

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 31, 2026

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
7632 William Moyers Avenue, NE
Albuquerque, NM 87122

RE: Pool Addition
4904 Northern Trl NW
Grading and Drainage Plan
Engineer's Stamp Date: 3-27-2025
Hydrology File: F11D017C

Dear Mr. Biazar,

Based upon the information provided in your submittal received 03/29/2026, the Grading and Drainage plan is **not approved** for Building Permit and Grading Permit. The following comments need to be addressed for the approval of the above referenced project.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Since this project is adjacent to, or drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be need prior to Hydrology approval. Please contact Jared Romero P.E, CFM (jromero@amafca.org or 505-884-2215).
2. Please add a note under Grading Notes. "Side slopes need to be stabilized with Native Grass Seed (per City Spec 1012) with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)". (Unless AMAFCA requires use of their spec. for the area east of the Top of Slope.)
3. Per the IDO 5-6(E)(1)(a), Landscaped edge buffers and/or edge buffer walls are required between properties to mitigate the impacts of significant differences in property use, size, or scale through standards specified. Please show this on plan where the home and the drainage easement use changes.
4. Per the IDO, the property owner of the property is responsible for building the adjacent half of Northern Trail NW to include curb & gutter, and sidewalk. The project will have to go to the Development Facilitation Team (DFT) for approval of the Infrastructure List or approval of a waiver from the DHO.
5. A portion of this project is located in a floodplain (AE) and a floodplain development permit must be obtained.
6. Please provide the Benchmark information (location, description, elevation, **and datum used**) for the survey contour information provided.
7. There is erosion along the north side of the lot. Show on the plan how this area will be corrected to prevent erosion over time along this flow path.

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Sincerely,

A handwritten signature in black ink, appearing to read "Anthony Montoya, Jr.", written in a cursive style.

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: 4904 NORTHERN TRAIL, NW, POOL ADDITION Hydrology File # A12D037

Legal Description: LOT 26 QUAKER HEIGHTS

City Address, UPC, OR Parcel: 4904 NORTHERN TRAIL, NW,

Applicant/Agent: SBS CONSTRUCTION AND ENG., LLC Contact: SHAWN BIAZAR

Address: 10431 4TH STREET, NW, ALBUQUERQUE, NM 87114 Phone: 505-804-5013

Email: AECLLC@AOL.COM

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
 DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: 3-27-2026

LOCATION
This site is located at 4904 Northern Trail, NW, Lot 26 of Quacker Heights.
See attached Vicinity map for location location.

PURPOSE
The purpose of the plan to show the grading and drainage plan for the proposed new swimming pool.

EXISTING DRAINAGE CONDITIONS
Front part of the house drains east toward the back of the house and drains NW to an opening under the gate which eventually rains into the arroyo. The back part on the house also drains north west to the opening under the gate. There is paved road along the front of the lot but there are no curb and gutter or sidewalk. The water from the road does not enter the lot. The edge of property is higher than the road and there are existing storm drain in the street. almost all the lots in the surrounding area are developed. Some of them drain to the back existing arroyo and some drain into the streets.

PROPOSED CONDITIONS
Under the proposed conditions and existing conditions are the same. The runoff will drain into the proposed ponds and eventually drain to the arroyo. We are proposing a new +/- 670 sf pool. This will not increase our site flow. The total site impervious area is 10,672 sf for the First Flush. We are proposing to pond the 90th Percentile/First Flush requirement which is 0.42 inches times the impervious area. Total retention volume provided within pond A and B is 400.63 cf which exceeds the ponding volume requirement for First Flush 373.52 cf

VOLUME CALCULATIONS FOR 10 DAY STORM

BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
ON-SITE	38484.58	0.8835	0.001380

$E = \frac{FA(AA) + FB(AB) + FC(AC) + ED(AD)}{AA + AB + AC + AD}$

$V-360 = E(AA + AB + AC + AD)$

EA = 0.55
EB = 0.73
EC = 0.95
ED = 2.24

P-60 = 1.69
P-360 = 2.17
P-1440 = 2.49
P-10 Day = 3.90

EXISTING CONDITION PROPOSED CONDITION

AA = 59.00% AA = 57.00%
AB = 5.00% AB = 5.00%
AC = 10.00% AC = 10.00%
AD = 26.00% AD = 28.00%

E = 1.0384 IN E = 1.0722 IN
V-360 = 0.0765 AC-FT V-360 = 0.0789 AC-FT
AD = 0.2297 AC AD = 0.2474 AC
V-10 DAY = 0.1096 AC-FT V-10 DAY = 0.1146 AC-FT
V-10 DAY = 4.772.73 CF V-10 DAY = 4.992.09 CF

V (REQUIRED) = V (PROPOSED) - V (EXISTING)
= 4,992.09 - 4,772.73

V (REQUIRED) = 219.36 CF

FIRST FLUSH PONDING REQUIREMENT

IMPERVIOUS AREA = 10,672.00 SF
FIRST FLUSH VOL. REQ. = 0.42" x 10,672.00 / 12 = 373.52 CF

PONDING VOLUME PROVIDED

PONDING VOLUME PROVIDED:

POND A (PROPOSED)
425.00 SF AT ELEV.=5111.350
200.00 AT ELEV.=5110.35
VOLUME = (425.00+200.00)/2 *1.00= 312.50 CF

POND B (PROPOSED)
200.00 SF AT ELEV.=5112.75
35.00 AT ELEV.=5112.00
VOLUME = (200.00+35.00)/2 *0.75= 117.50 CF

TOTAL VOLUME PROVIDED = 312.50 + 117.50 = 400.63 CF

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



FIRM MAP:

35001C114H

VICINITY MAP:

F-11-Z

LEGAL DESCRIPTION:

LOT 26, QUACKER HEIGHTS

ADDRESS:

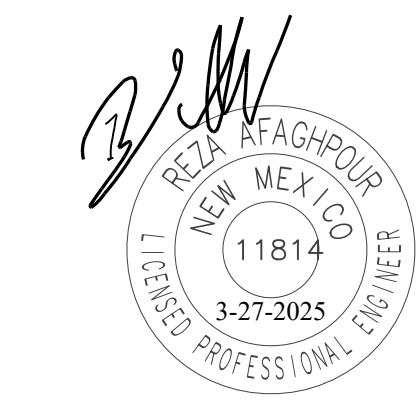
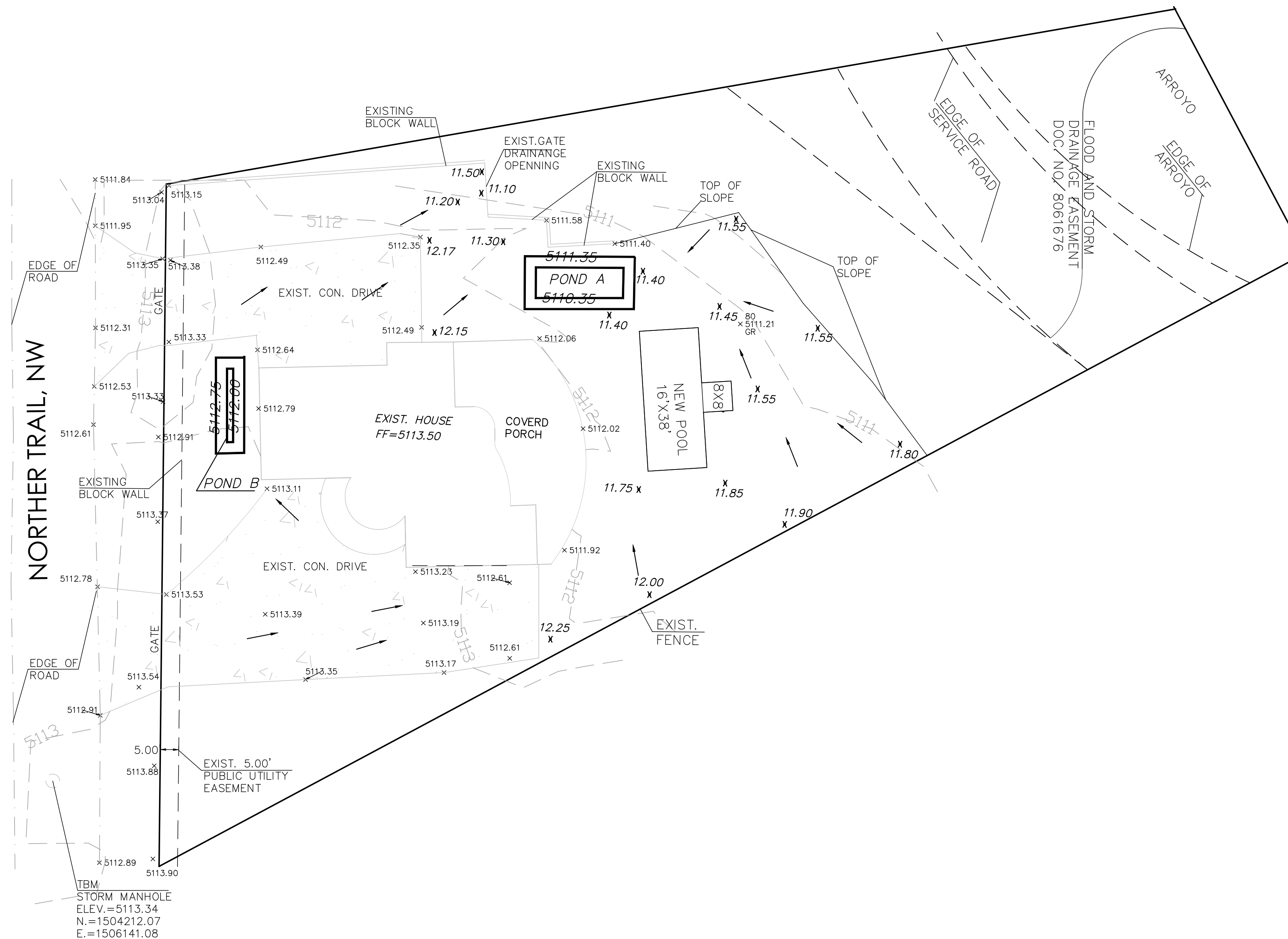
4904 NORTHERN TRIAN, NW

GENERAL NOTES:

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 3: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 4: SLOPES ARE AT 3:1 MAXIMUM.
- 5: ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.

LEGEND

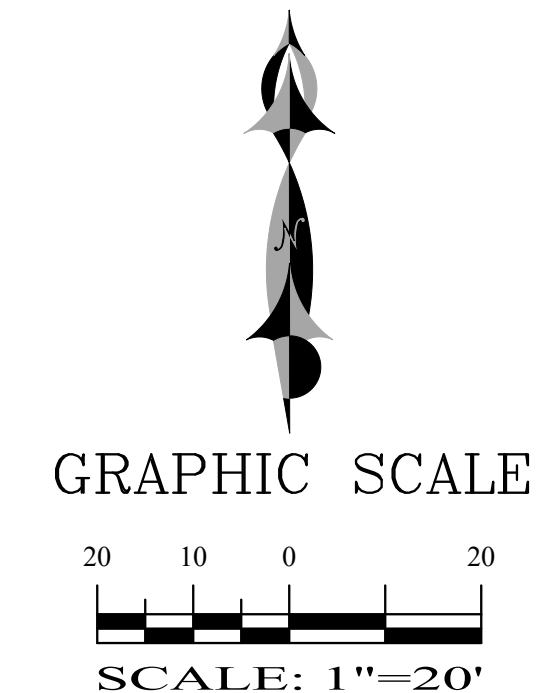
- 5030 — EXISTING CONTOUR (MAJOR)
- 5029 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- x 28.50 PROPOSED SPOT ELEVATION
- x 5029.16 EXISTING GRADE
- x 5075.65 EXISTING FLOWLINE ELEVATION
- | — | — PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TF=28.50 TOP OF FOOTING
- TRW=28.00 TOP OF RETAINING WALL
- HP HIGH POINT
- 86.65 AS-BUILT GRADES
- 85.47
- x 5325.64 AS-BUILT SPOT ELEVATIONS
- FF=5317.85
- FP=5317.85



REZA AFAGHOUR
P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC

10431 4TH STREET, NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013



4904 NORTHERN TRAIL, NW, POOL ADDITION GRADING AND DRAINAGE PLAN

DRAWING: 202607.dwg	DRAWN BY: SBB	DATE: 3-27-2026	SHEET # 1 OF 1
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LAST REVISION: 03-27-2027