lytle
222 Camino De La Tierra
Corrales, NM 87048

Re: Bosque Trails Assister Living
4631 Mi Cordelia Ct NW
Traffic Circulation Layout
Architect's Stamp dated 02-22-18 (F11-D015)

Dear Mr. Lytle,

The TCL submittal received 03-02-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Bosque Trails Assisted living **Building Permit #:** _____ **Hydrology File #:** FL10015
DRB#: NA **EPC#:** NA **Work Order#:** _____
Legal Description: Lot # 13-Pl Andalucia Tract 2
City Address: 4631 Mi Cordelia Ct NW Albuquerque NM 87120
Applicant: Edward Leighton **Contact:** 505-379-2733
Address: _____
Phone#: 505-379-5232 **Fax#:** _____ **E-mail:** rlighton@yaho.com
Other Contact: John Lytle **Contact:** 505-681-3716
Address: 222 Camino De La Tierra Corrales 87048
Phone#: 505-681-3716 **Fax#:** _____ **E-mail:** johnlytle32@hotmail.com
Designer: 908-0066 Willy Amaya
Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

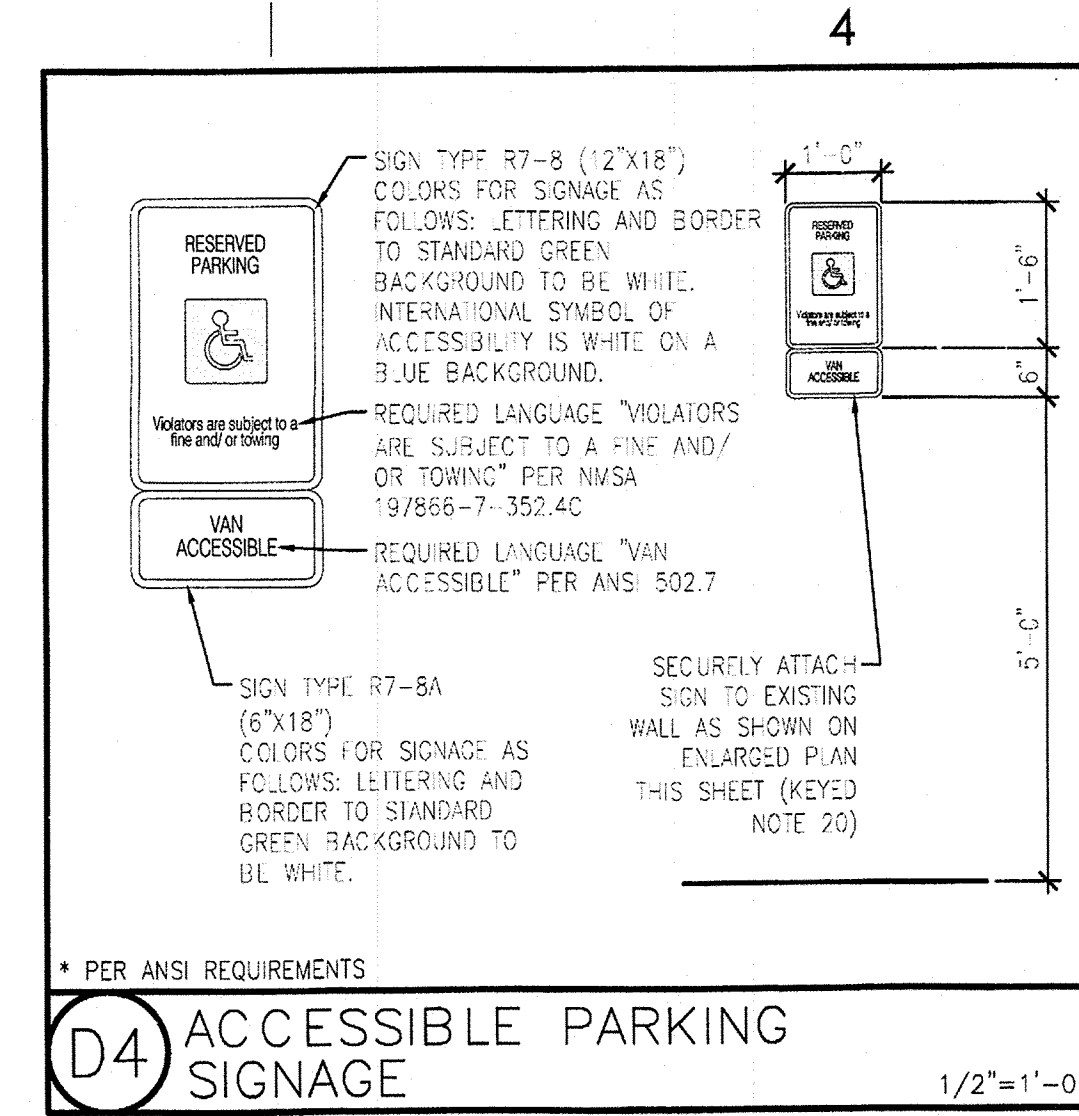
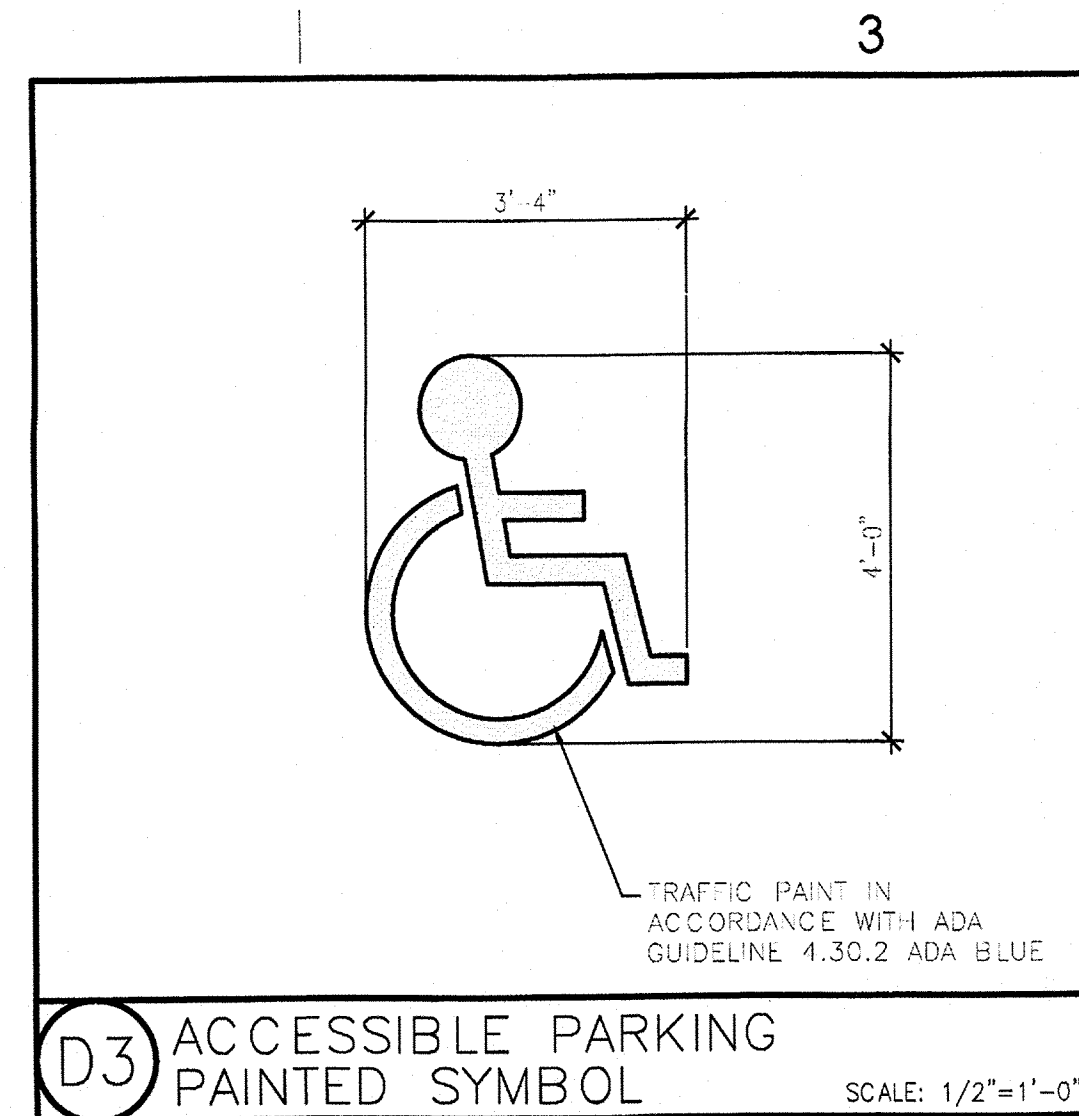
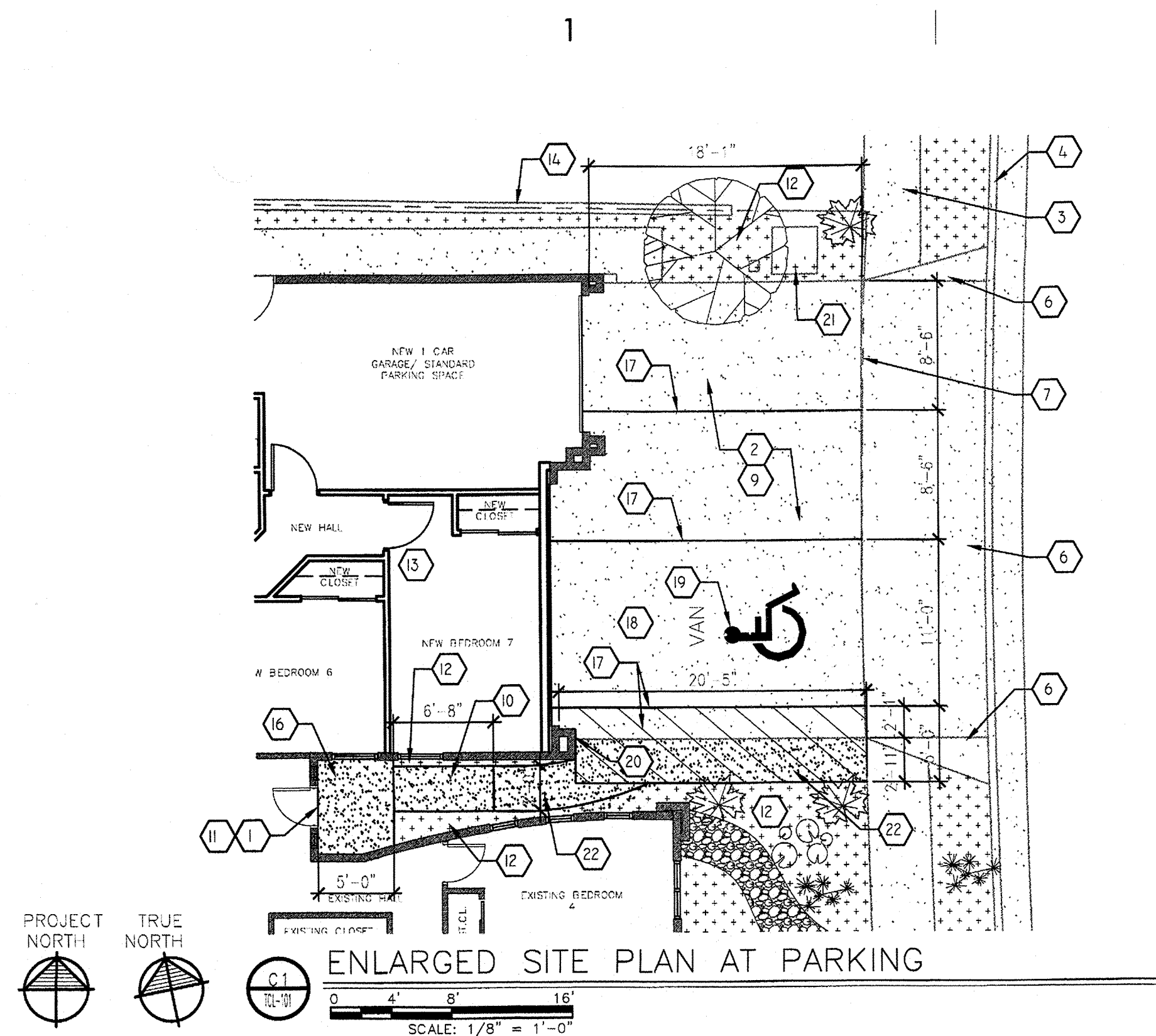
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 3-2-18 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____





GENERAL NOTES

A. ALL SIDEWALK AND CURB & GUTTER ALONG CORDELLA DRIVE MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. IF REPLACEMENT IS NEEDED, SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 - SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - STANDARD DETAILS, AND 2415C - SIDEWALK DETAILS.

B. THIS DRAWING WAS DERIVED AT A PLAT SURVEY PROVIDED BY THE OWNER. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES TO THE DESIGNER AND OWNER

PROPERTY INFORMATION

ADDRESS:	4631 MI CORDELA DRIVE NW, ALBUQUERQUE, NM 87120
LEGAL DESCRIPTION:	LOT NUMBERED THIRTEEN-P1 (13-P1) THE PLAT OF ANDULUCIA AT LA LUZ (A REPEAT OF TRACT 1, LANDS OF SHOWN AND DESIGNATED ON THE REPEAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 3, 2005, IN PLAT BOOK 2005 C, PAGE 44.
DEVELOPMENT TYPE:	EXISTING HOME RENOVATION TO AN ASSISTED LIVING RESIDENCE
DEVELOPMENT SIZE:	3,623 SQUARE FEET (TOTAL AREA)
LOT SIZE:	8,276 SQUARE FEET (INCLUDES HOME)

EXECUTIVE SUMMARY

- A. GENERAL PROJECT LOCATION: NORTHWEST ALBUQUERQUE N. ANULUCA AT LA LUZ A COUPLE OF BLOCKS SOUTHEAST OF COORS BLVD. AND SEVILLA AVE. INTERSECTION.
- B. DEVELOPMENT CONCEPT FOR THE SITE: REMODEL/ UPDATE INTERIOR SPACES TO NEW ASSISTED LIVING RESIDENCE. ADJACENT PARKING SPACE TO EXISTING PARKING SPACE WILL BE USED FOR RESIDENCE (CURRENTLY EXISTING PARKING) FRONT AND 1 STANDARD PARKING SPACE WILL BE PROVIDED AT EXISTING 1 CAR GARAGE.
- C. TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO REMAIN AS IS. PARKING IS MAINLY STAFF, RESIDENTS AND VISITORS ARE DROPPED OFF BY FAMILY.
- D. IMPACT ON THE ADJACENT SITE: ACCESSIBLE PARKING SPACES MARKINGS/ ACCESSIBLE SIGN WILL BE VISIBLE OFF OF MI CORDILLA DRIVE.

PARKING CALCULATIONS

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE: 14-16-3-1 (A) (7)
ONE SPACE + ONE SPACE PER 4 CLIENTS
SEVEN BEDS TOTAL PROVIDED

PARKING SPACES REQUIRED: 3
ACCESSIBLE SPACES REQUIRED: 1

PARKING SPACES (OFF STREET) PROVIDED: 3 (2 AT RESIDENCE FRONT AND 1 AT EXISTING 1 CAR GARAGE).

ACCESSIBLE PARKING SPACES PROVIDED: 1

LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 8,276 SQ.FT.
BUILDING AREA: 3,623 SQ.FT.
NET LOT AREA: 4,653 SQ.FT.
LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA) 7,842 SQ.FT. X .15 = 698 SQ.FT.
LANDSCAPE AREA PROVIDED = 2,322 SQ.FT.
FRONT YARD = GRAVEL/ SHRUBS/ TREES = 507 SQ.FT.
BACKYARD LAWN = 546 SQ.FT.
BACKYARD AND SIDES GRAVEL/ SHRUBS/ TREES = 1,467 SQ.FT.
TOTAL = 2,322 SQ.FT. (80% MINIMUM VEGETATED GROUND COVERAGE TO BE PROVIDED)

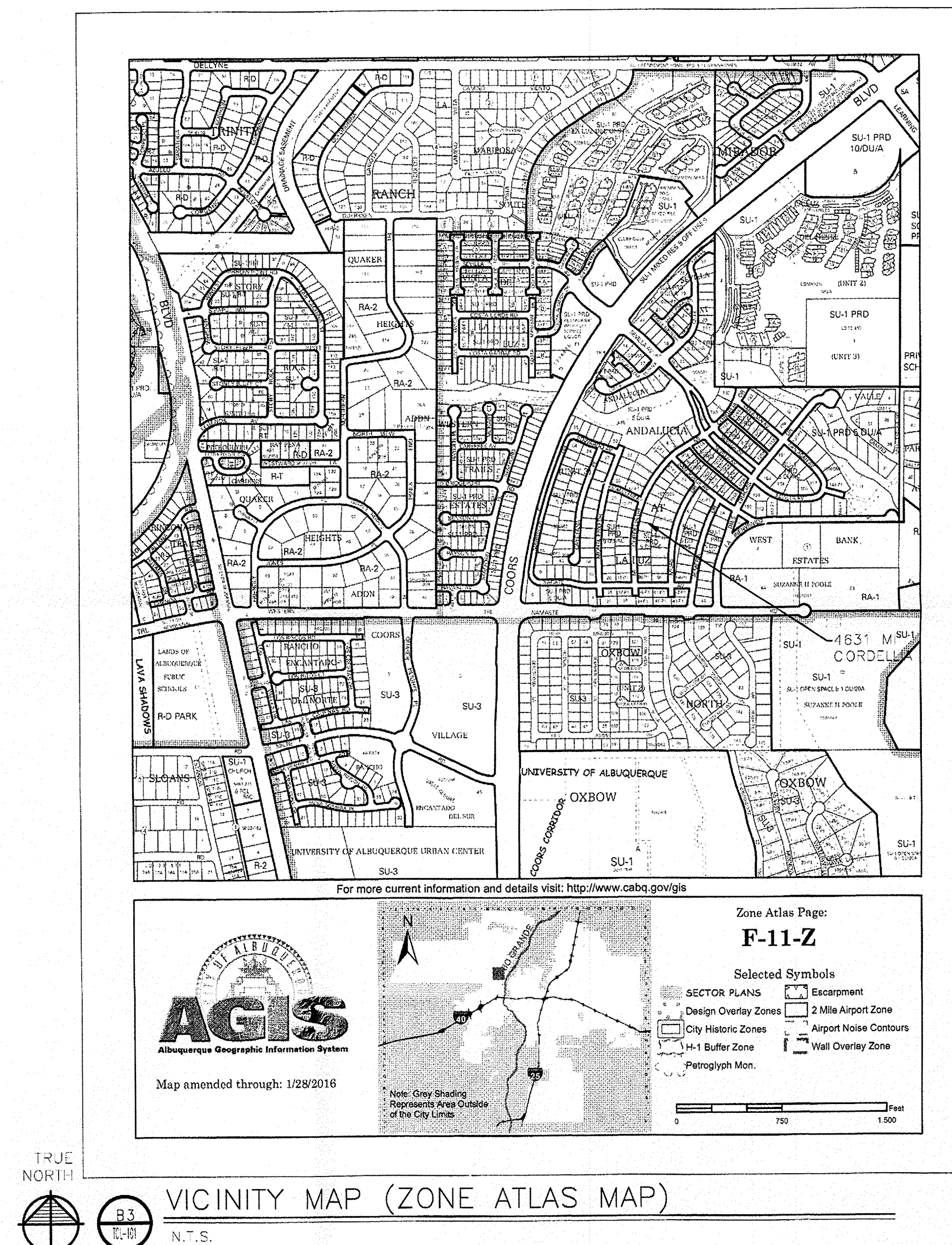
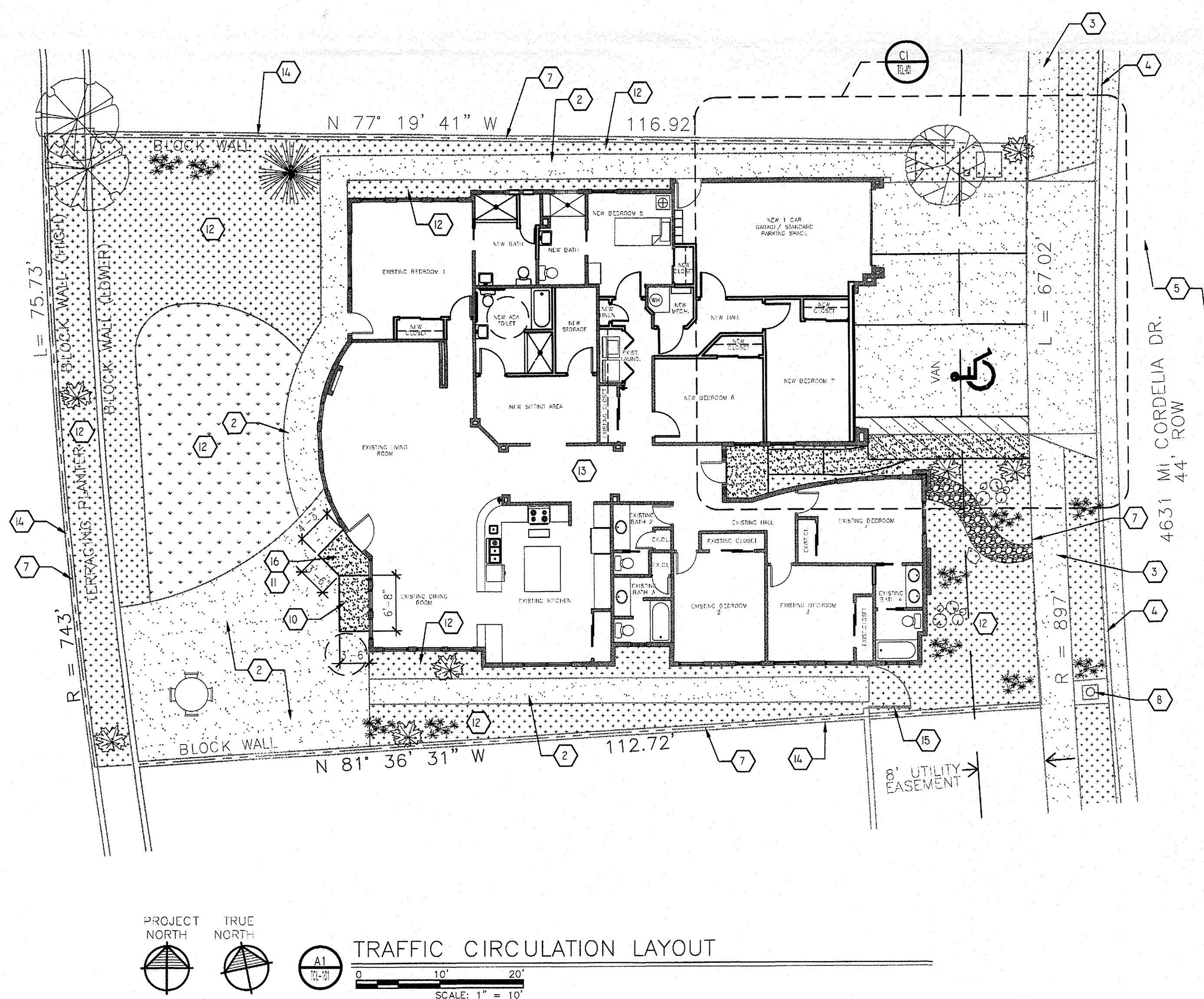
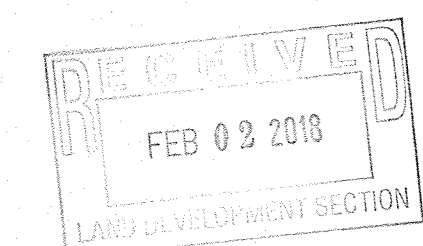
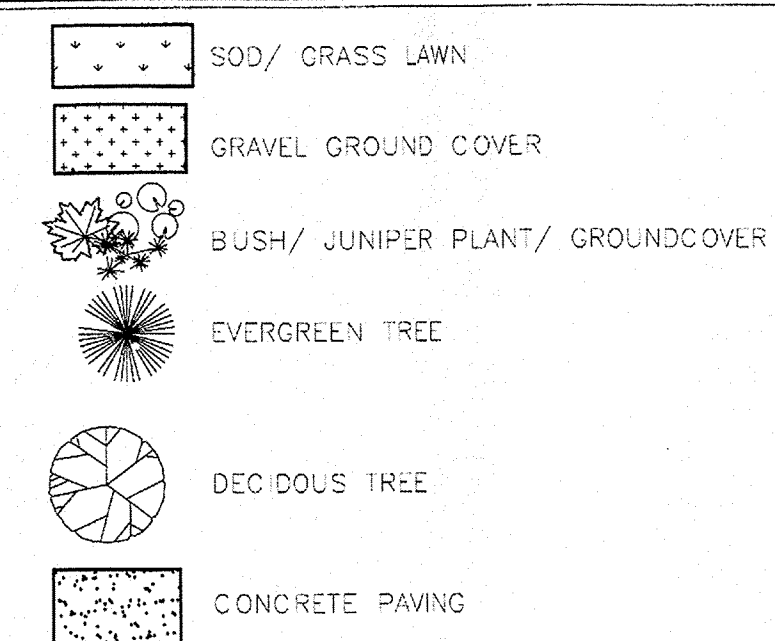
NUMBER OF RESIDENTS TO OCCUPY

7 RESIDENTS

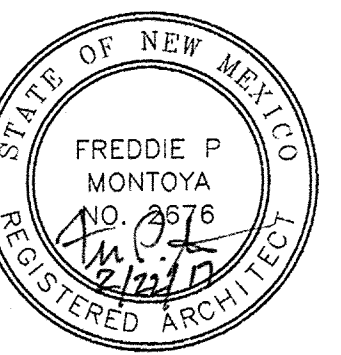
KEYED NOTES

1. EXISTING RESIDENCE MAIN ENTRY.
2. EXISTING CONCRETE PAVING.
3. EXISTING CONCRETE SIDEWALK TO REMAIN.
4. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
5. EXISTING ASPHALT PAVED STREET 10' TO REMAIN.
6. EXISTING CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
7. EXISTING PROPERTY LINE TO REMAIN.
8. EXISTING WATER METER TO REMAIN.
9. EXISTING DRIVE PARKING.
10. NEW CONCRETE RAMP 10 DOOR LANDING TO BE 1:20 MAXIMUM SLOPE (NO HANDRAIL REQUIRED).
11. DOOR TRANSITION FROM INTERIOR 10' OF FINISH FLOOR TO EXTERIOR 10' OF NEW CONCRETE PAVING IS NO GREATER THAN 1/2". PROVIDE ADA DOOR THRESHOLD.
12. EXISTING LANDSCAPE AREA TO REMAIN.
13. RESIDENCE.
14. EXISTING SITE WALL TO REMAIN.
15. EXISTING GATE TO REMAIN.
16. NEW 4" CONCRETE PAVING WITH TURNDOWN EDGES AT EXPOSED SIDES.
17. PAINT/ STRIPING AS SHOWN.
18. EXISTING 4" CONCRETE SLAB FOR ACCESSIBLE PARKING. VERIFY COA MAXIMUM SLOPE REQUIREMENTS ARE $\leq 1\%$ MINIMUM AND 2% (1:50) MAXIMUM.
19. NEW PAINT/ MARKING SYMBOL. SEE DETAIL D3 THIS SHEET.
20. NEW PARKING SIGN. SEE DETAIL D4 THIS SHEET. INSTALL SIGN AT EXISTING WALL.
21. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
22. NEW 4" CONCRETE SIDEWALK. 2% (1:50) SLOPE MAXIMUM.

LANDSCAPING LEGEND



**FREDDIE P. MONTOYA ARCHITECT
IN CONJUNCTION WITH
CASA DESIGN STUDIO
CASA DESIGN STUDIO (DESIGNER)
CONTACT NUMBER:
505.908.0066 C**



SANDIA VIEW ASSISTED LIVING
RENOVATIONS AT CORDELIA

[illegible]

DRAWN BY: WA
CHECK BY: FM
DATE: FEBRUARY 2018

SHEET NAME:
TRAFFIC
CIRCULATION
LAYOUT

SHEET NUMBER:

CL-101