

CITY OF ALBUQUERQUE



November 15, 2018

Freddie P Montoya, R.A.
Casa Design Studio
4515 10th St. NW
Albuquerque, NM 87107

**Re: Sandia View Assisted living,
4631 Mi Cordelia Dr. NW 87120
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 2-22-17 (F11D015)
Certification dated 10-22-18**

Dear Mr. Montoya,

Based upon the information provided in your submittal received 11-15-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

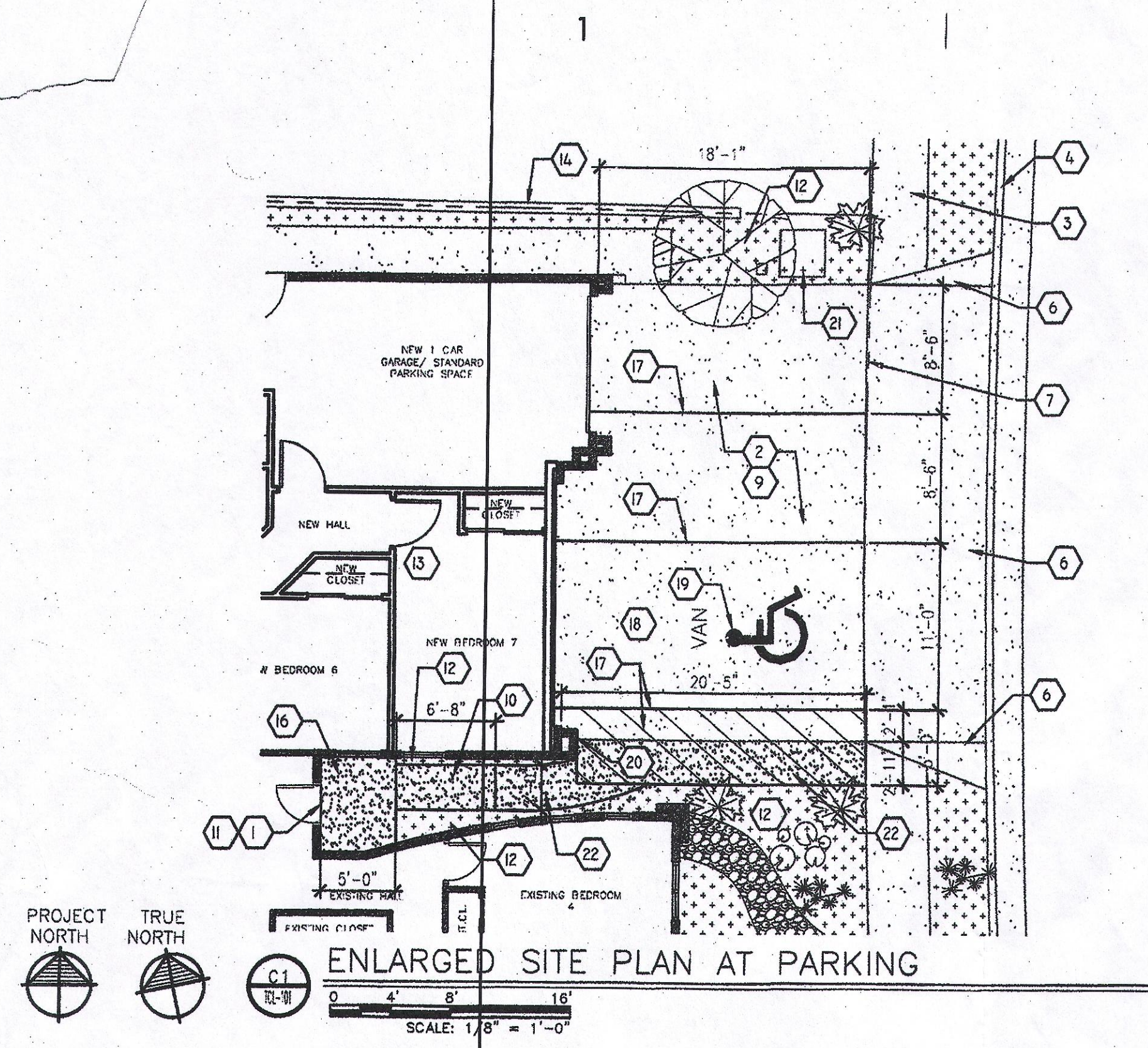
If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

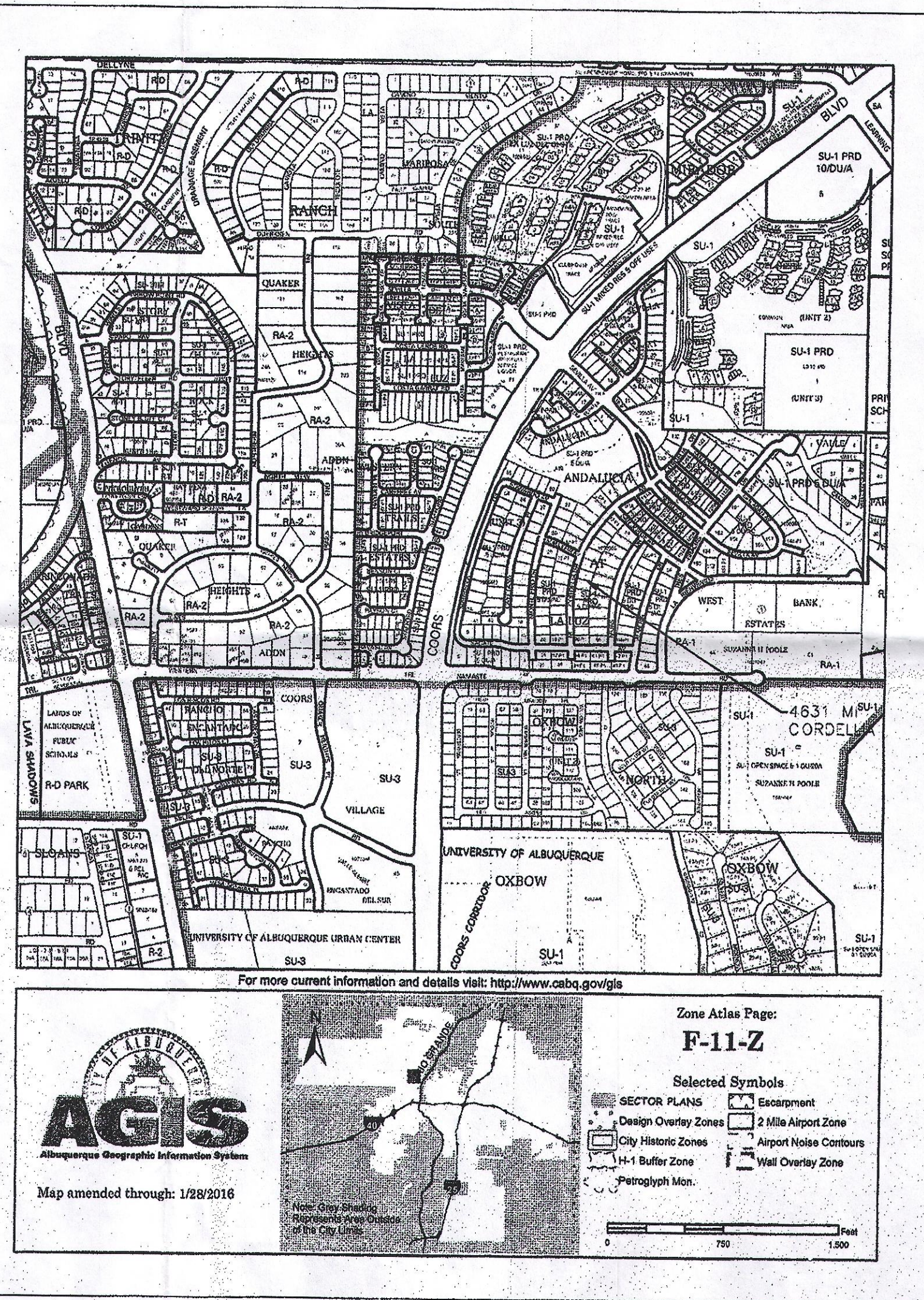
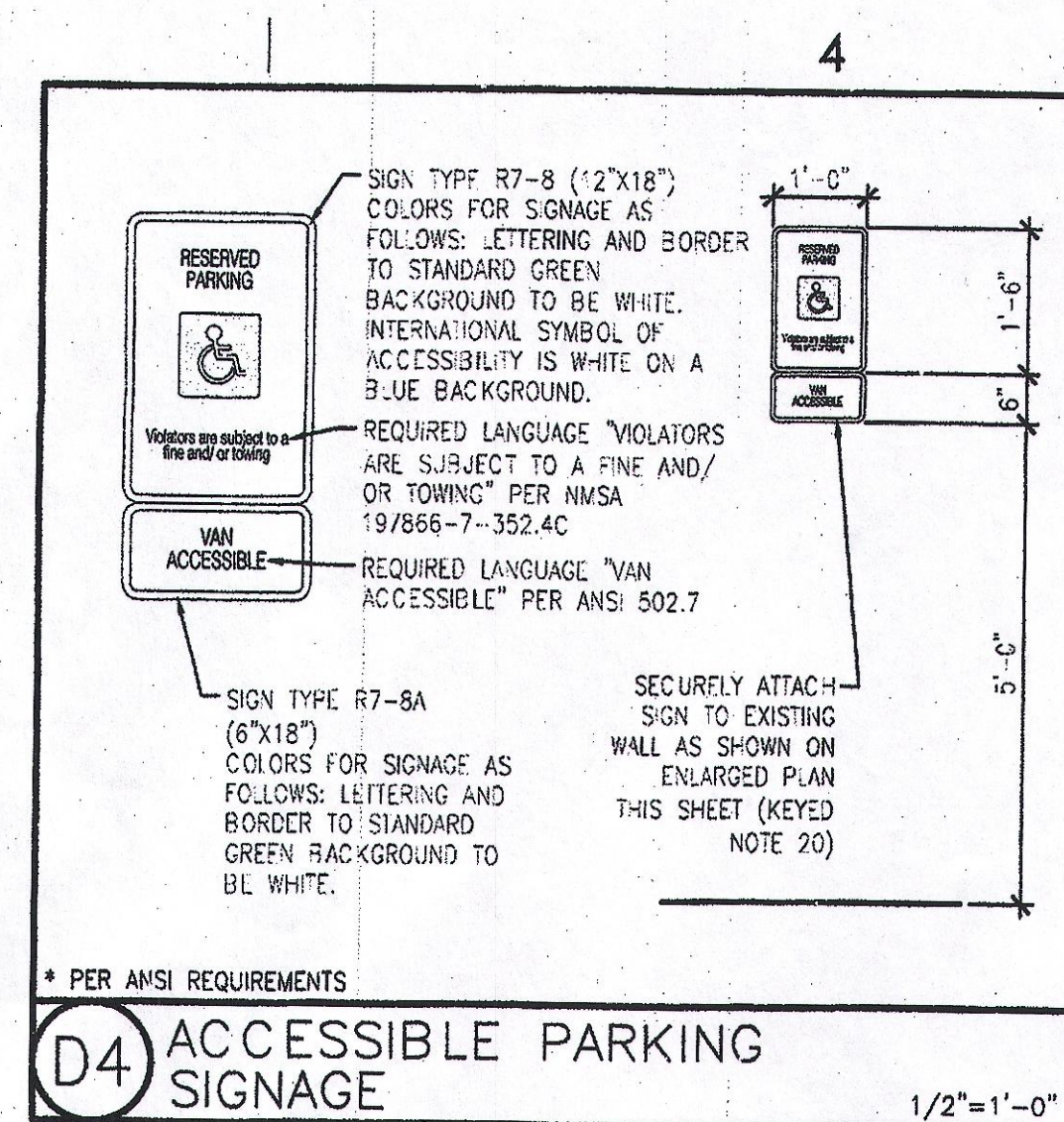
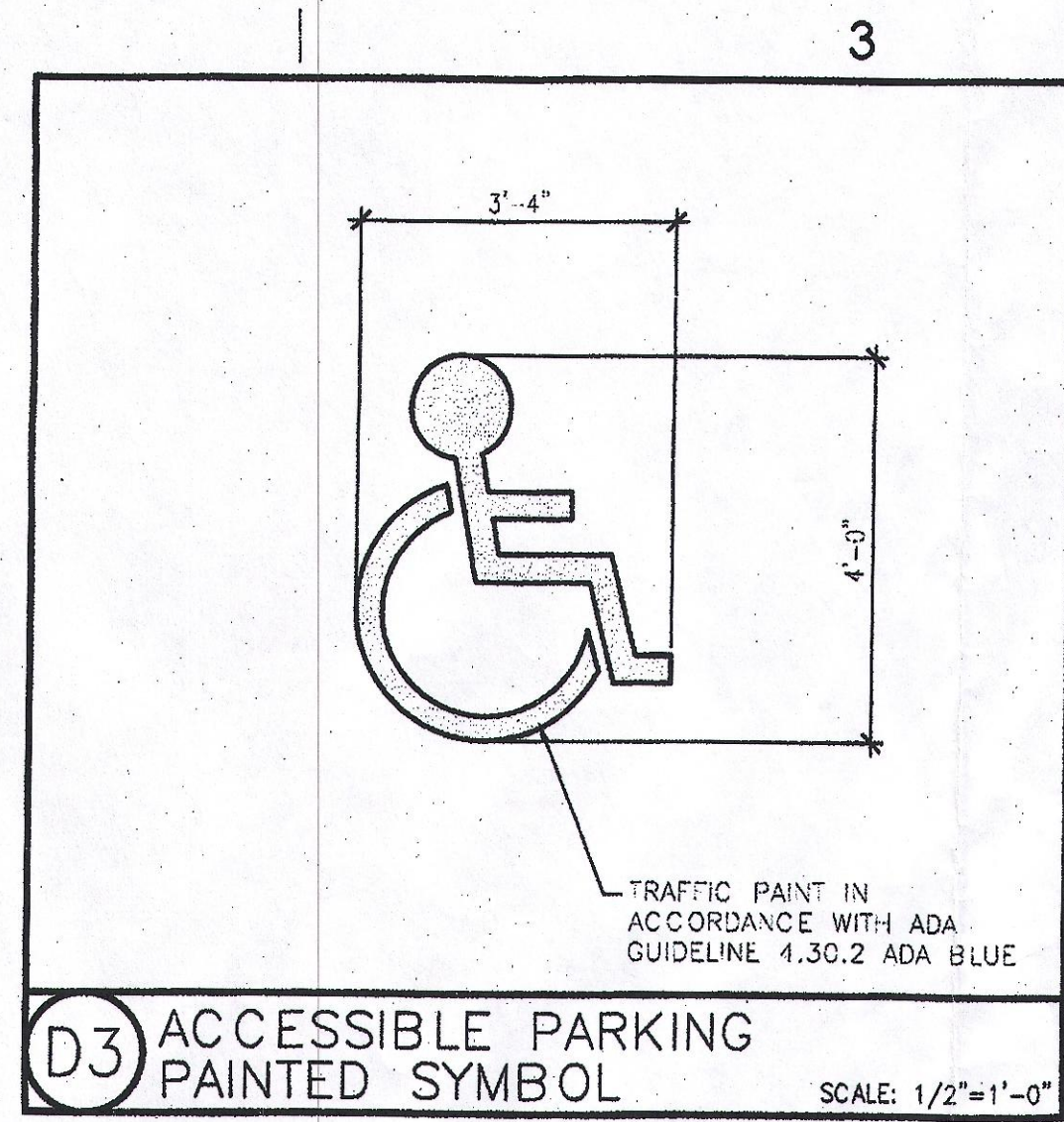
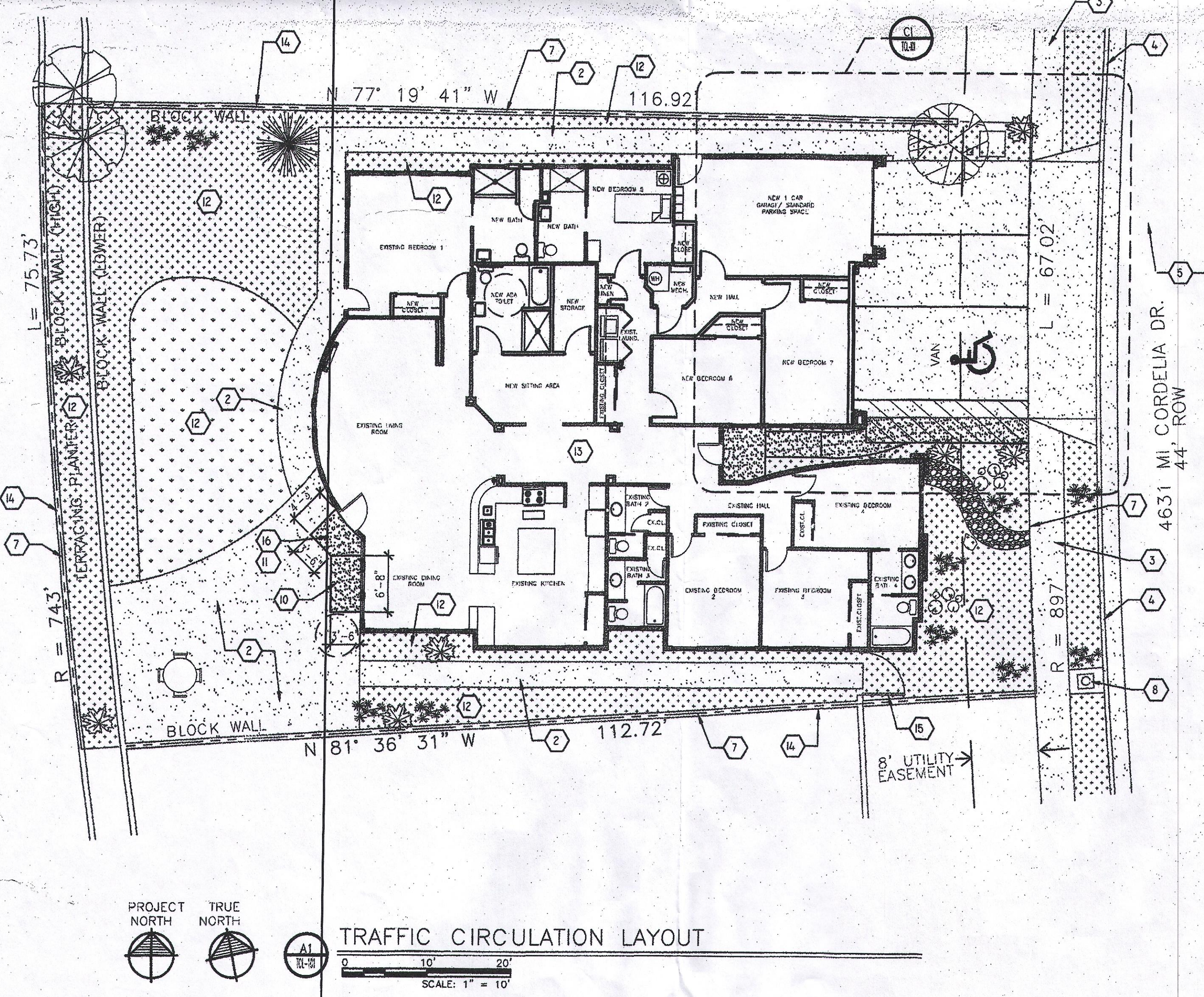
EG via: email
C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT APPROVED

Signature 07-05-18
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



GENERAL NOTES

- ALL SIDEWALK AND CURB & GUTTER ALONG CORDELA DRIVE MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. IF REPLACEMENT IS NEEDED, SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 - SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - GUTTER DETAILS, AND 2430 - SIDEWALK DETAILS.
- THIS DRAWING WAS DERIVED BY A PLAT SURVEY PROVIDED BY THE OWNER. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES TO THE DESIGNER AND OWNER.

PROPERTY INFORMATION

ADDRESS: 4631 MI CORDELA DRIVE NW, ALBUQUERQUE, NM 87120

LEGAL DESCRIPTION: LOT NUMBERED THIRTEEN-P1 (13-P1) THE PLAT OF ANDULUCIA AT LA LUZ (A REPEAT OF TRACT 1, LANDS OF SHOWN AND DESIGNATED ON THE REPEAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 3, 2005, IN PLAT BOOK 2005 C, PAGE 44.

DEVELOPMENT TYPE: EXISTING HOME RENOVATION TO AN ASSISTED LIVING RESIDENCE

DEVELOPMENT SIZE: 3,623 SQUARE FEET (TOTAL AREA)

LOT SIZE: 8,276 SQUARE FEET (INCLUDES HOME)

EXECUTIVE SUMMARY

- GENERAL PROJECT LOCATION: NORTHWEST ALBUQUERQUE IN ANDULUCIA AT LA LUZ A COUPLE OF BLOCKS SOUTHEAST OF COORS BLVD. AND SEVILLA AVE. INTERSECTION.
- DEVELOPMENT CONCEPT FOR THE SITE: REMODEL/ UPDATE INTERIOR SPACES TO NEW ASSISTED LIVING RESIDENCE. 2 STANDARD PARKING SPACE WITH 1 ACCESSIBLE PARKING SPACE WILL BE MARKED AT RESIDENCE (CURRENTLY EXISTING PARKING) FRONT AND 1 STANDARD PARKING SPACE WILL BE PROVIDED AT EXISTING 1 CAR GARAGE.
- TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO REMAIN AS IS. PARKING IS MAINLY FOR STAFF. RESIDENTS DO NOT DRIVE BUT ARE PICKED UP AND DROPPED OFF BY FAMILY.
- IMPACT ON THE ADJACENT SITES: ACCESSIBLE PARKING SPACES MARKINGS/ ACCESSIBLE SIGN WILL BE VISIBLE OFF OF MI CORDELA DRIVE.

PARKING CALCULATIONS

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE: 14-16-3-1 (A) (7)
ONE SPACE + ONE SPACE PER 4 CLIENTS
SEVEN BEDS TOTAL PROVIDED

PARKING SPACES REQUIRED: 3
ACCESSIBLE SPACES REQUIRED: 1

PARKING SPACES (OFF STREET) PROVIDED: 3 (2 AT RESIDENCE FRONT AND 1 AT EXISTING 1 CAR GARAGE.)
ACCESSIBLE PARKING SPACES PROVIDED: 1

LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 8,276 SQ.FT.
BUILDING AREA: 3,623 SQ.FT.
NET LOT AREA: 4,653 SQ.FT.
LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA) 7,842 SQ.FT. X .15 = 698 SQ.FT.
LANDSCAPE AREA PROVIDED = 2,522 SQ.FT.
FRONT YARD = GRAVEL/ SHRUBS/ TREES = 507 SQ.FT.
BACKYARD LAWN = 548 SQ.FT.
BACKYARD AND SIDES GRAVEL/ SHRUBS/ TREES = 1,467 SQ.FT.
TOTAL = 2,522 SQ.FT. (80% MINIMUM VEGETATED GROUND COVERAGE TO BE PROVIDED)

NUMBER OF RESIDENTS TO OCCUPY

7 RESIDENTS

KEYED NOTES

- EXISTING RESIDENCE MAIN ENTRY.
- EXISTING CONCRETE PAVING.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING ASPHALT PAVED STREET TO REMAIN.
- EXISTING CONCRETE DRIVE/ RAMP TO MEET COA STANDARDS. SEE GENERAL NOTE A THIS SHEET.
- EXISTING PROPERTY LINE TO REMAIN.
- EXISTING WATER METER TO REMAIN.
- EXISTING DRIVE PARKING.
- NEW CONCRETE RAMP TO DOOR LANDING TO BE 1:20 MAXIMUM SLOPE (NO HANDRAIL REQUIRED).
- DOOR TRANSITION FROM INTERIOR TOP OF FINISH FLOOR TO EXTERIOR TOP OF NEW CONCRETE PAVING IS NO GREATER THAN 1/2". PROVIDE ADA DOOR THRESHOLD.
- EXISTING LANDSCAPE AREA TO REMAIN.
- RESIDENCE.
- EXISTING SITE WALL TO REMAIN.
- EXISTING GATE TO REMAIN.
- NEW 4" CONCRETE PAVING WITH TURNDOWN EDGES AT EXPOSED SIDES.
- EXISTING 4" CONCRETE SLAB FOR ACCESSIBLE PARKING. VERIFY COA MAXIMUM SLOPE REQUIREMENTS ARE MET - 1% MINIMUM AND 2% (1:50) MAXIMUM.
- NEW PAINTED PARKING SYMBOL. SEE DETAIL D3 THIS SHEET.
- NEW PARKING SIGN. SEE DETAIL D4 THIS SHEET. INSTALL SIGN AT EXISTING WALL.
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
- NEW 4" CONCRETE SIDEWALK. 2% (1:50) SLOPE MAXIMUM.

LANDSCAPING LEGEND

- SOD/ GRASS LAWN
- GRAVEL GROUND COVER
- BUSH/ JUNIPER PLANT/ GROUND COVER
- EVERGREEN TREE
- DECIDUOUS TREE
- CONCRETE PAVING

RECEIVED
NOV 05 2018
LAND-DEVELOPMENT SECTION

RECEIVED
FEB 02 2018
LAND-DEVELOPMENT SECTION

NO MARK-UPS NEEDED
AS CONSTRUCTION
WAS BUILT AS
DRAWN (APPROVED)
5/10/18

PROFESSIONAL STAMP

STATE OF NEW MEXICO
REGISTERED ARCHITECT
FREDDIE P. MONTOYA
NO. 3676
CASA DESIGN STUDIO
CONTACT NUMBER:
505.908.0046 C

SANDIA VIEW ASSISTED LIVING RENOVATIONS AT CORDELA

ALBUQUERQUE
NEW MEXICO

REVISION	DATE	DESCRIPTION

DRAWN BY: WA
CHECK BY: FM
DATE: FEBRUARY 2018

SHEET NAME:
TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER:

TCL-101



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: SANDIA VIEW ASSISTED LIVING - MICORDELIA FIID015
Building Permit #: BP-2018-07107 **Hydrology File #:** NA
DRB#: NA **EPC#:** NA **Work Order#:** NA
Legal Description: LOT # 13-PI, PLAT OF ANDULUCIA AT LA LUZ (A REPLAT OF TRACT, LANDS OF SHOWN AND DESIGNATED ON REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO CTY, NM, FEBRUARY 3, 2005 IN PLAT BOOK 2005 C, page 44.
City Address: 4631 MICORDELIA DRIVE NW, ALBUQUERQUE, NM, 87120
Applicant: SANDIA VIEW ASSISTED LIVING **Contact:** JOHN LYTLE
Address: 222 CAMINO DE LA TIERRA, CORRALES, NM 87048
Phone#: 505-681-3716 **Fax#:** **E-mail:** johnlytle32@hotmail.com
Other Contact: CASA DESIGN STUDIO **Contact:** WILLY AMAYA
Address: 4515 10TH ST. NW, ALBUQUERQUE NM 87107
Phone#: 505-908-0066 **Fax#:** **E-mail:** oswaldo.amaya@yahoo.com

Check all that Apply:

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 10/26/18 By: JOHN LYTLE

TRAFFIC CERTIFICATION

I, FREDDIE P. MONTAÑA, NMPE OR NMRA 2676, OF THE FIRM ~~FREDDIE P. MONTAÑA ARCHITECT~~ HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEBRUARY 2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLY AMAYA OF THE FIRM CASA DESIGN STUDIO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/22/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR C.O.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

10/22/18
Date

