

CITY OF ALBUQUERQUE



May 11, 2016

Yolanda Padilla-Moyer, PE
Bohannon Huston, Inc.
7500 Jefferson NE, Courtyard I
Albuquerque, NM 87109

**Re: Sevilla @ Andalucia
Engineer Certification For Release of SIA/Financial Guarantee
Engineer's Stamp Date 4/18/2015 (F11/D015C)**

Dear Ms. Padilla-Moyer,

Based upon the information provided in your submittal received 4-18-2016, the Engineer Certification is approved for Release of SIA/Financial Guarantee.

If you have any questions, you can contact me at 924-3999.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: e-mail

April 18, 2016

Ms. Rita Harmon
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Final Grading and Drainage Certification, Sevilla @ Andalucia
DRB Case No. 1000965 (File: F11D015C)

Dear Rita:

We are submitting a final grading and drainage certification for Sevilla @ Andalucia for Financial Guaranty Release. Enclosed for your review is the approved grading and drainage plan dated 2/19/15. These lots have been graded; retaining walls, curb and gutter, pavement and downstream infrastructure have been constructed.

After reviewing these as-built elevations and visiting the site on 03/25/16 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan.

Lot 20 (Model Homes Parking Lot) certification is not included in this final certification. We have had discussions and concurrence with the City Engineer to exclude the parking lot for the Model Homes in the Final Certification since there is no definitive timeline for the Model Homes to be removed. Lot 20 will be required to submit a Grading and Drainage Certification prior to Building Permit Approval through the normal City of Albuquerque Grading and Drainage Certification.

Your review and approval is requested for Financial Guaranty Release for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Peter Steen, Pulte Homes
Kevin Patton, Pulte Homes



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

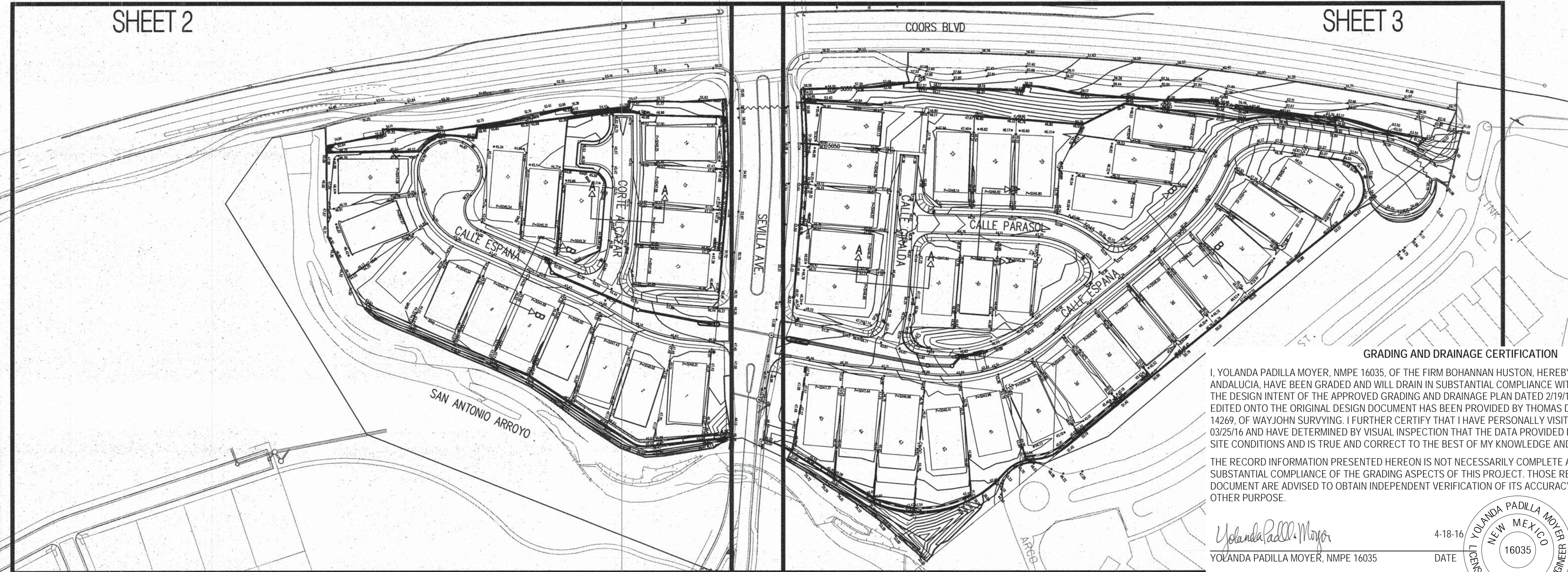
- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

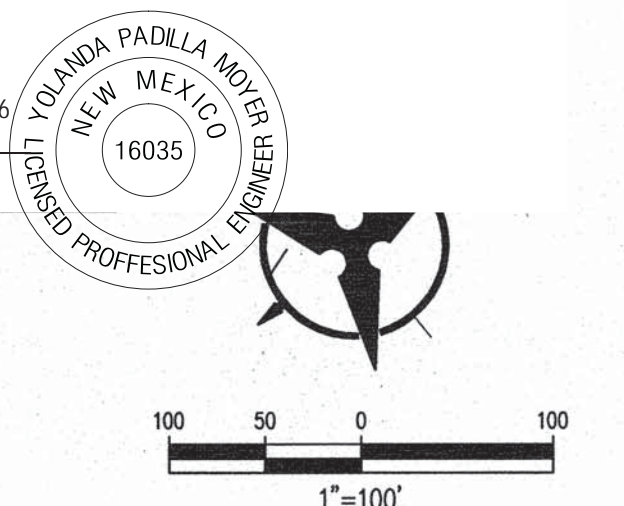
SHEET 3



YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM HOBAN HUNSTON, HEREBY CERTIFY SEVILLA AT ANDALUCIA, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 2/19/15. THE RECORD INFORMATION EDITED onto the ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY THOMAS D. JOHNSTON, PS, PE, NMPS 14269, OF WAYJON SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 03/26/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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Yolanda Padilla Moyor
YOLANDA PADILLA MOYER, NMPE 16035
DATE 4-18-16

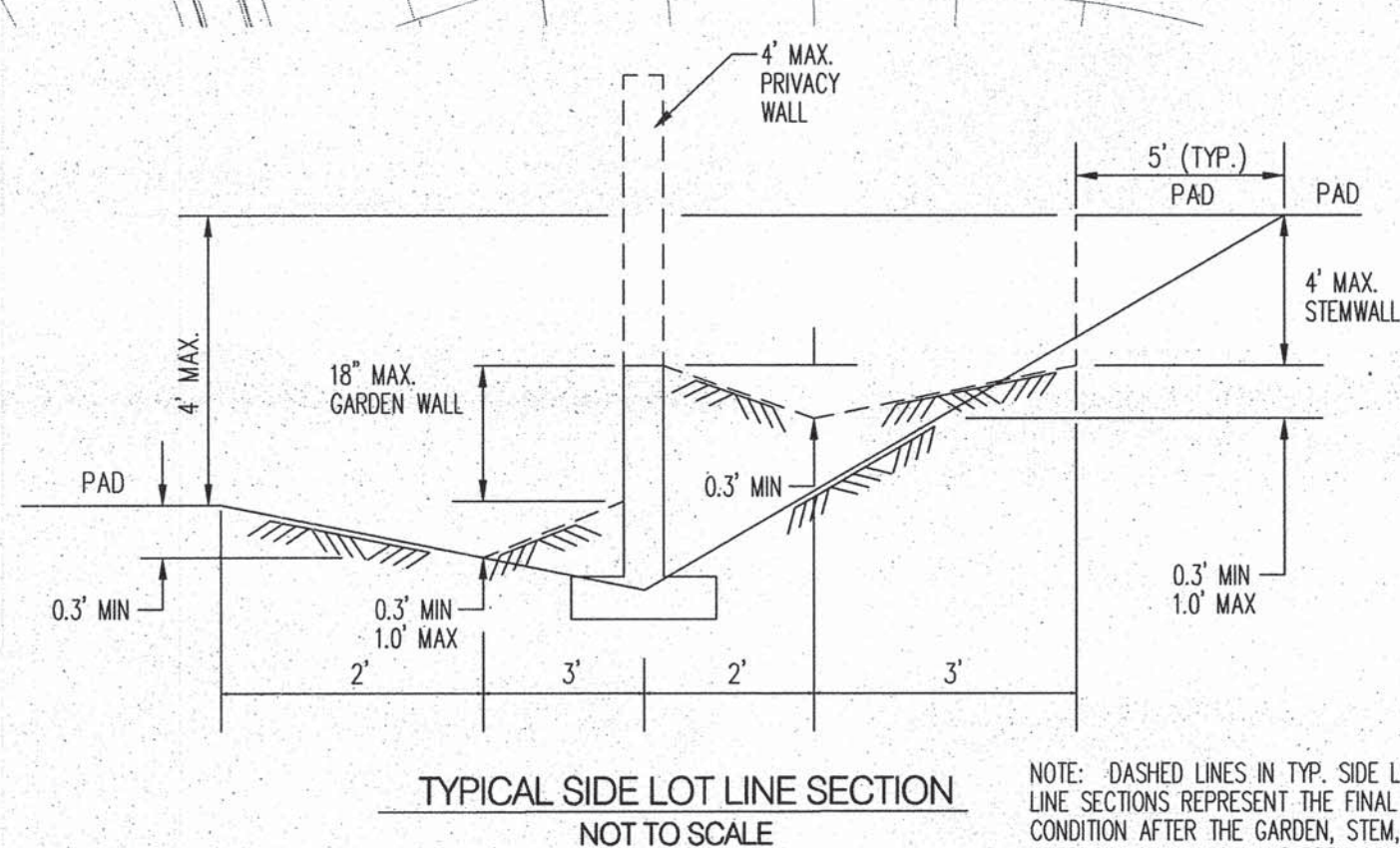


1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.

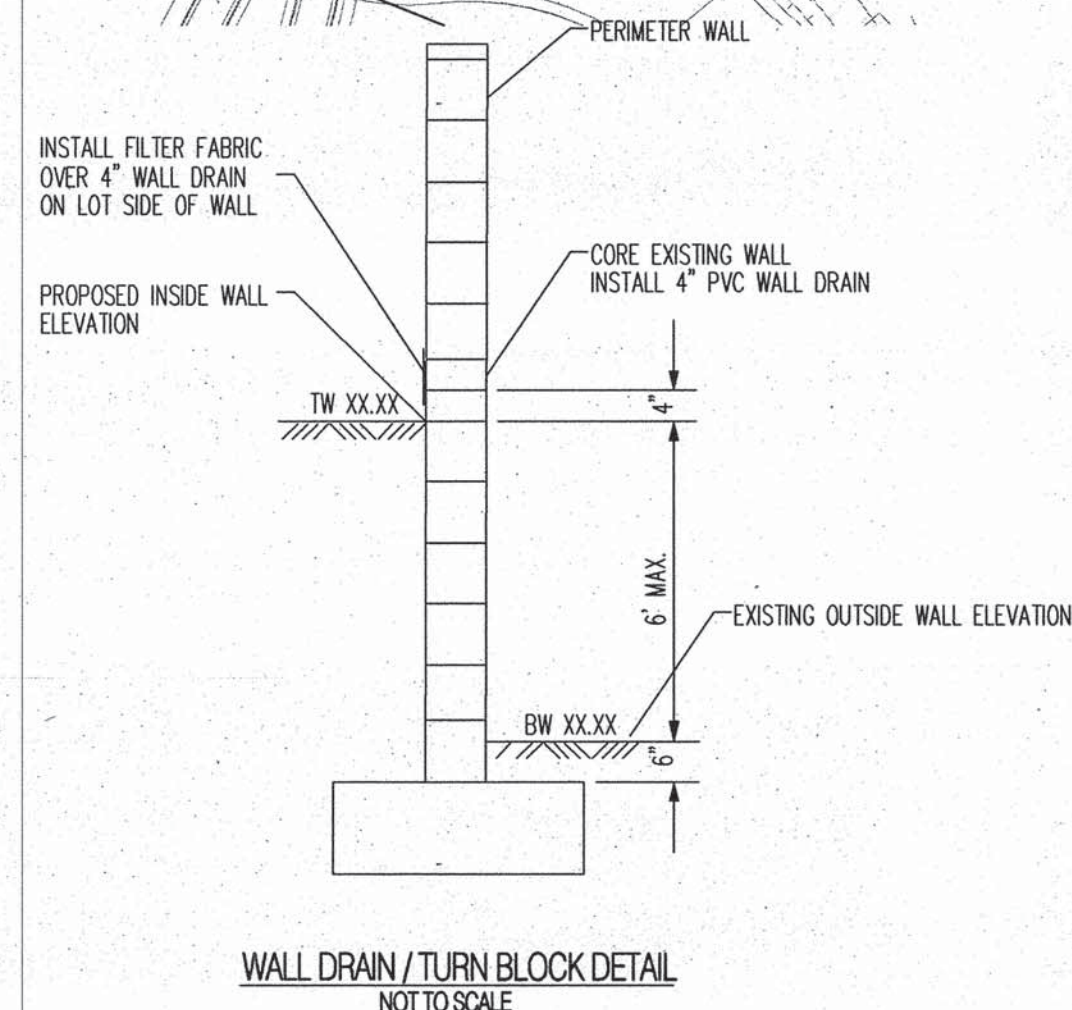
1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
4. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
9. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICAADING AT THE END AND BEGINNING OF EACH DAY.
13. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBEVINIARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

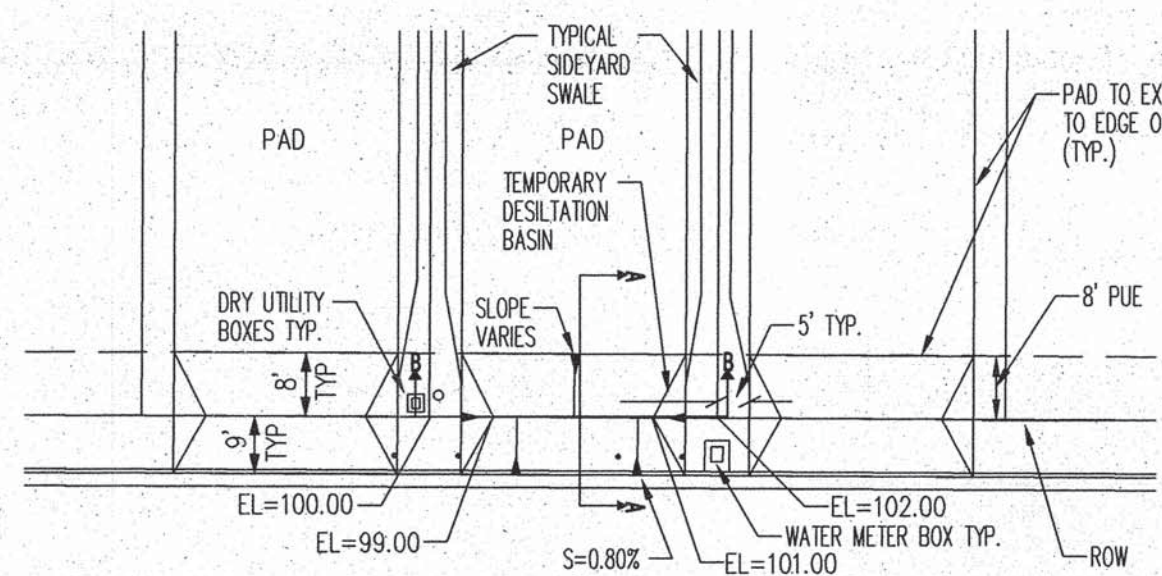
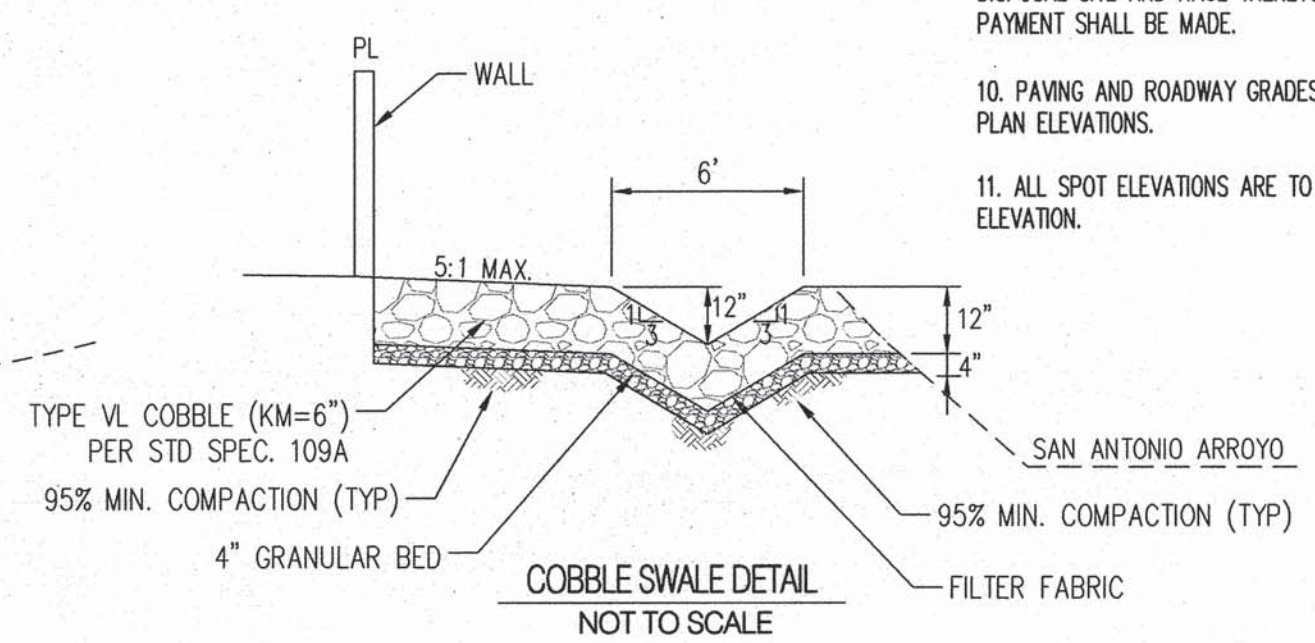
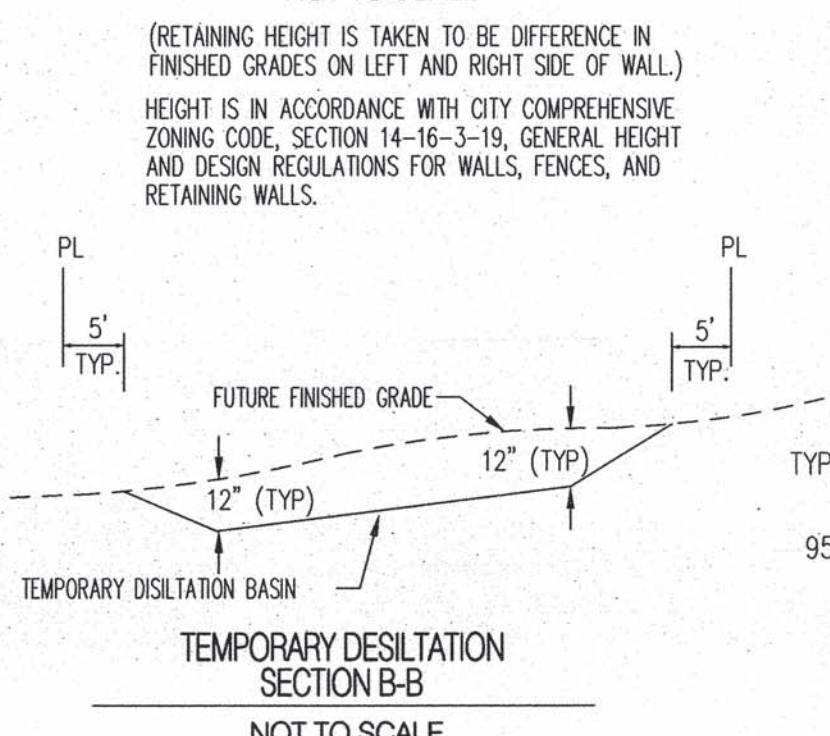


NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



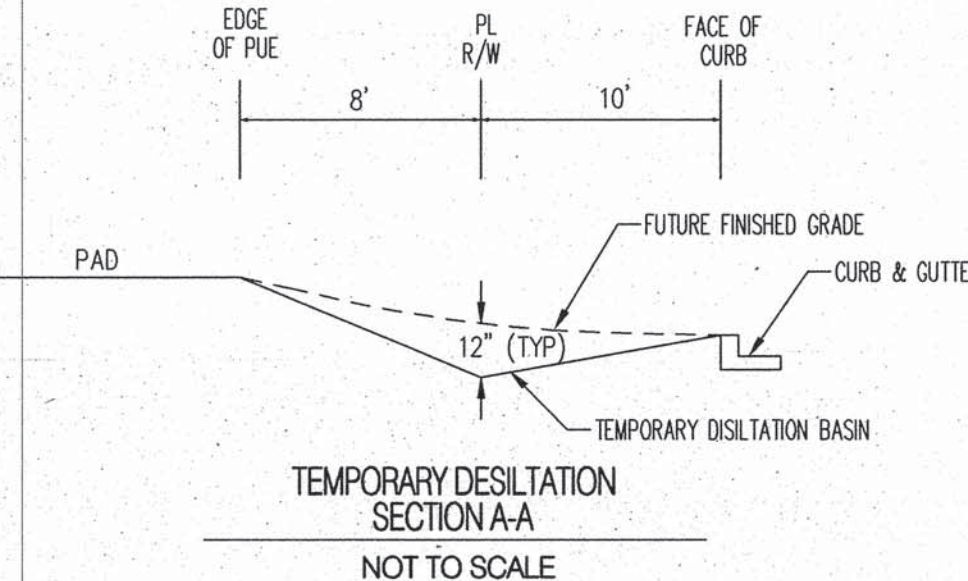
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL. HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

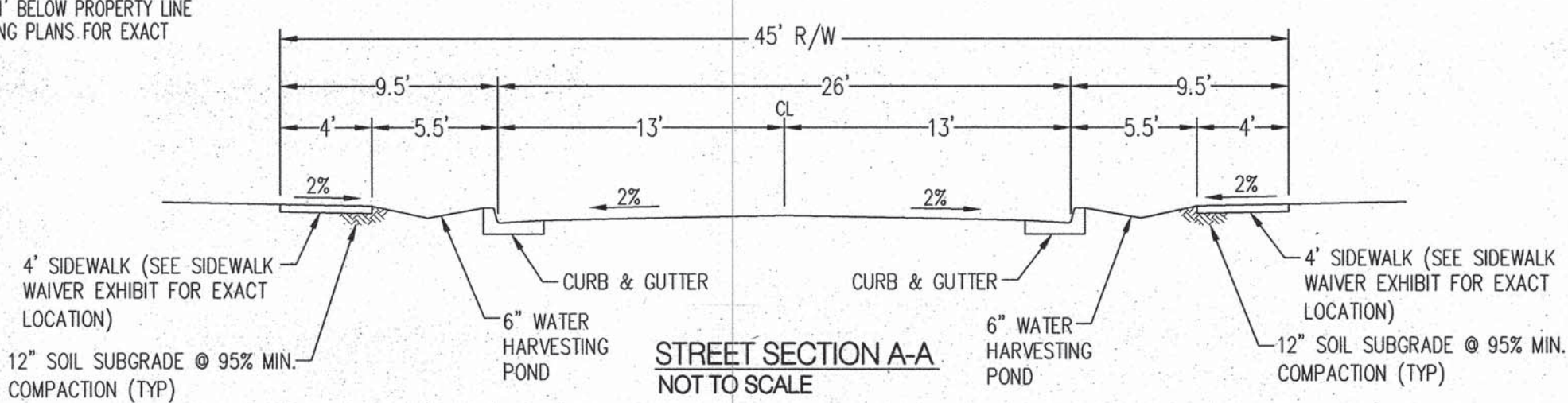


TEMPORARY DESILTATION BASIN
NOT TO SCALE

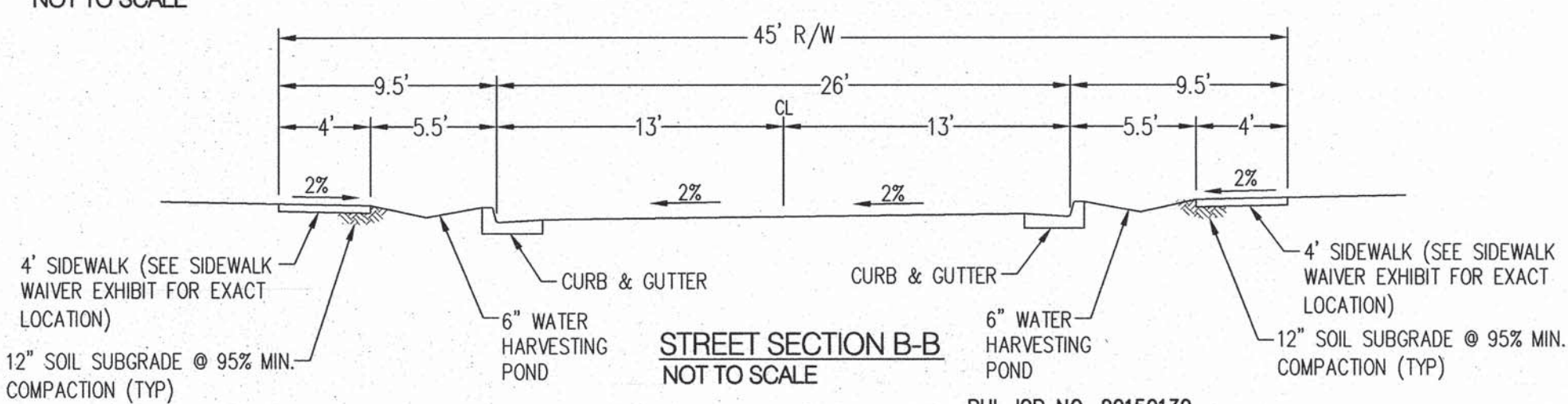
** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE
ELEVATION SEE GRADING PLANS FOR EXACT
ELEVATIONS



NOT TO SCALE



STREET SECTION A-A
NOT TO SCALE



STREET SECTION B-B
NOT TO SCALE

BHI JOB NO. 20150130

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Thu, 19-Feb-2015 - 4:34:pm, Plotted by: AROMERO

Bohannon  **Huston**
www.bhinc.com 800.877.5332

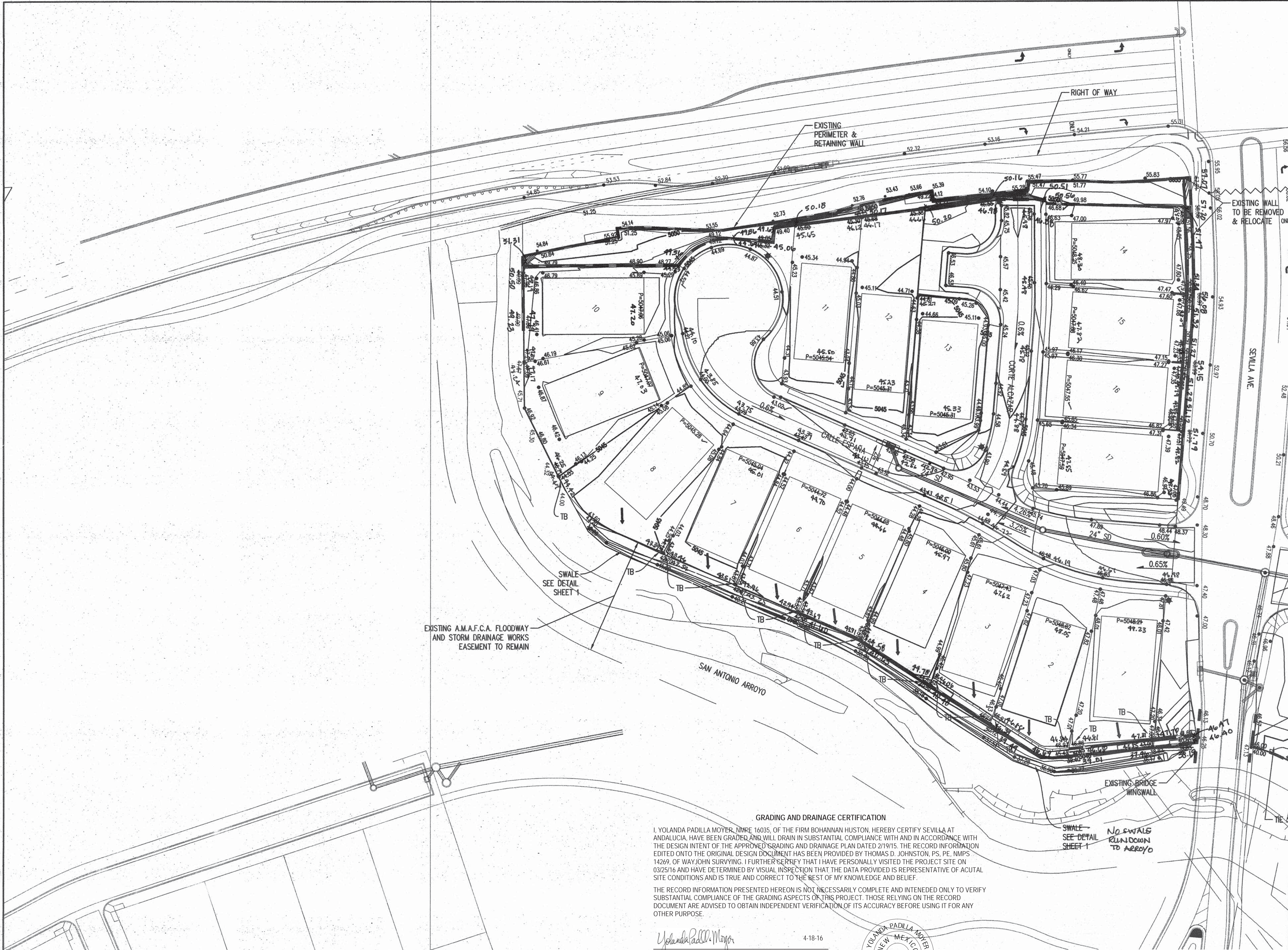


CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

SEVILLA AT ANDALUCIA

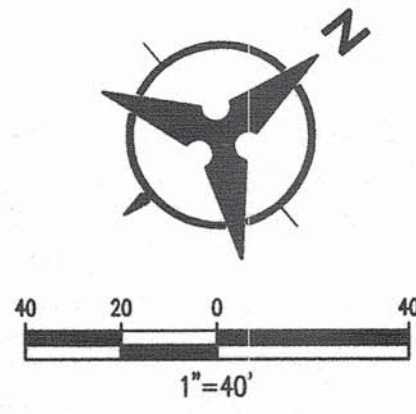
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
		1		3



- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
 - EXISTING SPOT ELEVATION ○ 5235.25
 - EXISTING CONTOUR — 5860
 - DIRECTION OF FLOW S=2.0%
 - EXISTING STORM DRAIN LINE SD
 - PROPOSED STORM DRAIN INLET [Symbol]
 - PROPOSED STORM DRAIN LINE [Symbol]
 - PROPOSED STORM DRAIN MANHOLE [Symbol]
 - PROPOSED WATER BLOCK (HIGH POINT) [Symbol]
 - RETAINING WALL [Symbol]
 - PROPOSED WATER (LOW POINT) TB
 - TURNED BLOCK SEE DETAIL SHEET 1

NOTE :
ALL CURB IS STANDARD CURB & GUTTER
EXCEPT AROUND CUL-DE-SAC BULB WHICH
IS ROLL CURB & GUTTER



GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY SEVILLA AT ANDALUCIA, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 2/19/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY THOMAS D. JOHNSTON, P.S., PE, NMPS 14269, OF WAYJOHN SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 03/25/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035 4-18-16 DATE



Bohannon & Huston
www.bhinc.com 800.877.5332

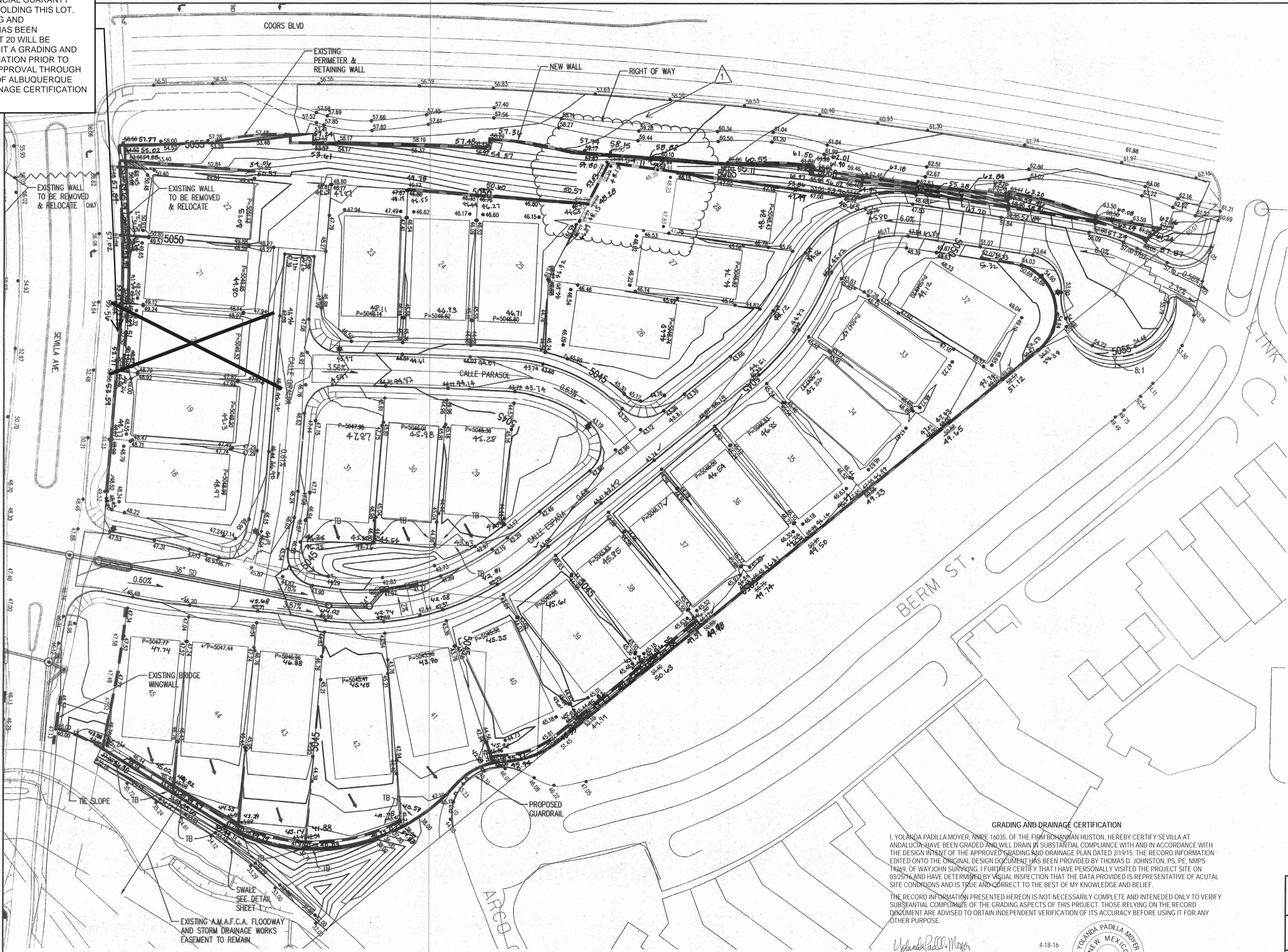
CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

SEVILLA AT ANDALUCIA
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
			MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET 2 OF 3		

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES		USC&GS BRASS DISC STAMPED "REWARD 1969"		CONTRACTOR	
		NO.	DATE	GEOGRAPHIC POSITION (NAD 83)		INSPECTOR'S	
				N.M. STATE PLANE COORDINATES		DATE	
				(CENTRAL ZONE)		DATE	
				N=1487364.063 E=149190.819		DATE	
				GROUND TO GRID = 0.999675005		DATE	
				DELTA ALPHA = -0071712.26"		DATE	
				NAVD 1988 ELEVATION = 5319.688		DATE	
DESIGNED BY YPM		DATE 01/2015		MICRO-FILM INFORMATION			
DRAWN BY ARR		DATE 01/2015		RECORDED BY			
CHECKED BY YPM		DATE 01/2015		NO.			

LOT 20 CERTIFICATION IS NOT INCLUDED IN THIS FINAL CERTIFICATION DUE TO IT BEING THE PARKING LOT FOR THE MODEL HOMES AND THERE IS NO DEFINITIVE TIMELINE FOR REMOVING THE MODEL HOMES. THERE IS NO IMPACT ON DRAINAGE OR FINANCIAL GUARANTY RELEASE BY WITHHOLDING THIS LOT. ALL OTHER GRADING AND INFRASTRUCTURE HAS BEEN CONSTRUCTED. LOT 20 WILL BE REQUIRED TO SUBMIT A GRADING AND DRAINAGE CERTIFICATION PRIOR TO BUILDING PERMIT APPROVAL THROUGH THE NORMAL CITY OF ALBUQUERQUE GRADING AND DRAINAGE CERTIFICATION PROCESS.



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 - EXISTING SPOT ELEVATION ○ 5235.25
 - EXISTING CONTOUR — 5860
 - DIRECTION OF FLOW $S=2.0\%$
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 - PROPOSED WATER BLOCK (HIGH POINT) —
 - RETAINING WALL —
 - PROPOSED WATER (LOW POINT) —
 - TURNED BLOCK SEE DETAIL SHEET 1

NOTE :
ALL CURB IS STANDARD CURB & GUTTER EXCEPT AROUND CUL-DE-SAC BULB WHICH IS ROLL CURB & GUTTER

GRADING AND DRAINAGE CERTIFICATION

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DATE

4-18-16



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CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

SEVILLA AT ANDALUCIA
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	
		MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.		ZONE MAP NO.	SHEET 3 OF 3

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		REMARKS	
CONTRACTOR	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	BY	YPM	BY	NO.	DATE	DESIGNED BY	DATE
INSPECTOR'S	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE							DRAWN BY	DATE
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES								ARR	DATE
VERIFICATION BY	DATE	(CENTRAL ZONE)								CHECKED BY	DATE
DRAWINGS	DATE	N=1487364.063 E=1491190.819									
REVISIONS	DATE	GROUND TO GRID = 0.999675005									
MICRO-FILM INFORMATION		DELTA ALPHA = -0.07171226"									
		NAVD 1988 ELEVATION = 5319.688									