

# CITY OF ALBUQUERQUE



October 9, 2019

John Laur, RA  
DEKKER PERICH SABATINI  
7601 Jefferson NE, Suite 100  
Albuquerque, NM 87109

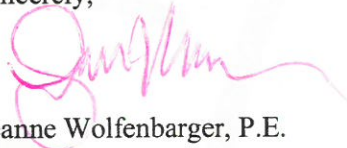
**Re: PresNow 24/7 Urgent Emergency Care Phase 1**  
**4515 Coors Blvd NW, 87120**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 1-23-19 (DRB) (F11D019)  
Certification dated 10-7-19

Dear Mr. Laur,

Based upon the information provided in your submittal received 10-08-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomes at (505) 924-3981.

Sincerely,

  
Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



DEKKER  
PERICH  
SABATINI7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

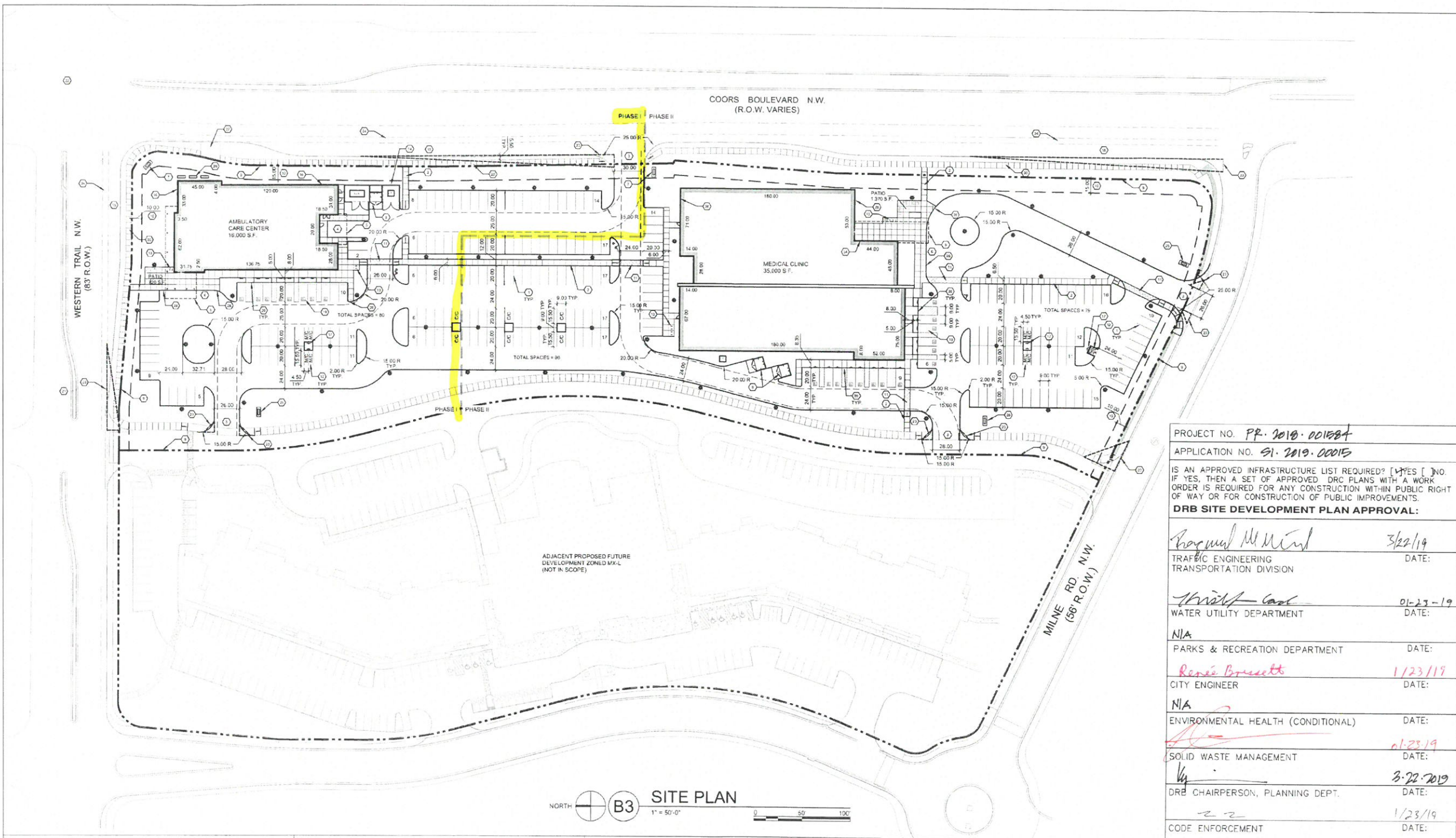
505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

PHS AMBULATORY CARE FACILITY

COORS BLVD. NW  
ALBUQUERQUE, NM

PROJECT NO. PP-2018-001584

APPLICATION NO. SI-2019-00015

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [YES] [NO].  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK  
ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT  
OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Bogum M. M. 3/22/19  
DATE:  
TRAFFIC ENGINEERING  
TRANSPORTATION DIVISION1/23/19  
DATE:  
WATER UTILITY DEPARTMENTN/A  
DATE:  
PARKS & RECREATION DEPARTMENT1/23/19  
DATE:  
CITY ENGINEERN/A  
DATE:  
ENVIRONMENTAL HEALTH (CONDITIONAL)1/23/19  
DATE:  
SOLID WASTE MANAGEMENT3-22-2019  
DATE:  
DRB CHAIRPERSON, PLANNING DEPT.1/23/19  
DATE:  
CODE ENFORCEMENT

## PROJECT DATA

**BUILDING AREA**  
PHASE I: 16,000 SQ. FT.  
PHASE II: 35,000 SQ. FT.

FULL BUILD OUT AREA 51,000 SQ. FT.

CONSTRUCTION TYPE IIB  
OCCUPANCY TYPE B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW IFC TABLE 9105.1(2)  
AMBULATORY CARE CENTER 2,750/2 = 1,375 GPM  
OUTPATIENT CLINIC 4,000/2 = 2,000 GPM

FIRE HYDRANTS:  
AMBULATORY CARE CENTER = 1 (500' SPACING)  
OUTPATIENT CLINIC = 2 (450' SPACING)

## PARKING CALCULATIONS

AMBULATORY CARE CENTER			
PHASE I - 16,000 S.F.			
5 SPACES PER 1,000 S.F. =		REQUIRED	PROVIDED
		80 SPACES	80 SPACES
ACCESSIBLE PARKING			
51-100 SPACES		REQUIRED	PROVIDED
6 ACCESSIBLE, 2 VAN ACCESSIBLE		4	6
MOTORCYCLE SPACES			
51-100 SPACES		REQUIRED	PROVIDED
		3	4
BICYCLE PARKING			
10% OF REQUIRED OFF-STREET PARKING		REQUIRED	PROVIDED
		8	8
MEDICAL CLINIC			
PHASE II - 35,000 S.F.			
5 SPACES PER 1,000 S.F. =		REQUIRED	PROVIDED
INCLUDING 6 COMPACT CAR SPACES = 3%		175 SPACES	175 SPACES
ACCESSIBLE PARKING			
101-200 SPACES		REQUIRED	PROVIDED
10 ACCESSIBLE, 4 VAN ACCESSIBLE		8	14
MOTORCYCLE SPACES			
51-100 SPACES		REQUIRED	PROVIDED
		5	6
BICYCLE PARKING			
10% OF REQUIRED OFF-STREET PARKING		REQUIRED	PROVIDED
		18	18

## SHEET KEYED NOTES

1. PARKING LOT STRIPING
2. PEDESTRIAN PATHWAY
3. NEW CURB CUT
4. AMBULANCE LOADING AREA
5. CANOPY OVERHEAD
6. PATIENT DROP-OFF
7. FREESTANDING MONUMENT SIGN (TYPE C). SEE DETAIL A3/SDP5-4
8. DUMPSTER ENCLOSURE. SEE DETAIL D5/SDP5-3
9. PROPERTY LINE
10. BUILDING SETBACK
11. CROSSWALK TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH 100 SECTION 5-3(D)(3)(c) MATERIALS TO ALERT MOTORISTS.
12. MOTORCYCLE PARKING, 4' X 8' MINIMUM UNLESS NOTED OTHERWISE
13. BIKE RACK. SEE DETAIL A4/SDP5-3
14. 8' HIGH CMU SCREEN WALL. SEE DETAIL A3/SDP5-3
15. NEW RIGHT TURN LANE
16. BUILDING MOUNTED SIGN (TYPE B). SEE DETAIL C3/SDP5-4
17. FREESTANDING UPRIGHT SIGN INDICATING MOTORCYCLE PARKING ONLY.
18. EXISTING RIGHT TURN LANE
19. HC PARKING. SEE DETAIL D4/SDP5-3
20. NEW 6' WIDE CONCRETE PUBLIC SIDEWALK
21. NEW LEFT TURN LANE
22. SIGNALIZED INTERSECTION
23. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
24. BIKE LANE
25. FREESTANDING MONUMENT SIGN (TYPE D). SEE DETAIL A5/SDP5-4
26. BUILDING MOUNTED SIGN (TYPE A). SEE DETAIL D3/SDP5-4
27. BUS STOP
28. FLUSH CONCRETE SIDEWALK. SEE DETAIL D3/SDP5-3
29. 96"X24"X12" RAISED PLANTERS. SEE SDP2-1

## GENERAL SHEET NOTES

1. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

## LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK
---	FIRE ACCESS LANE
---	6' WIDE CONCRETE CROSSWALK
---	EXISTING 6' WIDE CONCRETE SIDEWALK
---	LANDSCAPE AREA
☼	POLE LIGHT (16' MAX HEIGHT). SEE DETAIL A5/SDP5-3
---	SIDEWALK RAMP (ARROW POINTS DOWN)
☼	FIRE HYDRANT
M/C	MOTORCYCLE SPACE 4' X 8' MINIMUM, UNLESS NOTED OTHERWISE
C/C	COMPACT CAR SPACE 9' X 15.5' UNLESS NOTED OTHERWISE. ALL COMPACT CAR SPACES SHALL BE LABELED WITH THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE

NORTH  
VICINITY MAP  
ZONE ATLAS PAGE: F-11-ZREVISIONS  
△  
△  
△  
△DRAWN BY ARS  
REVIEWED BY  
DATE 1/15/2019  
PROJECT NO. 18-0103.001  
DRAWING NAME

SITE PLAN

SHEET NO.

SDP1-1

OF

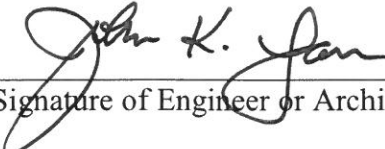


## TRAFFIC CERTIFICATION

I, John Laur, NMPE OR NMRA No. 4207, OF THE FIRM Dekker/Perich/Sabatini, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/05/19 PHASE 1. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY John Laur OF THE FIRM Dekker/Perich/Sabatini. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/07/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

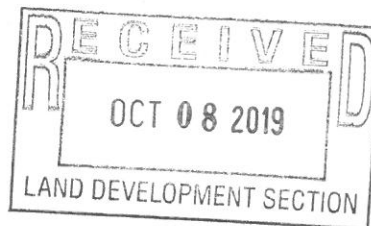
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Engineer or Architect

10/7/2019  
Date

ENGINEER'S OR ARCHITECT'S STAMP



**THIS CERTIFICATION MUST BE SUBMITTED ON EITHER**

- 1) COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE**
- or**
- 2) ON THE ORIGINAL APPROVED PLAN WITH EITHER TCL STAMP OR DRB SIGNATURE BLOCK**