

CITY OF ALBUQUERQUE



February 15, 2019

Stephen Dunbar, AIA
Modulus Architects Inc.
110 Sun Avenue NE, Suite 305
Albuquerque, NM 87109

**Re: Rain Tunnel Car Spa,
5401 Sevilla Ave. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 09/05/17 (F11D016)
Certification dated 02-08-19

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 02-14-19, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy** to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



Planning Department – Transportation & Hydrology

City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

February 14, 2019

RE: Traffic Certification for Rain Tunnel Car Spa at 5401 Sevilla Ave. NW (File #17AA-1052, Project #1004676)

To whom it may concern,

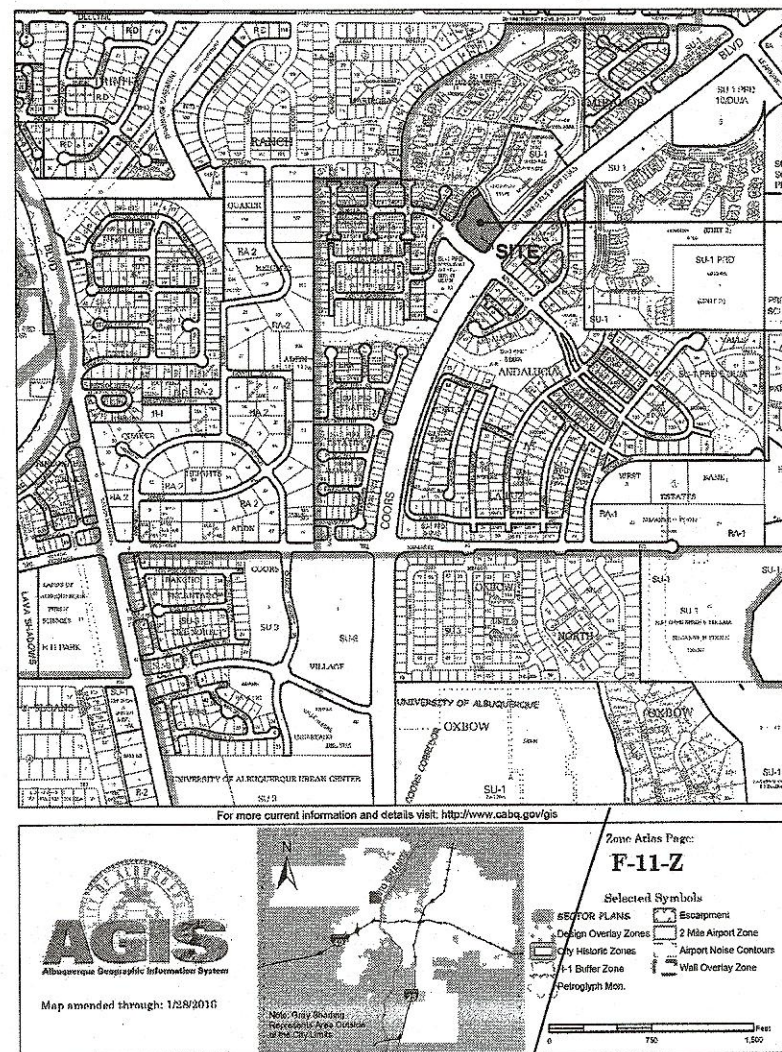
I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the Architectural Site Plan (SPBP), dated 7-17-17. I further certify that Craig Calvert, Project Manager at Modulus Architects, personally visited the site on 2-8-19 and has determined by visual inspection that the improvements installed to date are representative of actual site conditions and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Stephen Dunbar, AIA
Principal in Charge
Modulus Architects, Inc.
110 Sun Avenue NE, Suite 305
Albuquerque, NM 87109
(O) 505.338.1499, Ext. 1004





DATA

LAND AREA: 1.8728 ACRES
ZONING: SU-1 PRD, O-1, C-1 ALLOWED
MAX. BUILDING HEIGHT: 26'
FLOOR/AREA RATIO: 0.12
BUILDING AREA:
CARWASH 5,548 SF
RETAIL PAD 5,021 SF

* REQUIRED PARKING:
CARWASH + RETAIL PAD = 10,569/200 = 52.8
(53) - 10% (5) = 48 *10% REDUCTION WITHIN
300' OF REGULAR TRANSIT ROUTE
TOTAL: 48 SPACES REQUIRED AND 58 PROVIDED
2 MC SPACES REQUIRED AND PROVIDED
3 HC SPACES REQUIRED AND PROVIDED
3 BICYCLE SPACES REQUIRED AND PROVIDED

* INCLUDES MC & HC SPACES

GENERAL NOTES

A. ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DORIES.

LEGAL DESCRIPTION:

TRACT LETTERED "J", PLAT OF VISTA DE LA LUZ, WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 30, 2006, IN PLAT BOOK 2006C, FOLIO 331, AS DOCUMENT NO. 2006165286

ADMINISTRATIVE AMENDMENT

FILE #100222 PROJECT #1004676

7 SF OF RETAIL BLDG, RELOCATION OF
DUMPSTERS, ADDITION OF 5 VACUUM BAYS
RELOCATION OF PED. ACCESSIBLE PATH,
B. 4. 2017
APPROVED BY DATE
3 RETAINING WALLS TO 2 ALONG LOT
REDUCTION OF 2 PARKING SPACES +
ADDITIONAL MINOR CHANGES AS SHOWN

KEYNOTES

- EXISTING CONC. SIDEWALK
- NEW CONC. SIDEWALK
- HC ACCESSIBLE RAMP
- MONUMENT SIGN PENDING GOVERNMENTAL APPROVALS
- HC ACCESS AISLES, PARKING SPACES, SIGNAGE
- MOTORCYCLE SPACES
- LANDSCAPED AREA
- TREE WELL
- STRIPING
- FUTURE RETAIL DUMPSTER ENCLOSURE
- TRANSFORMER
- ASPHALT PAVING
- NEW CURB CUT/ DRIVEPAD
- COLOR CONCRETE PATIO
- SHADE CANOPY ABOVE, COLOR TO MATCH BLDGS
- CARWASH DUMPSTER ENCLOSURE
- BIKE RACK 3 LOOPS
- 20' HIGH LIGHT POLE
- EMPLOYEE PARKING SIGNAGE
- DIRECTIONAL SIGNAGE
- BENCH
- UMBRELLA AND CHAIRS
- MAX 5' SPLIT FACE CMU RETAINING WALL
- ABSORPTIVE SOUND ELEMENTS SHALL BE PROVIDED INSIDE THE TUNNEL SPRAY AREA
- WHEELSTOP
- 6' WIDE ADA ACCESSIBLE PATH
- MIN. 6", MAX. 8" HIGH CURB BETWEEN LANDSCAPE AREA AND PARKING/DRIVE AISLES, TYPICAL
- DIRECTIONAL SIGNAGE

* NOTE: -ADA PARKING SIGNAGE SHALL HAVE LANGUAGE:
"VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
-ADA ACCESS AISLE SHALL HAVE WORDS "NO
PARKING" IN CAPITAL LETTERS, EACH LETTER MIN. 1"
HIGH X 2" WIDE

RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| 1 RADIUS = 2'-0" | 7 RADIUS = 25'-0" |
| 2 RADIUS = 3'-0" | 8 RADIUS = 30'-0" |
| 3 RADIUS = 5'-0" | 9 RADIUS = 40'-0" |
| 4 RADIUS = 10'-0" | 10 RADIUS = 50'-0" |
| 5 RADIUS = 15'-0" | 11 RADIUS = 60'-0" |
| 6 RADIUS = 20'-0" | 12 RADIUS = 8'-0" |

NUMBER	DIRECTION	DISTANCE
L1	S 58°46'11" W	6.93'
(L1)	(S 58°46'43" W) (6.93')	

NUMBER	DELTA ANGLE	CHORD	DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'39"	S 39°38'45" W	3894.72	193.33	193.31	
(C1)	(02°50'39")	(S 39°39'12" W)	(3894.72)	(193.33)	(193.31)	
C2	89°01'20"	N 82°44'01" E	30.00	46.61	42.06	
(C2)	(89°01'20")	(N 82°44'33" E)	(30.00)	(46.61)	(42.06)	
C3	19°33'29"	S 42°58'34" E	250.00	85.34	84.92	
(C3)	(19°33'29")	(S 42°58'03" E)	(250.00)	(85.34)	(84.92)	
C4	77°21'34"	S 05°28'58" W	35.00	47.26	43.75	
(C4)	(77°21'34")	(S 05°29'29" W)	(35.00)	(47.26)	(43.75)	
C5	25°02'32"	N 31°38'29" E	274.50	119.98	119.02	
(C5)	(25°02'32")	(N 31°39'00" E)	(274.50)	(119.98)	(119.02)	
C6	39°38'38"	S 38°56'42" W	225.50	115.05	115.95	
(C6)	(39°38'38")	(S 38°57'14" W)	(225.50)	(115.05)	(115.95)	

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER

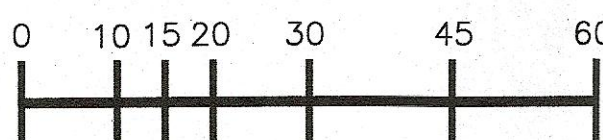
ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES

THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSIT ROUTE

SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS

SITE PLAN

1" = 20'-0"



SITE

SEVILLA AVENUE
100' R/W

ELECTRIC VAULT
TRAFFIC VAULT

INTERSECTION
SIGHT TRIANGLE

35' LANDSCAPE BUFFER

LIGHT POLE

6' PUBLIC SIDEWALK EASEMENT
FILED OCTOBER 30, 2006
BOOK 2006C, PAGE 331

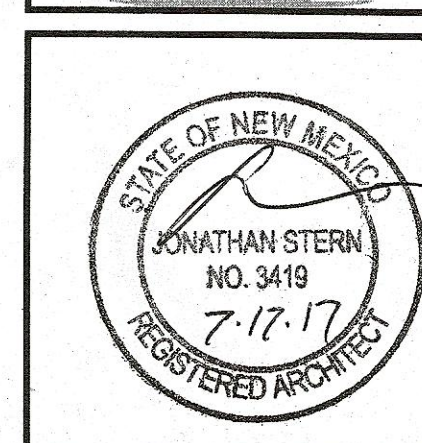
10' PUBLIC UTILITY EASEMENT
FILED OCTOBER 30, 2006
BOOK 2006C, PAGE 331

WORKPOINT- CENTER
OF CANOPY FOOTING, TYP.

COORS BOULEVARD N.W.
150' R/W

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MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	5401 SEVILLA AVE. NW
PROJECT ADDRESS	COORS & SEVILLA ALBUQUERQUE, NM
PROJECT MANAGER	JONATHAN STERN
SHEET TITLE	ARCHITECTURAL SITE PLAN
DATE	6/15/16
SCALE	AS NOTED
DRAWN BY	J5
JOB NO.	
SHEET NO.	AS101